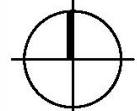
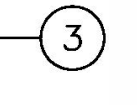
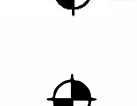
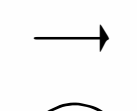
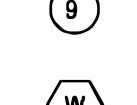


1524-1530 N. WESTERN AVE.



SHEET INDEX

A. AT A.D. ANCHOR BOLT ADDNL. AREA DRAIN ADJ. ADDITIONAL A.F.F. ADJACENT ALUM. ABOVE FINISH FLOOR APPROX. ALUMINUM ARCH. APPROXIMATELY A.S. ARCHITECT ASSEMBLY. ASPHALTIC CONCRETE B.O. MIN. BD. BOTTOM OF BIT. BOARD BLDG. BITUMENOUS BLKG. BUILDING BM. BLOCKING CAB. BEAM C.B. CABINET C.G. CATCH BASIN C.T. CERAMIC TILE CH. CEMENT CL. CENTER LINE CLG. CEILING CLR. CLEAR COL. COLUMN COMP. COMPOSITION CONC. CONCRETE CONSTR. CONSTRUCTION CONT. CONTINUOUS CONTR. CONTRACTOR CPT. CARPET CTR. CENTER DBL. DOUBLE D.F. DOUGLAS FIR DIA. DIAMETER DIM. DIMENSION DN. DOWN DR. DOOR D.S. DOWNSPOUT DTL. DETAIL DWG. DRAWING EACH. EACH ELEC. ELECTRICAL EL. ELEVATION ENCL. ENCLOSURE EQ. EQUAL EXIST. EXISTING EXP. EXPANSION EXT. EXTERIOR EXTR. EXTRUDED	JT. JOINT M.O. MASONRY OPENING MAX. MAXIMUM MBR. MEMBER MECH. MECHANICAL MEMB. MEMBRANE MFR. MANUFACTURER MIN. MINIMUM MISC. MISCELLANEOUS MTD. MOUNTED MTL. METAL N.I.G. NOT IN CONTRACT N.T.S. NOT TO SCALE NAT. NATURAL NOM. NOMINAL OV. OVER O.C. ON CENTER O.D. OUTSIDE DIAMETER OVERHEAD. OVER HEAD OPENG. OPENING OPP. OPPOSITE O.S.F.W. OUTSIDE FACE OF FINISH WALL P.L. PROPERTY LINE P. LAM. PLASTIC LAMINATE P.B.L. PAPER BACKED LATH PREP. PREPARED PARTN. PARTITION PLAST. PLASTER PLY. PLYWOOD PAIR. PAIR PARAP. PARAPET PTD. PAINTED R.O. ROUGH OPENING R. RADIUS R.C.P. REFLECTED CEILING PLAN RD. ROOF DRAIN REF. REFERENCE REINF. REINFORCEMENT REQ'D. REQUIRED ROOFING. ROOFING RFG. ROOM RM. ROOM S.B. SANDBLASTED S.D. STORM DRAIN S.C. SOLID CORE S.S. STAINLESS STEEL SCHD. SCHEDULE SHT. SHEET SIM. SIMILAR	 NORTH ARROW  SECTION  GRID LINE  MATCH LINE  ELEVATION  DIRECTION OF SLOPE  DRAWING NUMBER  INTERIOR ELEVATION  ROOM NUMBER  STOREFRONT  DOOR  WINDOW  CENTERLINE
--	---	--

ARCHITECT

ALAJALIAN-MARCOOSI ARCHITECTS INC.
320 W. ARDEN AVE. SUITE 120
GLENDALE, CA 91203
TEL: (619) 244-5150 FAX: (619) 551-1613
E-MAIL: ARA@ATT.NET

SURVEYOR

RAY LONGBERA & ASSOCIATES, INC.
505 EAGLE ROCK BLVD. #120
LOS ANGELES, CA 90024
TEL: 323-257-4711 FAX: 323-257-4865

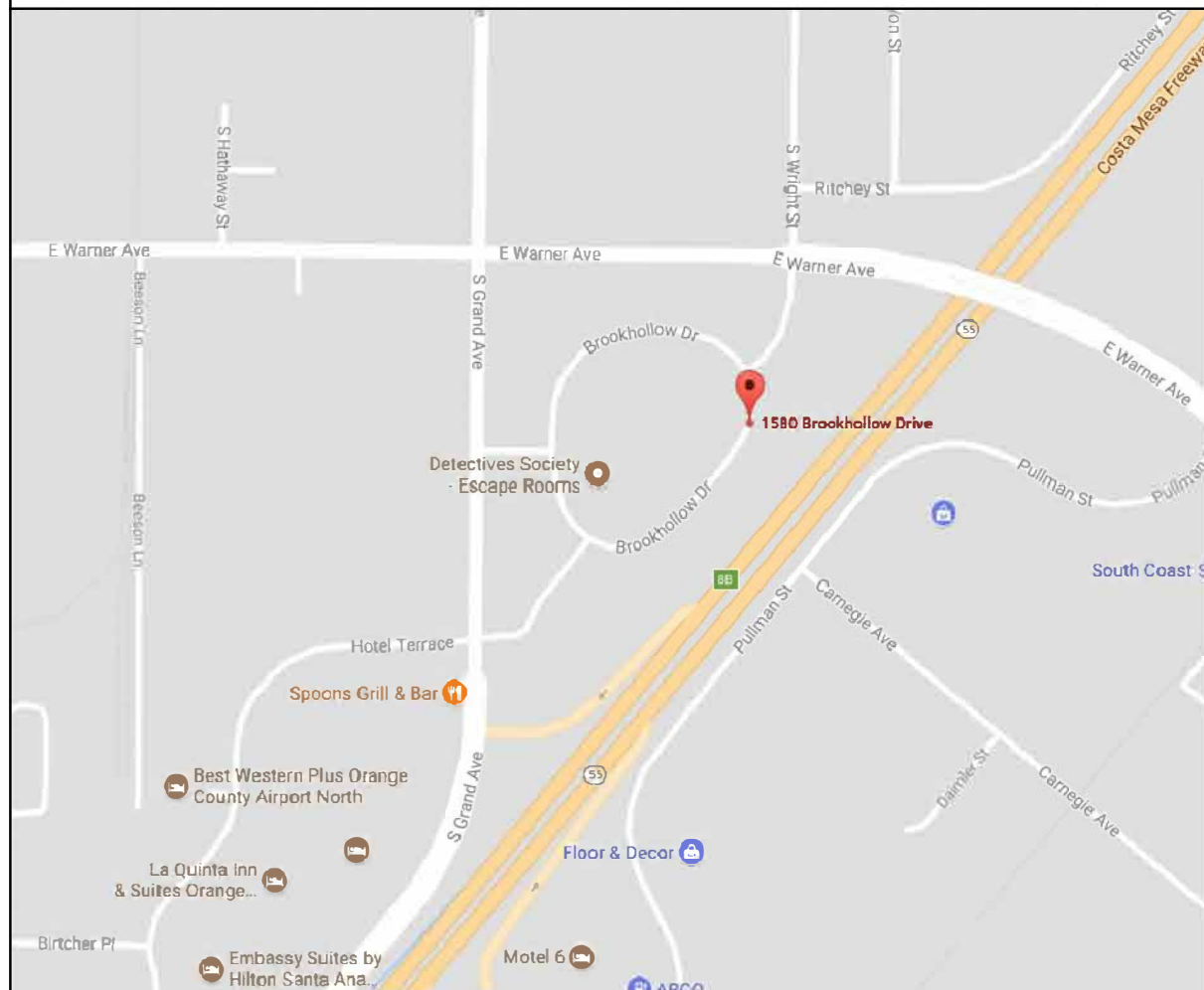
LANDSCAPE ARCHITECT

COURTAIN STUDIO, LLC
505 E. COLORADO BLVD. #C
PASADENA, CA 91101
TEL: (818) 788-4382 FAX: (818) 788-3271

LEGAL DESCRIPTION

APARTMENTS @ 2ND FLOOR		
TYPE OF SUITES	SQ.FT.	NUMBER OF UNITS
		2ND FLOOR
STUDIO TYPE A	485 S.F.	2
STUDIO TYPE B	322 S.F.	1
STUDIO TYPE C	258 S.F.	2
ONE BEDROOM TYPE B	680 S.F.	4
ONE BEDROOM TYPE A	665 S.F.	1
TOTAL UNITS		10

HOTEL ROOMS @ 3RD AND 4TH FLOORS				
TYPE OF SUITES	SQ.FT.	NUMBER OF KEYS ON EACH FLOOR		TOTAL KEYS
		3RD FLOOR	4TH FLOOR	
KING SUITE TYPE D	280 S.F.	2		2
KING SUITE TYPE A	320 S.F.	4	4	8
KING SUITE TYPE C	325 S.F.	4	4	8
KING SUITE TYPE B	375 S.F.	2	2	4
QQ SUITE TYPE A	325 S.F.	4	4	8
SINGLE Q TYPE B	250 S.F.	2	2	4
QQ ADA SUITE	344 S.F.	1	1	2
TOTAL KEYS		19	17	36
		TOTAL KEYS		36



1524-1530 N. WESTERN AVE.

33. LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A STATE OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER OR PUSH. THE OPERATING MECHANISM SHALL BE DESIGNED TO REQUIRE THE OPERATOR TO BE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.

34. THE OPENING HARDWARE FOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 33" AND 44" ABOVE THE FLOOR.

35. THE FLOOR OR LANDING ON EACH SIDE OF AN ENTRANCE OR PASSAGE DOOR IN COMMON AREAS SHALL BE LEVEL AND CLEAR. THE LEVEL AND CLEAR AREA SHALL BE AT LEAST 6' WIDE BY 6' DEEP. THE FLOOR SHALL BE 60" WIDE AND THE LENGTH OPPOSITE. THE DIRECTION OF THE DOOR SWING OF 44" AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION. THE CLEARANCE SHALL BE 60" FROM THE DOOR TO WHICH THE DOOR IS DESIGNED, IN COMMON AREAS, SHALL EXTEND 24" PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS AND 18" PAST THE STRIKE EDGE FOR INTERIOR DOORS.

36. THE FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE SMOOTHLY TRANSITIONED.

37. THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPERATED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.

38. THE WHEELCHAIR FOOTREST SHALL BE INSTALLED ON THE INSIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPERATED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.

39. A. MAXIMUM EFFORT FOR INTERIOR DOORS SHALL NOT EXCEED 8-1/2 LBS FOR EXTERIOR DOORS AND 5 LBS. FOR INTERIOR DOORS. SUCH PULL OR PUSH EFFORT SHALL BE REQUIRED TO OPEN THE DOOR FROM EITHER SIDE OF THE DOOR.

40. B. SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE RESISTANCE IS REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED NOT TO EXCEED 15 LB.

41. STREET ADDRESS MUST BE PROVIDED ON FRONT OF THE BUILDING. THE ADDRESS OF THE BUILDING MUST BE THE STREET, MUST BE OF A COLOR WHICH CONTRASTS WITH THE BACKGROUND AND MUST BE AT LEAST 4-INCHES IN HEIGHT AND 2-INCHES IN WIDTH. SEC. 502.2 AND P.A.C. CHAPTER 12.20.

42. PROVIDE EXIT SIGNS AND DIRECTIONAL EXIT SIGNS WITH MINIMUM 6" HEIGHT. ALL REQUIRED EXIT SIGNS ON A CONTRASTING BACKGROUND AT ALL REQUIRED COMMON AREAS PER PLAN.

43. EXIT SIGNS SHALL BE LIGHTED SO THAT THEY ARE CLEARLY VISIBLE. ALL AREAS SHALL BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLERS THROUGHOUT ALL AREAS OF THE STRUCTURE PER P.A.C. 12.20.50.

PROJECT SUMMARY

1ST FLOOR:	
HOTEL LOBBY:	740 S.F.
APARTMENT LOBBY:	300 S.F.
MANAGERS OFFICE:	250 S.F.
BREAK ROOM:	220 S.F.
LAUNDRY ROOM:	220 S.F.
ELECTRIC/MECH. ROOM:	100 S.F.
2ND FLOOR PROGRAM:	
GARDEN SPACE:	110 S.F.
LOBBY:	400 S.F.
KITCHEN:	312 S.F.
BREAKFAST AREA:	1,051 S.F.
CONFERENCE ROOM:	240 S.F.
10 APARTMENTS:	5,143 S.F.
OUTDOOR SEATING:	620 S.F.

3RD FLOOR PROGRAM:	
19 HOTEL ROOMS:	6,084 S.F.
STORAGE #1:	44 S.F.
4TH FLOOR PROGRAM:	
HOTEL ROOMS:	5,804 S.F.
STORAGE #1:	44 S.F.
GYM:	380 S.F.
DECK AREA	
HOTEL ROOF DECK	2,082 S.F.
COMMON OPEN SPACE	800 S.F.

BICYCLE CALCULATION
HOTEL
REQUIRED - 17 MIN.
PROVIDED - 18
RESIDENTIAL
REQUIRED - 5 MIN.
PROVIDED - 6

PROJECT SUMMARY

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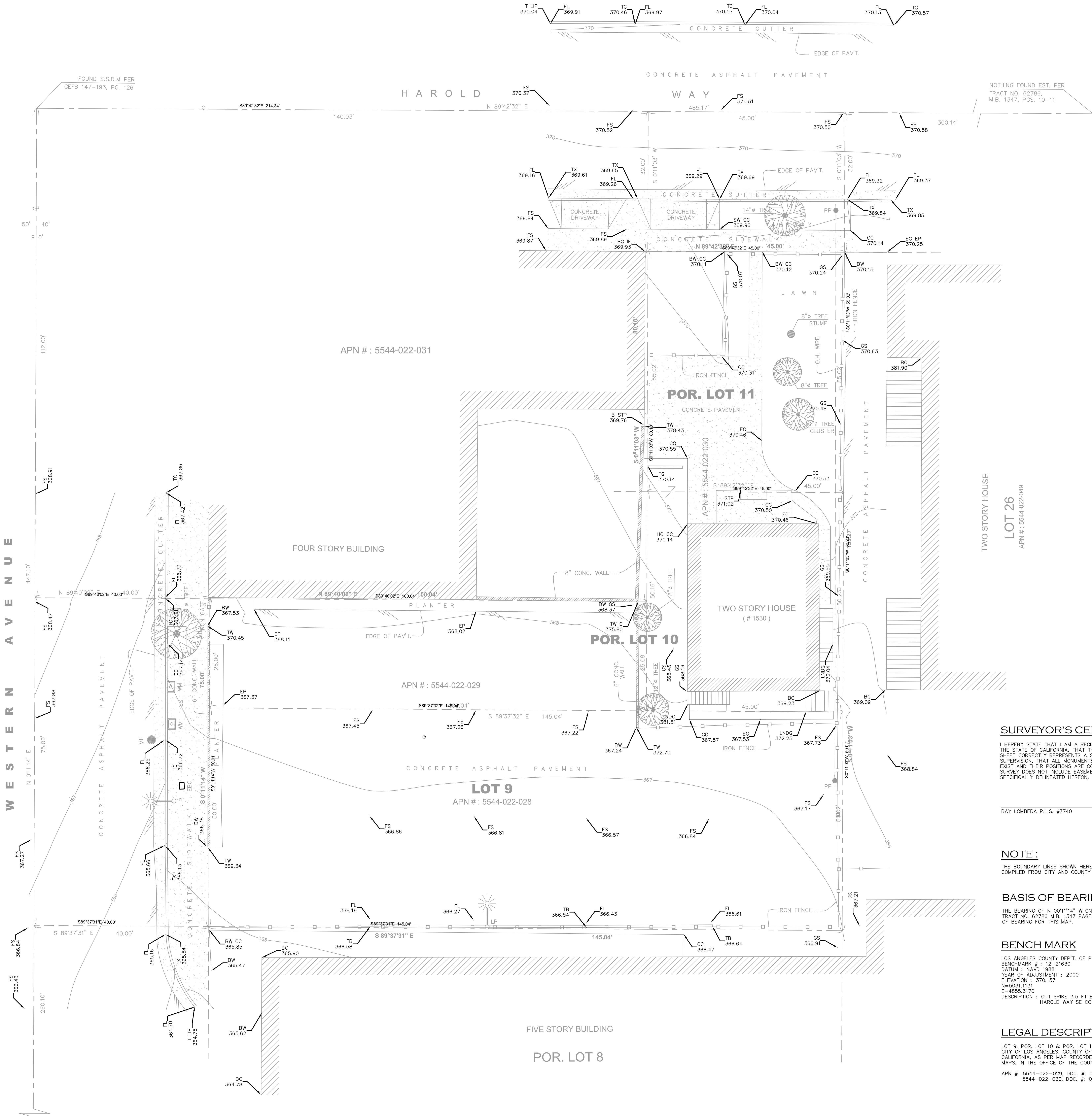
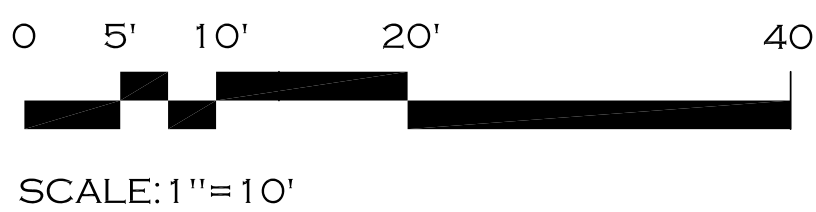
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HOTEL ROOF DECK	2,082 S.F.
COMMON OPEN SPACE	800 S.F.

BICYCLE CALCULATION
HOTEL
REQUIRED - 17 MIN.
PROVIDED - 18
RESIDENTIAL
REQUIRED - 5 MIN.
PROVIDED - 6

LEGEND

---	CENTER LINE
-X-X-X-	PROPERTY LINE
-X-X-X-	CHAIN LINK FENCE
-V-V-V-V-	WOOD FENCE
-L-L-L-L-	LOT LINE
-G-G-G-G-	GAS LINE
-S-S-S-S-	SEWER LINE
-W-W-W-W-	WATER LINE
-T-T-T-T-	OVER HEAD TELEPHONE CABLE
	WOOD WALL
	CONC. WALL
	EDGE OF PAVT
	ASPHALT CONCRETE
	AIR CONDITIONING UNIT
	CONCRETE CEMENT/CONC. CORNER
	CONCRETE CEMENT CURB
	BUILDING CORNER
	BACK OF WALK/BOTTOM WALL
	CATCH BASIN
	CENTERLINE
	CHAIN LINK FENCE
	CONTROL VALVE
	COLDWATER LINE
	DRAINAGE INLET
	DRAINAGE OUTLET
	DOOR
	DRIVEWAY
	DOWNSPOUT
	ELECTRIC BOX
	EDGE OF PAVEMENT
	ELECTRIC TRANSFORMER
	ELECTRIC VAULT
	FLOOR DRAIN
	FLOW LINE
	FIRE HYDRANT
	FENCE
	FLAGPOLE / FIRE PLACE
	FINISH SURFACE
	FIRE WATER VALVE
	GARAGE FINISH FLOOR
	GAS METER
	GROUND SHOT
	GAS VALVE/GATE VALVE
	GUY WIRE ANCHOR
	HOUSE FINISH FLOOR
	IRRIGATION BOX CONTROL
	LIGHT POLE
	MANHOLE
	METAL
	PROPERTY LINE
	POWER POLE
	PULL BOX
	SANITARY SEWAGE CLEANOUT
	STREET SIGN/STOP SIGN
	STORM DRAIN CATCH BASIN
	STORM DRAIN MANHOLE
	STREET LIGHT BOX
	TOP OF BERM
	TOP OF CURB
	TOP OF WALL
	TOP OF "X"
	UNDERGROUND ACCESS
	WATER BIB
	WATER METER
	WATER VALVE
	RECORD DISTANCE
	MEASURED DISTANCE
	CALCULATED DISTANCE
	CALCULATED AND MEASURED
	POWER POLE
	GUY WIRE ANCHOR
	CATCH BASIN
	SSMH (SANITARY SEWER MANHOLE)
	OR UTILITY MANHOLE
	TREE
	OAK TREE
	PINE TREE
	PALM TREE
	YUCCA TREE
	FIRE HYDRANT
	PP/ELECTROLIER
	VALVE (UTILITY)
	METER
	VERTICAL & HORIZONTAL
	CONTROL POINT

TOPOGRAPHIC
SURVEY MAP



SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT I AM A REGISTERED LAND SURVEYOR OF THE STATE OF CALIFORNIA, (HAT THIS MAP CONSISTING OF 1 SHEET CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION, THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN. THIS SURVEY DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON.

RAY LOMBERA P.L.S. #7740 DATE:

NOTE :

THE BOUNDARY LINES SHOWN HEREON ARE FOR REFERENCE ONLY, COMPILED FROM CITY AND COUNTY RECORDS.

BASIS OF BEARING

THE BEARING OF N 00°11'14" W ON WESTERN AVE. AS SHOWN IN TRACT NO. 62786 M.B. 1347 PAGES 10-11, WAS USED AS THE BASIS OF BEARING FOR THIS MAP.

BENCH MARK

LOS ANGELES COUNTY DEPT. OF PUBLIC WORKS
BENCHMARK # : 12-21630
DATUM : NAVD 1988
YEAR OF ADJUSTMENT : 2000
ELEVATION : 370.157
N=5031.1131
E=4855.3170
DESCRIPTION : CUT SPIKE 3.5 FT E CURB WESTERN AVE. 13 FT N OF HAROLD WAY SE COR CB

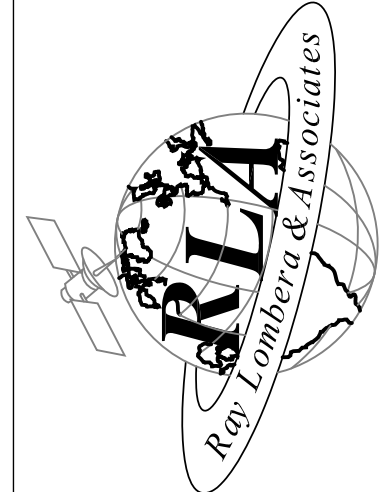
LEGAL DESCRIPTION

LOT 9, POR. LOT 10 & POR. LOT 11 OF TRACT NO. 62786, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1347, PAGES 10-11 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN # : 5544-022-029, DOC. # : 000143178
5544-022-030, DOC. # : 000143178

REVISIONS:

Ray Lombera & Associates, Inc.
Land Surveying Planning Land Development
135 S. JACKSON ST., STE. 202, GLENDALE, CALIFORNIA 91205
TEL. (323) 257-9771 FAX. (323) 257-9865 WWW.RAYLOMBERA.COM



JOB ADDRESS:
1530 N. WESTERN AVE. LOS ANGELES, CA 90027

REQUESTED BY:
PHIL PATEL

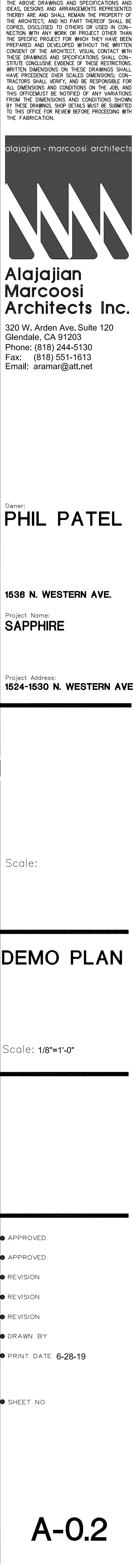
CHECKED BY:
R.L.

DRAWN BY:
R.D.P.

DATE:
APRIL 3, 2017

SCALE:
1"=10'-0"

SHEET NO.
C-1
SHEET 1 OF 1



THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, LOGOS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW BEFORE PROCEEDING WITH THE FABRICATION.



**Alajajan
Marcoosi
Architects Inc.**

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Glendale, CA 91203
Phone: (818) 244-5130
Fax: (818) 551-1613
Email: aramar@att.net

Owner:

PHIL PATEL

1536 N. WESTERN AVE.

Project Name:

SAPPHIRE

Project Address:

1524-1530 N. WESTERN AVE

Scale:

**FAR
DIAGRAM**

Scale: 1/8"=1'-0"

● APPROVED

● APPROVED

● REVISION

● REVISION

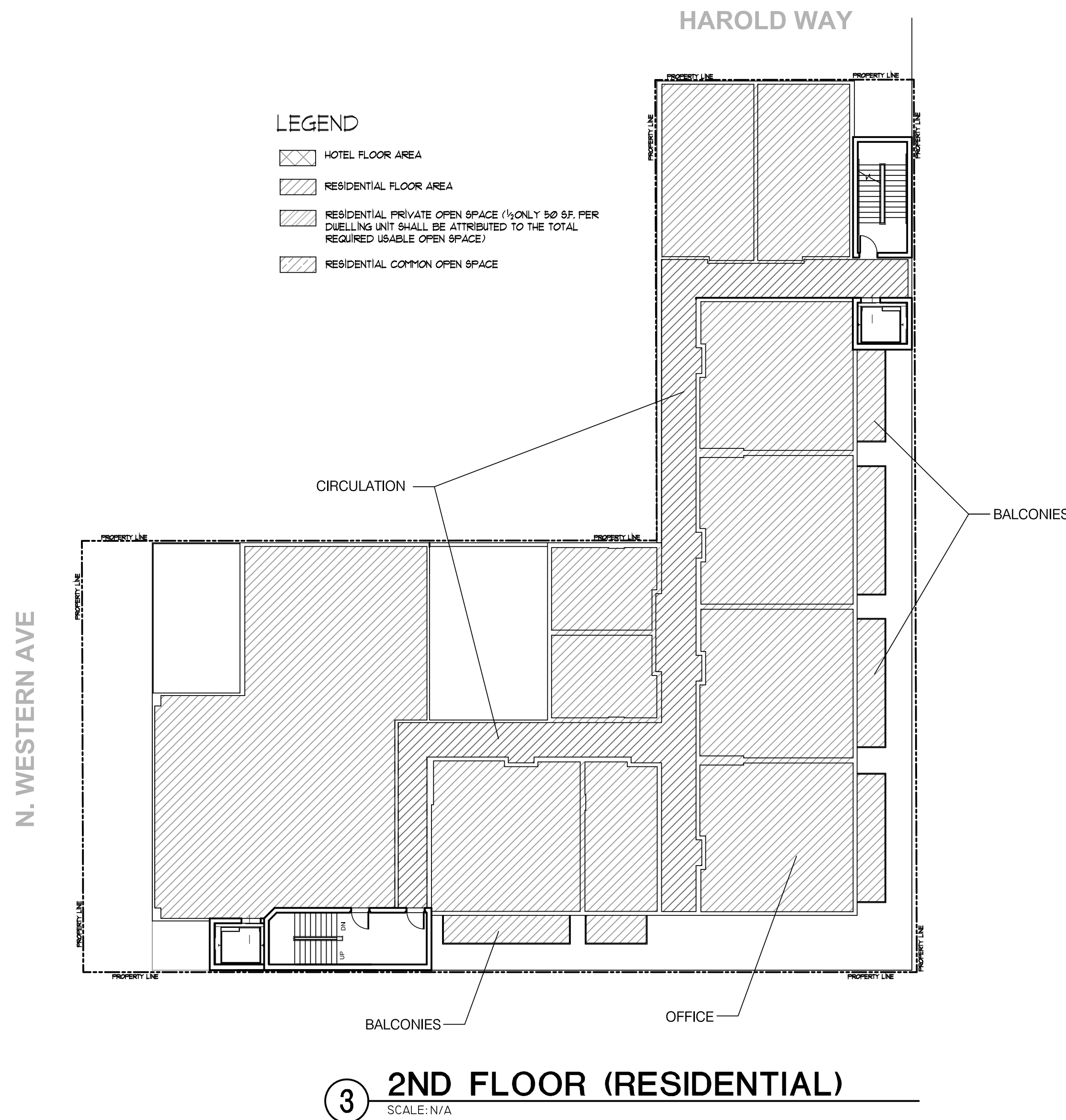
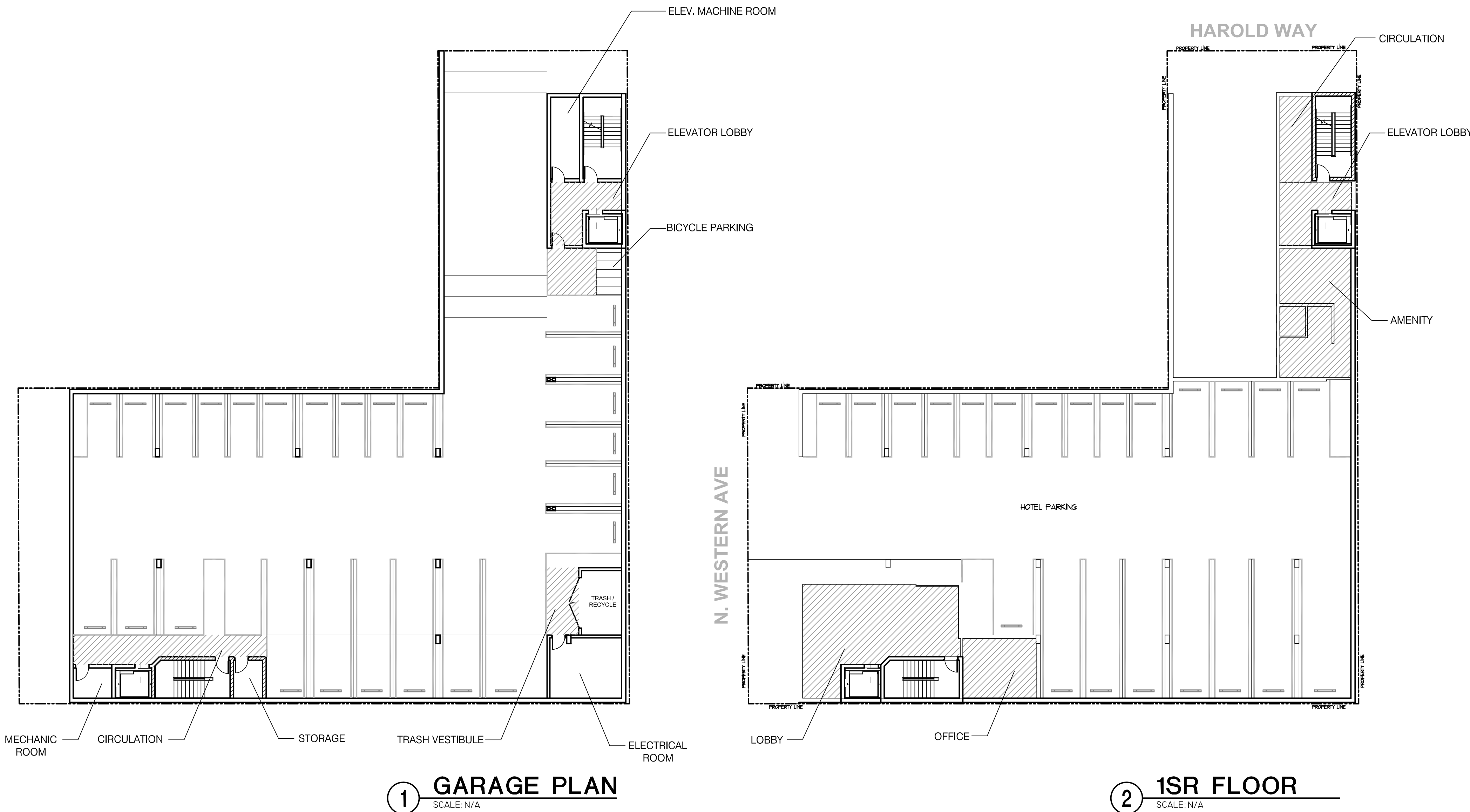
● REVISION

● DRAWN BY

● PRINT DATE

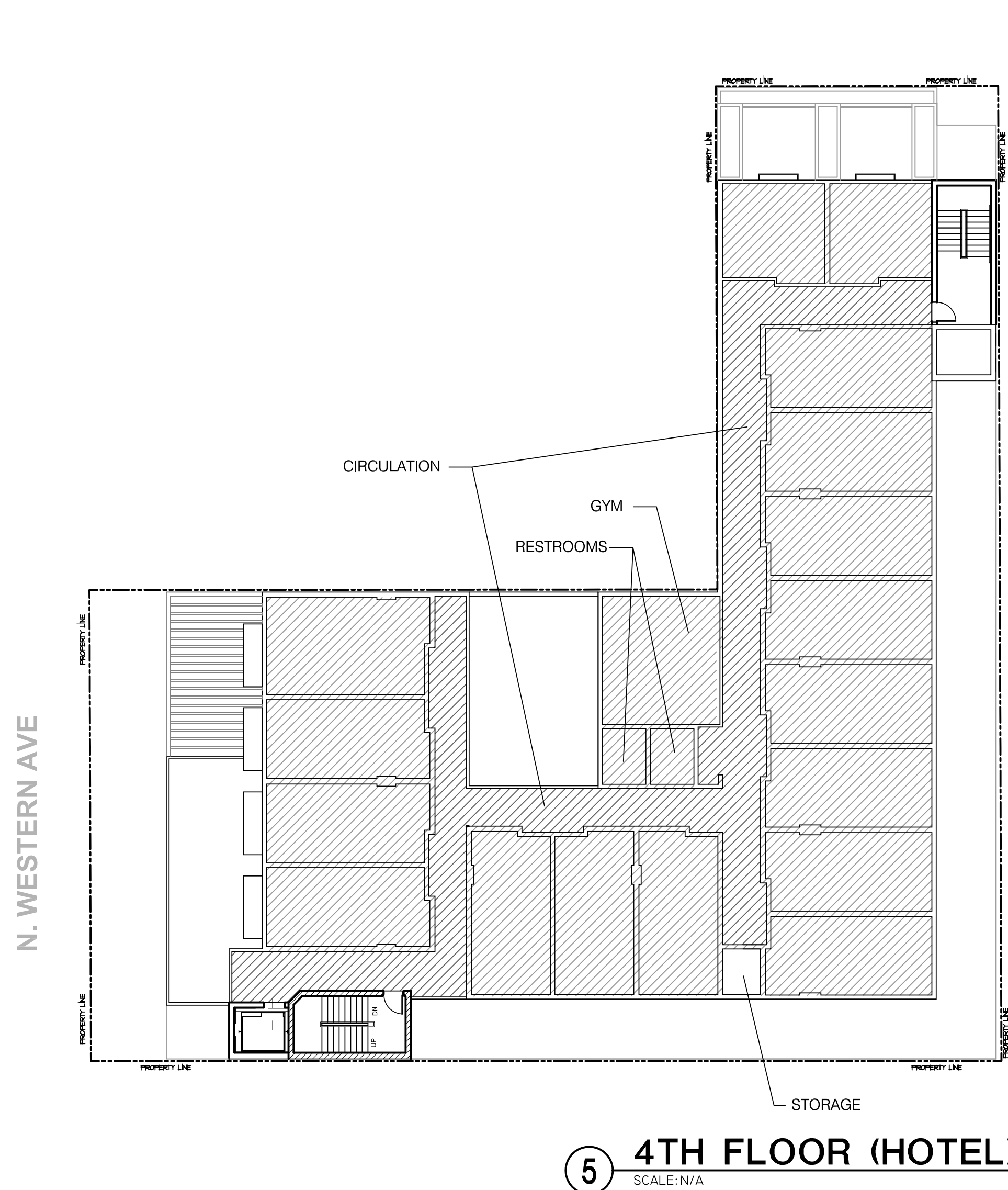
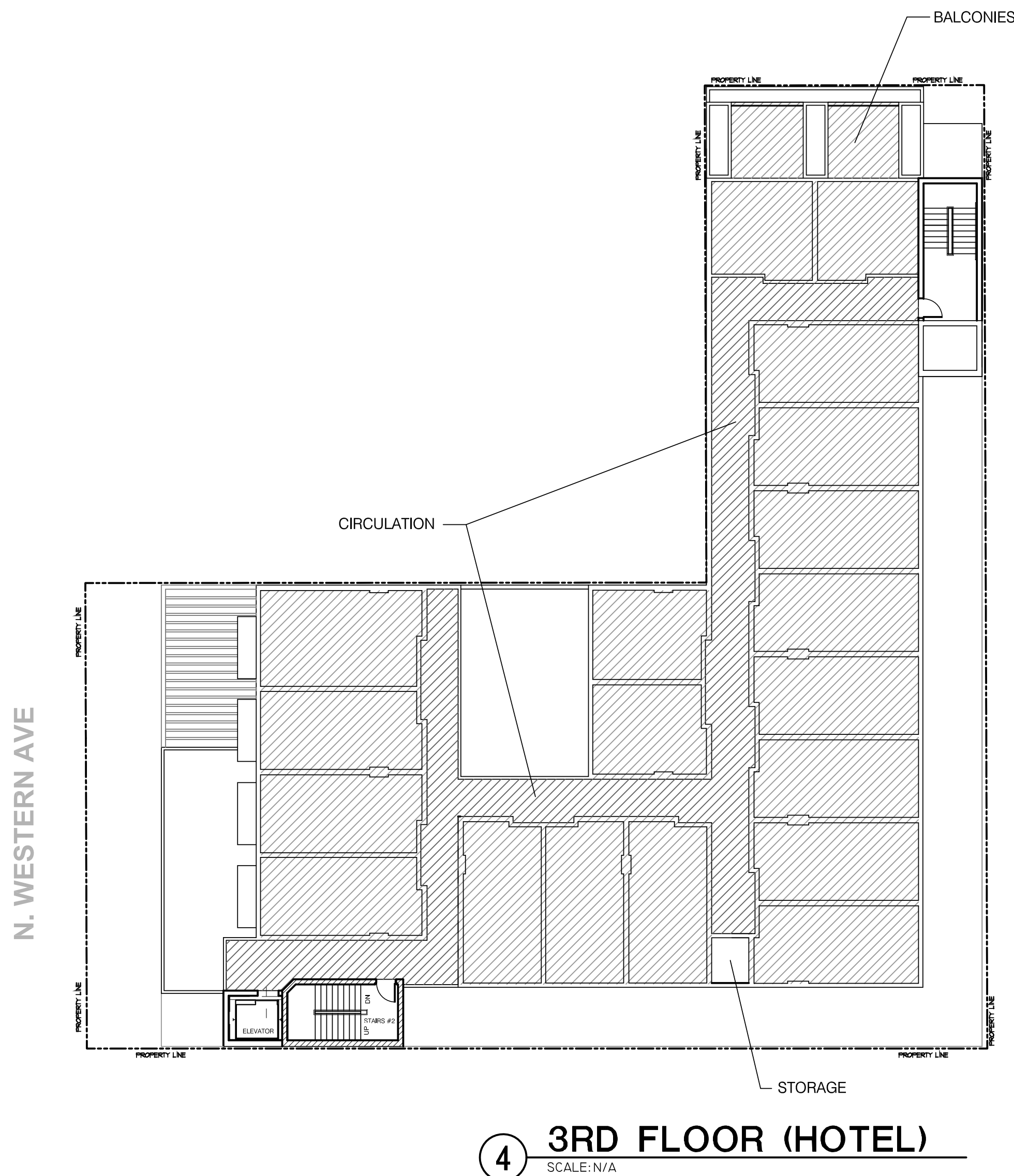
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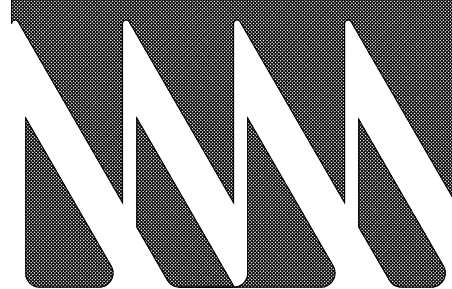
NOTE:
1. FLOOR AREA FAR (LAMC ZONING CODE) THE AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING: EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING-OPERATING EQUIPMENT OR MACHINERY, PARKING AREAS WITH ASSOCIATED DRIVEWAYS AND RAMPS, SPACE DEDICATED TO BICYCLE PARKING, SPACE FOR LANDING AND STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS, (LAMC CHL. ARTICLE 2 SEC.12.03 DEFINITIONS)

TOTAL PROJECT FAR	
AMENITY	519 SF
CIRCULATION	416 SF
CORRIDOR	3,641 SF
LOBBY	3,140 SF
RESIDENTIAL UNITS	5,143 SF
BALCONIES	868 SF
HOTEL ROOMS	11,888 SF
OFFICE	256 SF
GYM	375 SF
RESTROOMS	145 SF
TOTAL FLOOR AREA	27,098 SF



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alajajan • marcoosi architects



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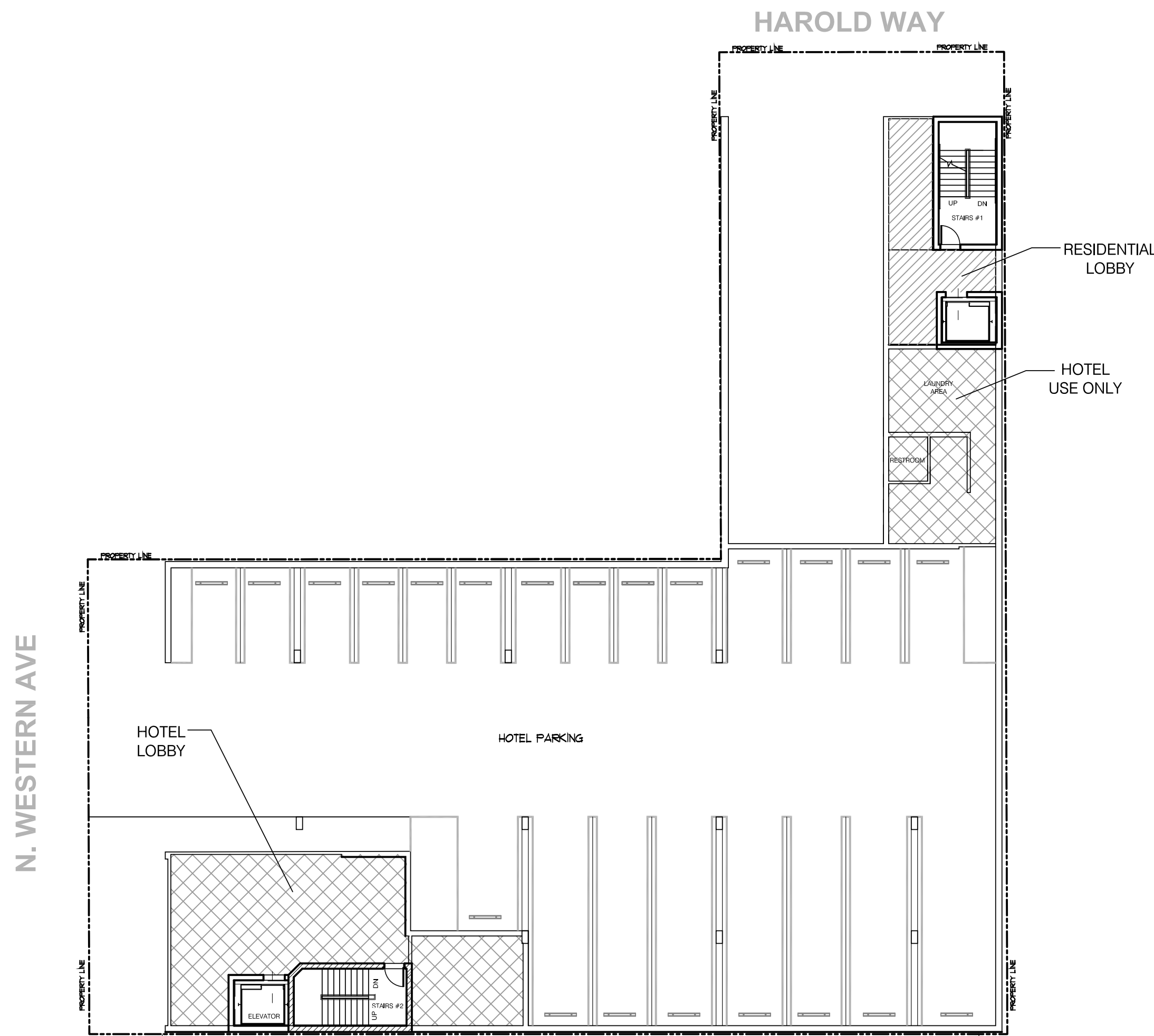
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**OPEN SPACE
DIAGRAM**

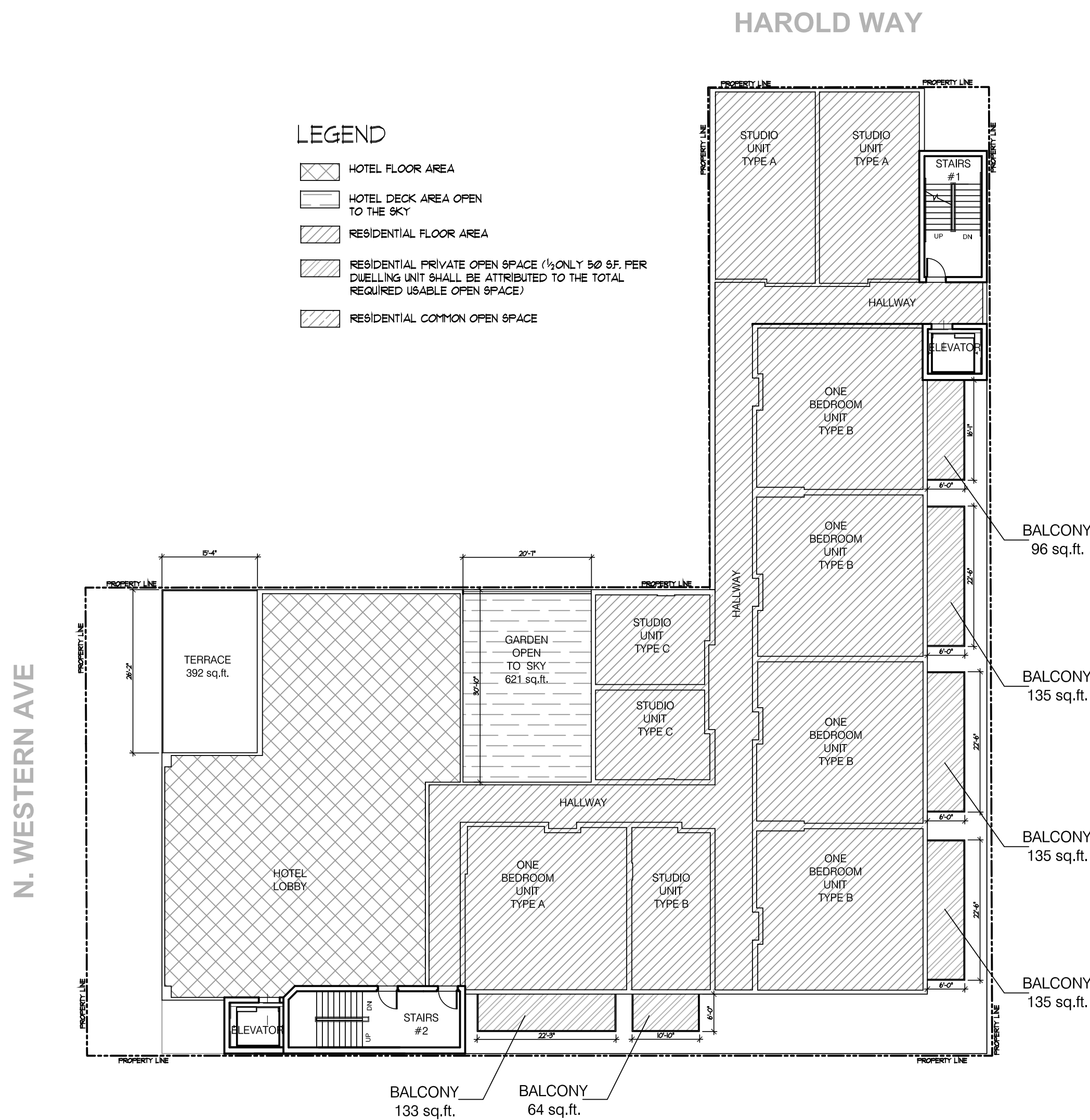
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- APPROVED
- APPROVED
- REVISION
- REVISION
- REVISION
- DRAWN BY
- PRINT DATE
- SHEET NO

A-0.4



1 1ST FLOOR
SCALE: N/A

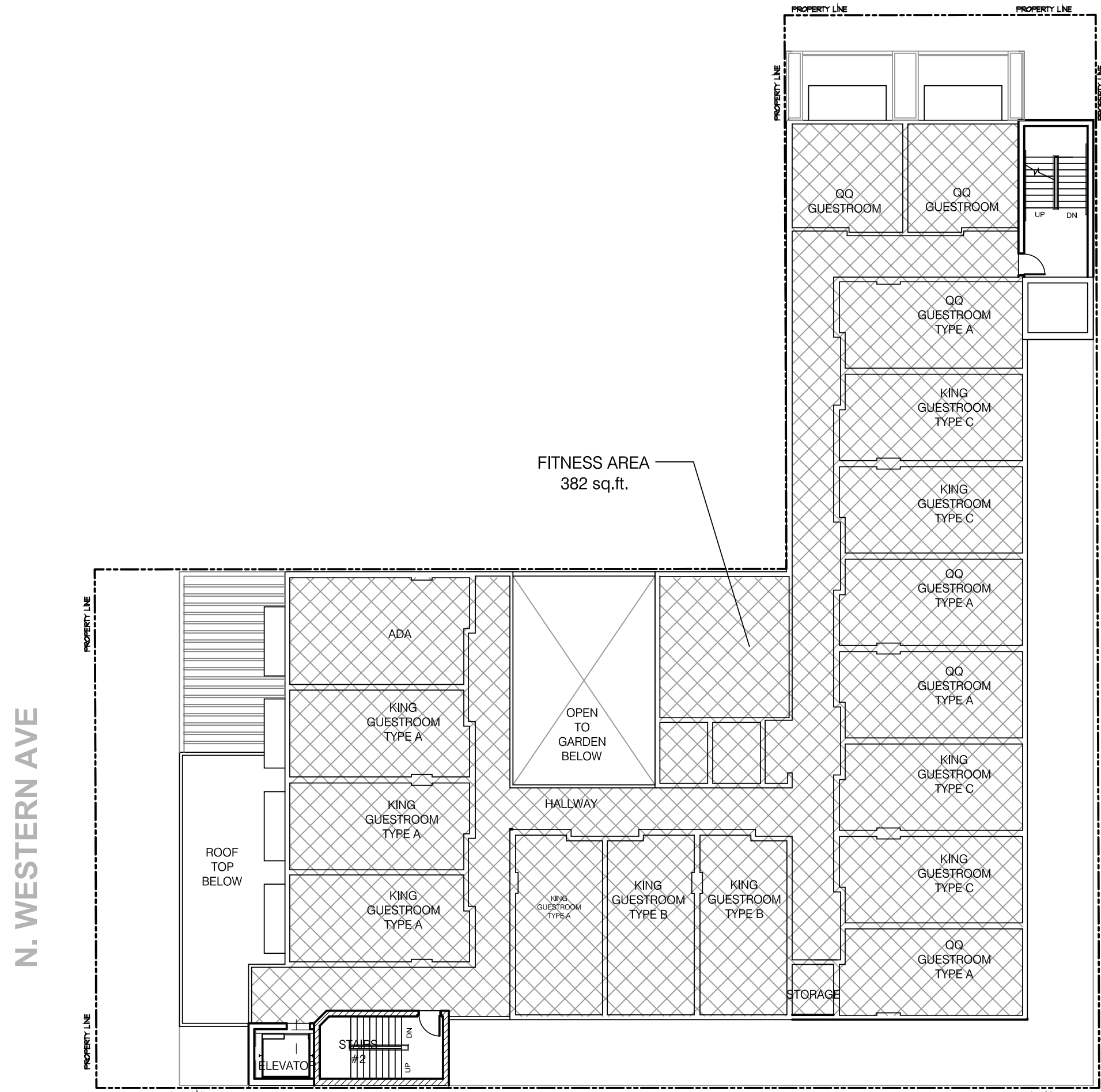


2 2ND FLOOR (RESIDENTIAL)
SCALE: N/A

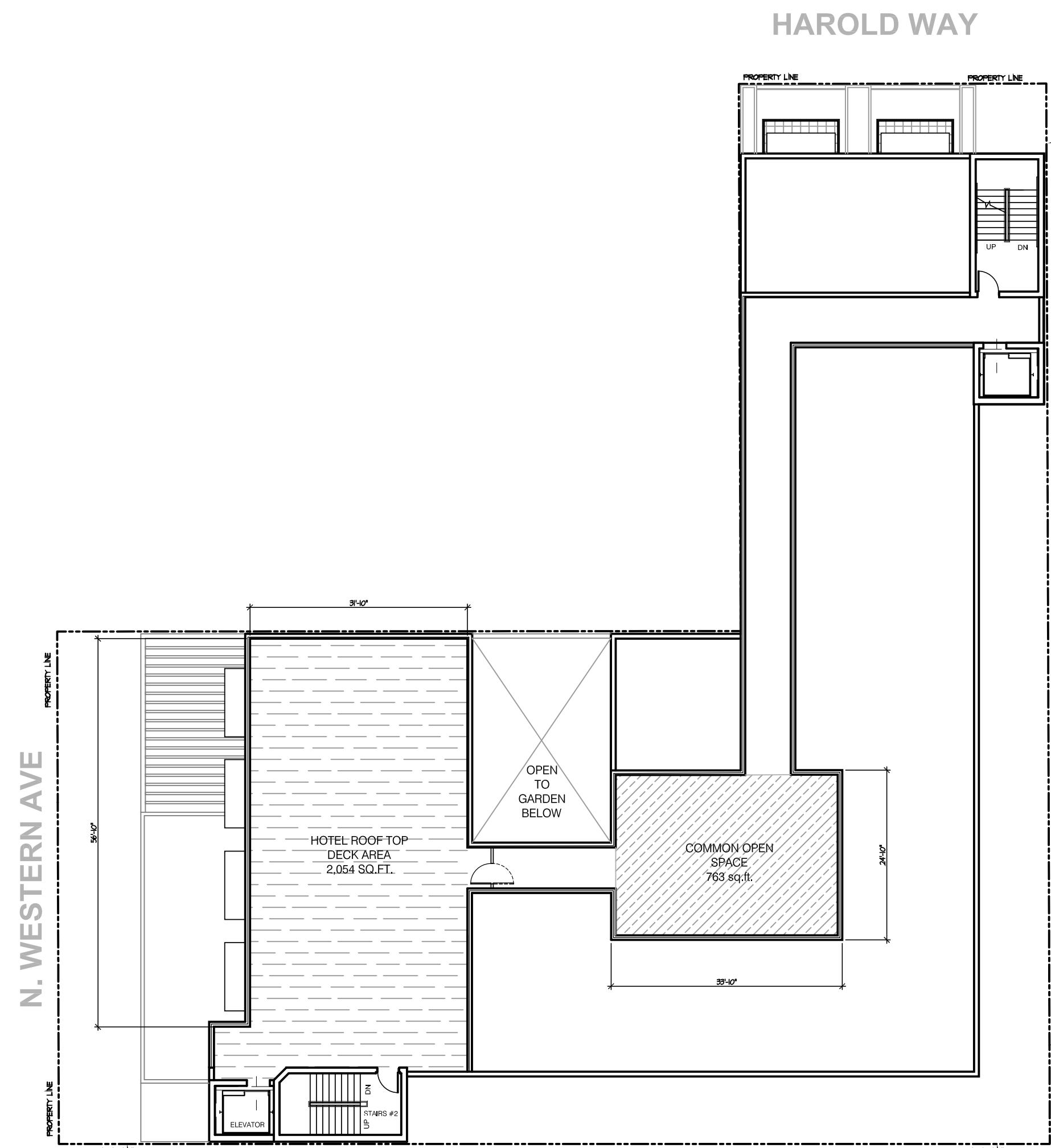


3 3RD FLOOR (HOTEL)
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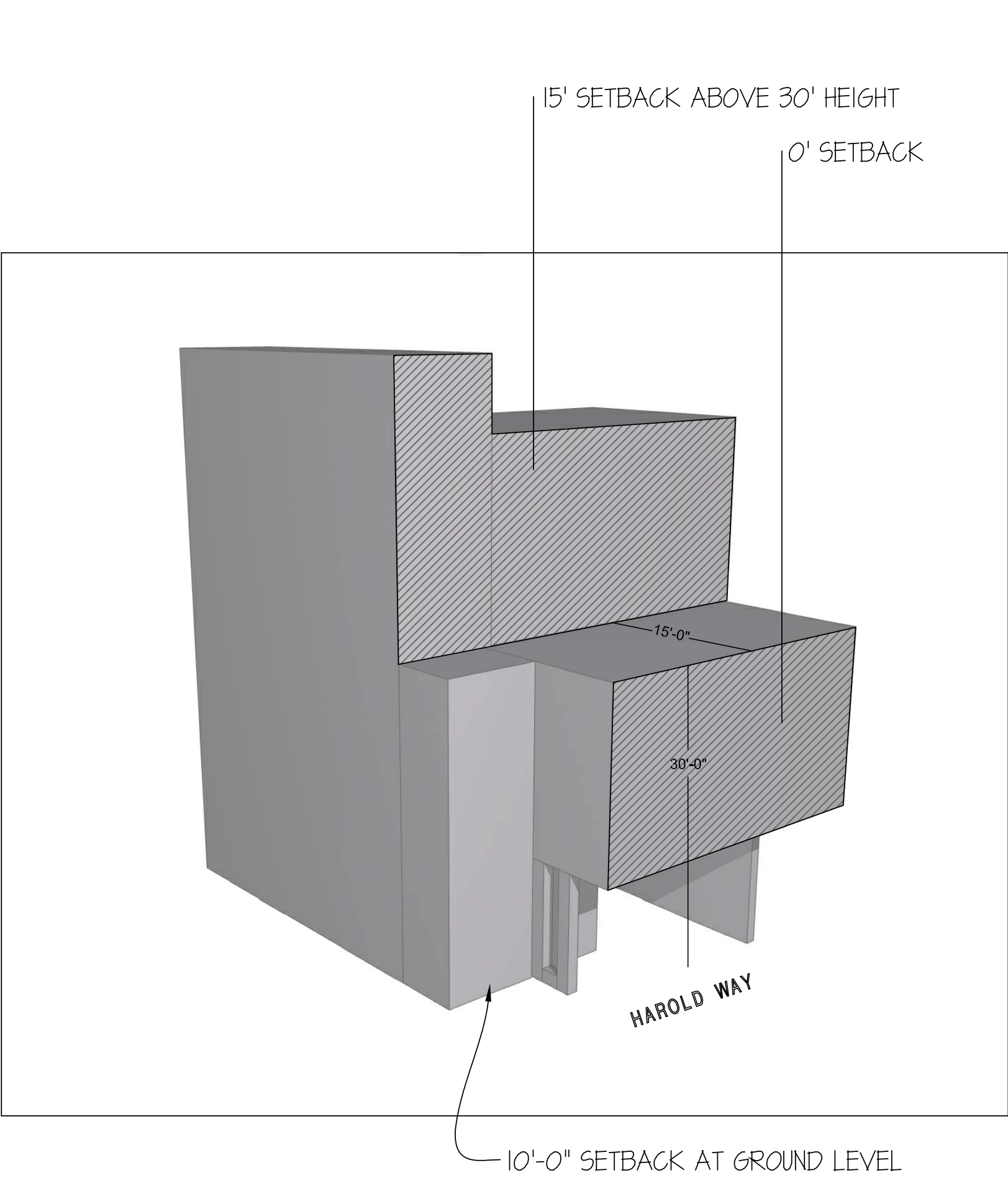
RESIDENTIAL OPEN SPACE CALCULATION			
OPEN SPACE REQUIRED			
UNIT TYPE	QUANTITY	REQUIRED	TOTAL REQUIRED
STUDIO	5	100 SF	500 SF
1 BEDROOM	5	100 SF	500 SF
REQUIRED OPEN SPACE			1,000 SF
OPEN SPACE PROVIDED - COMMON (ROOF DECK)			
ROOF DECK OPEN SPACE			763 SF
OPEN SPACE PROVIDED - PRIVATE (EXTERIOR)			
PRIVATE BALCONIES 133+64+135+135+135+135			633 SF
LANDSCAPE OPEN SPACE PLANTING AREA (PROVIDED)			
2ND FLOOR DECK AREA			683 SF
ROOF DECK OPEN SPACE			140 SF
NOTE (PER LAMC): MIN. 25% OF THE COMMON OPEN SPACE SHALL BE PLANTED:			
TOTAL PROVIDED OPEN SPACE LANDSCAPE			1,073 SF
REQUIRED USABLE OPEN SPACE: 10 UNITS X 100 S.F. = 1,000 S.F.			
REQUIRED COMMON OPEN SPACE: 1,000 S.F. - 300 S.F. = 700 S.F.			
PROVIDED COMMON OPEN SPACE: ROOF DECK AREA = 763 S.F.			



4 4TH FLOOR
SCALE: N/A

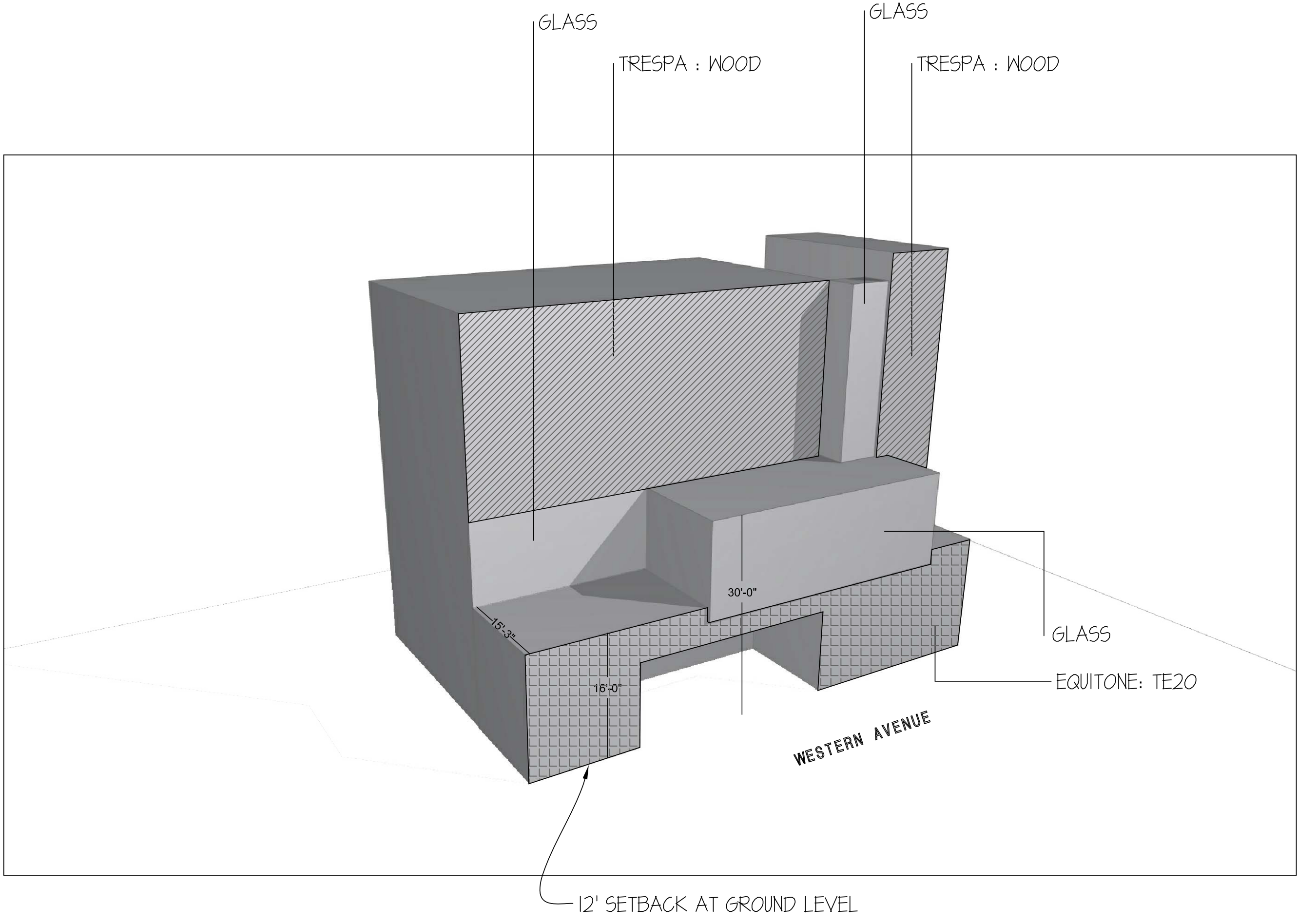


5 ROOF DECK
SCALE: N/A



MINIMUM REQUIRED SETBACK VOLUME = 9105 CF
PROPOSED REQUIRED SETBACK VOLUME = 9105 CF

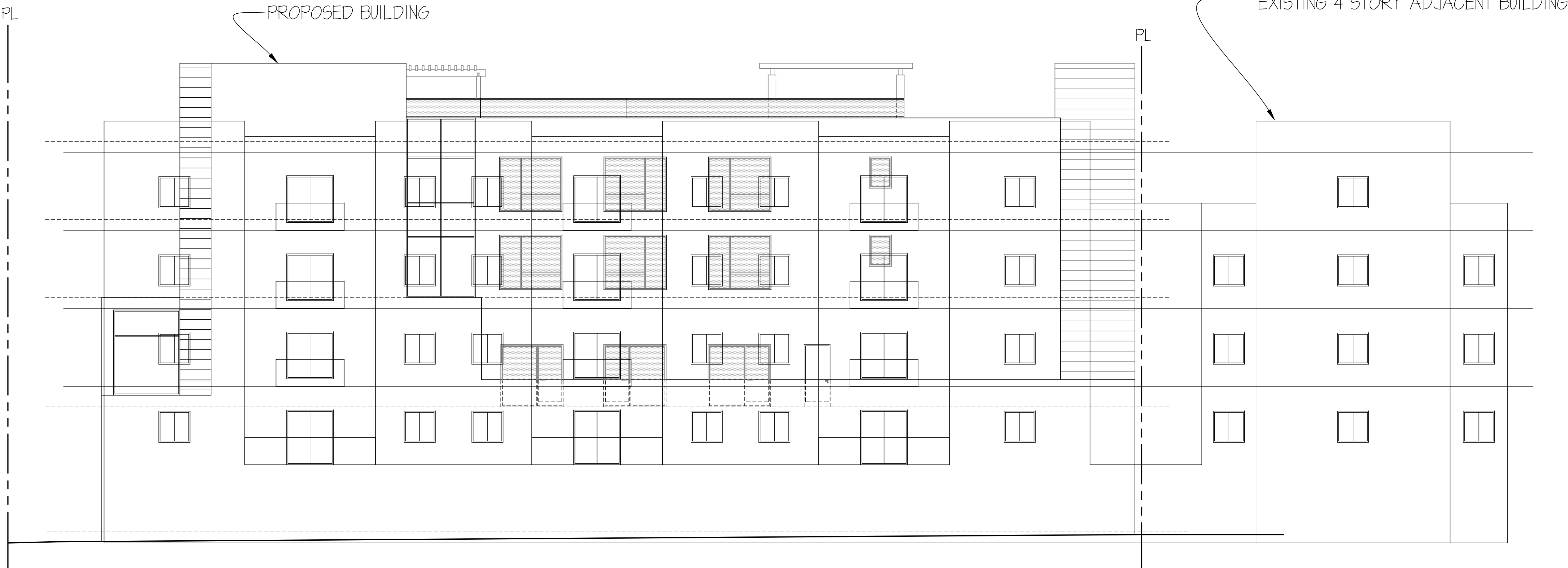
5 HAROLD WAY VOLUMETRIC DIAGRAM
SCALE: N/A



MINIMUM REQUIRED SETBACK VOLUME = 14,860 CF
PROPOSED REQUIRED SETBACK VOLUME = 22,830 CF

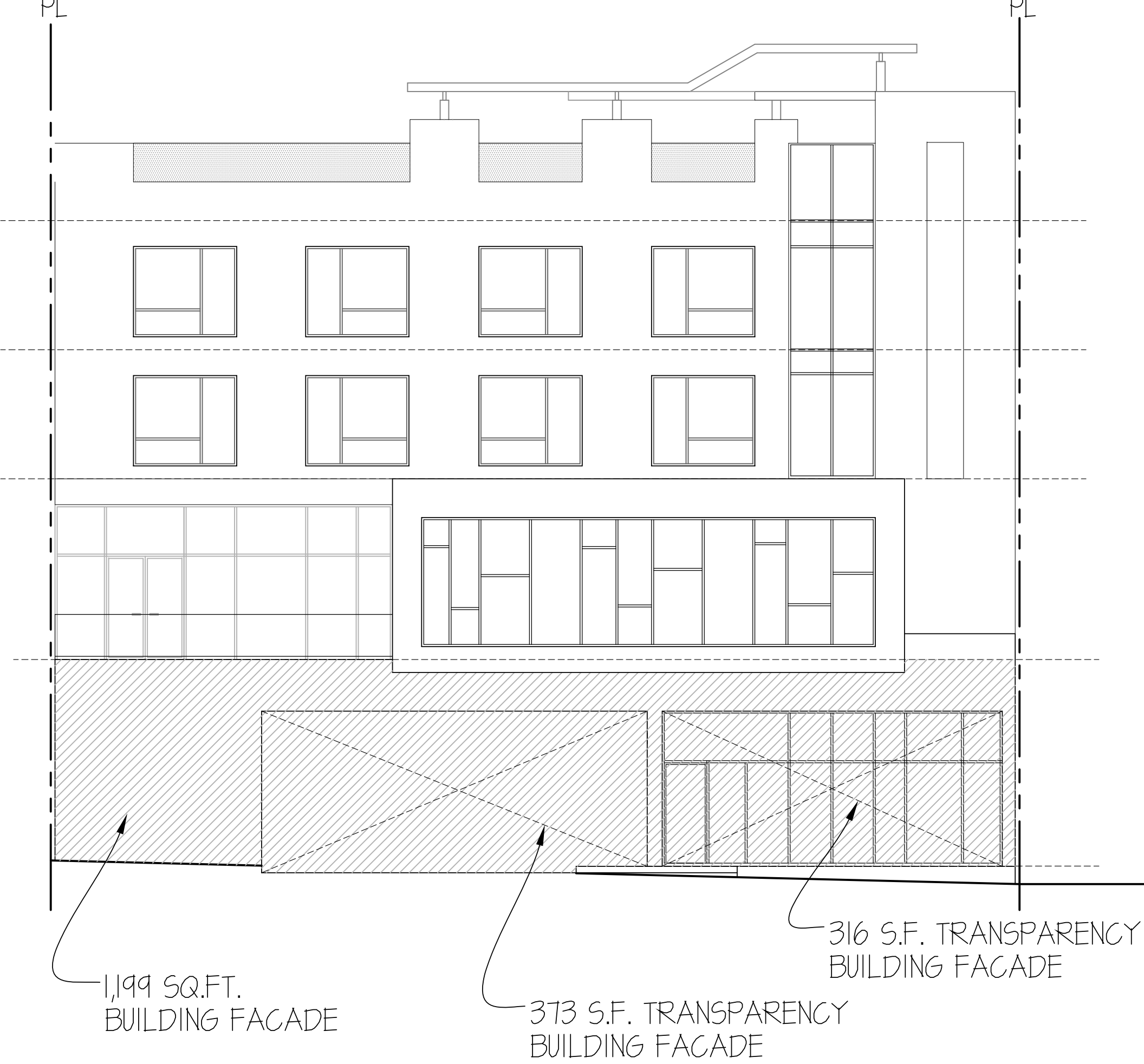
REDISTRIBUTION OF BUILDING MASS/VOLUME
EQUIVALENT TO THE TOTAL REQUIRED
SETBACKS AT THE FRONT FACADE.

4 WESTERN VOLUMETRIC DIAGRAM
SCALE: N/A



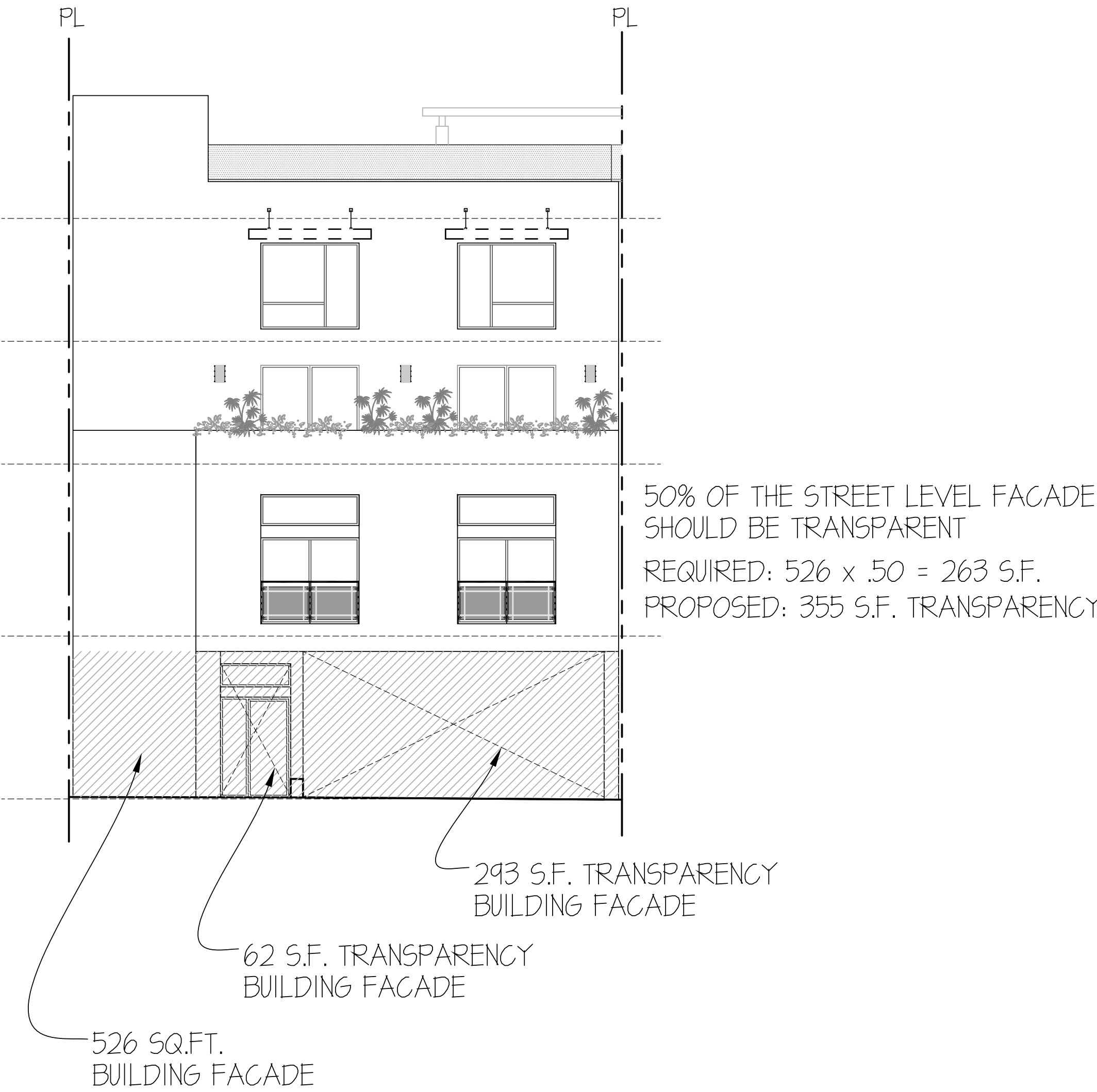
3 EXISTING AND PROPOSED WINDOW OVERLAP
SCALE: 1/8"=1'-0"

25% TRANSPARENCY DIAGRAM



50% OF THE STREET LEVEL FACADE SHOULD
BE TRANSPARENT
REQUIRED: 1,199 x .50 = 599.5 S.F.
PROPOSED: 689 S.F. TRANSPARENCY

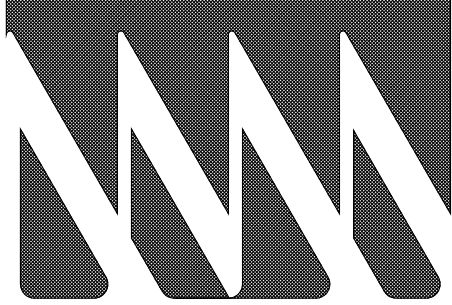
2 TRANSPARENCY DIAGRAM ON WESTERN AVE.
SCALE: N/A



1 TRANSPARENCY DIAGRAM ON HAROLD WAY
SCALE: N/A

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IDEAS, LOGOS AND ARRANGEMENTS REPRESENTED
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Email: aramar@att.net

Owner:
PHIL PATEL

1536 N. WESTERN AVE.

Project Name:
SAPPHIRE

Project Address:
1524-1530 N. WESTERN AVE

Scale:

**TRANSPARENCY
AND
FORM
DIAGRAM**

Scale: 1/8"=1'-0"

- APPROVED
- APPROVED
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- REVISION
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- DRAWN BY
- PRINT DATE
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Owner:
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1536 N. WESTERN AVE.

Project Name:
SAPPHIRE

Project Address:
1524-1530 N. WESTERN AVE

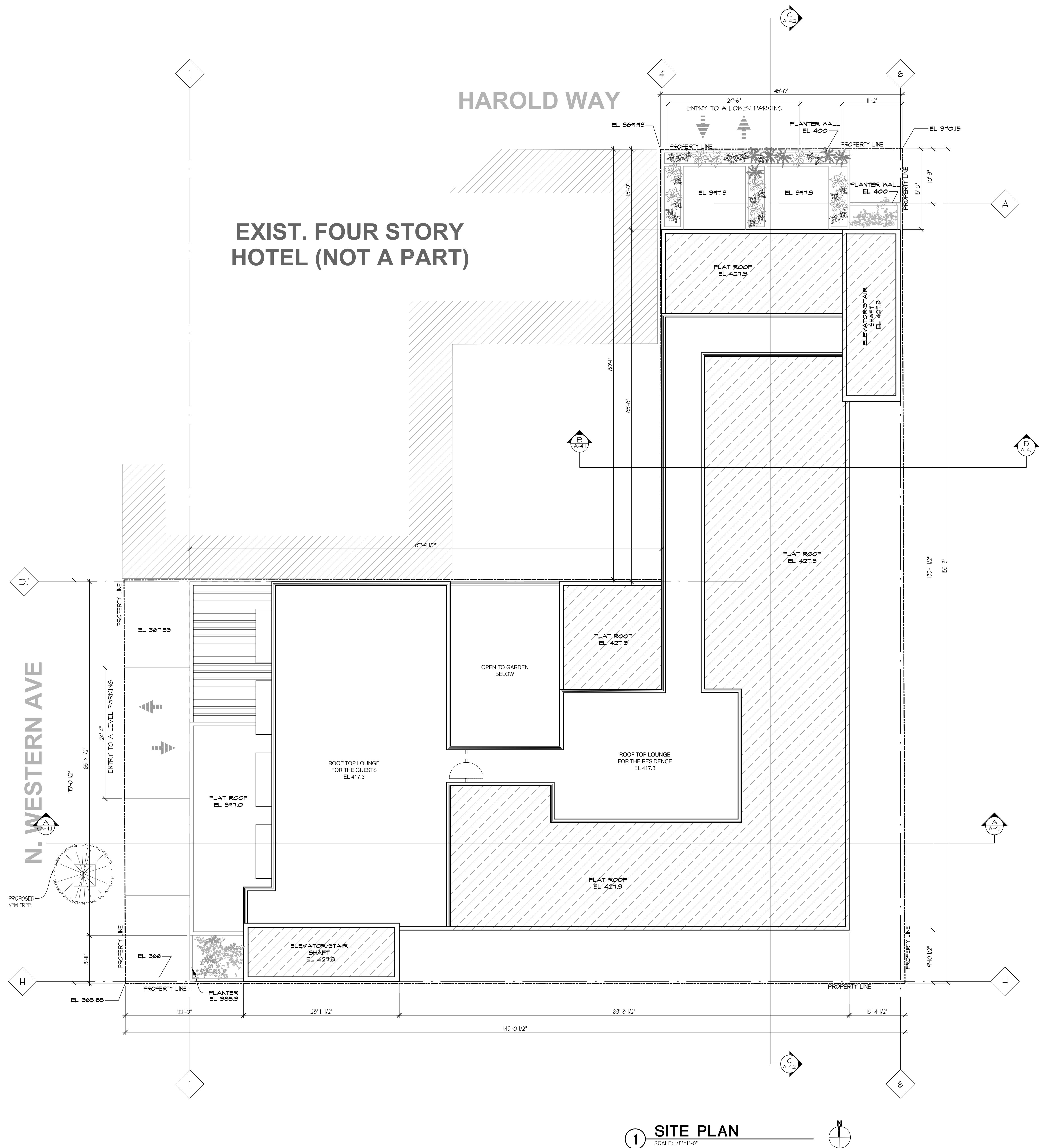
Scale:

SITE PLAN

Scale: 1/8"=1'-0"

- SHEET NO

A-1.1



1 SITE PLAN

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Project Name:

SAPPHIRE

Project Address:

1524-1530 N. WESTERN AVE

Scale:

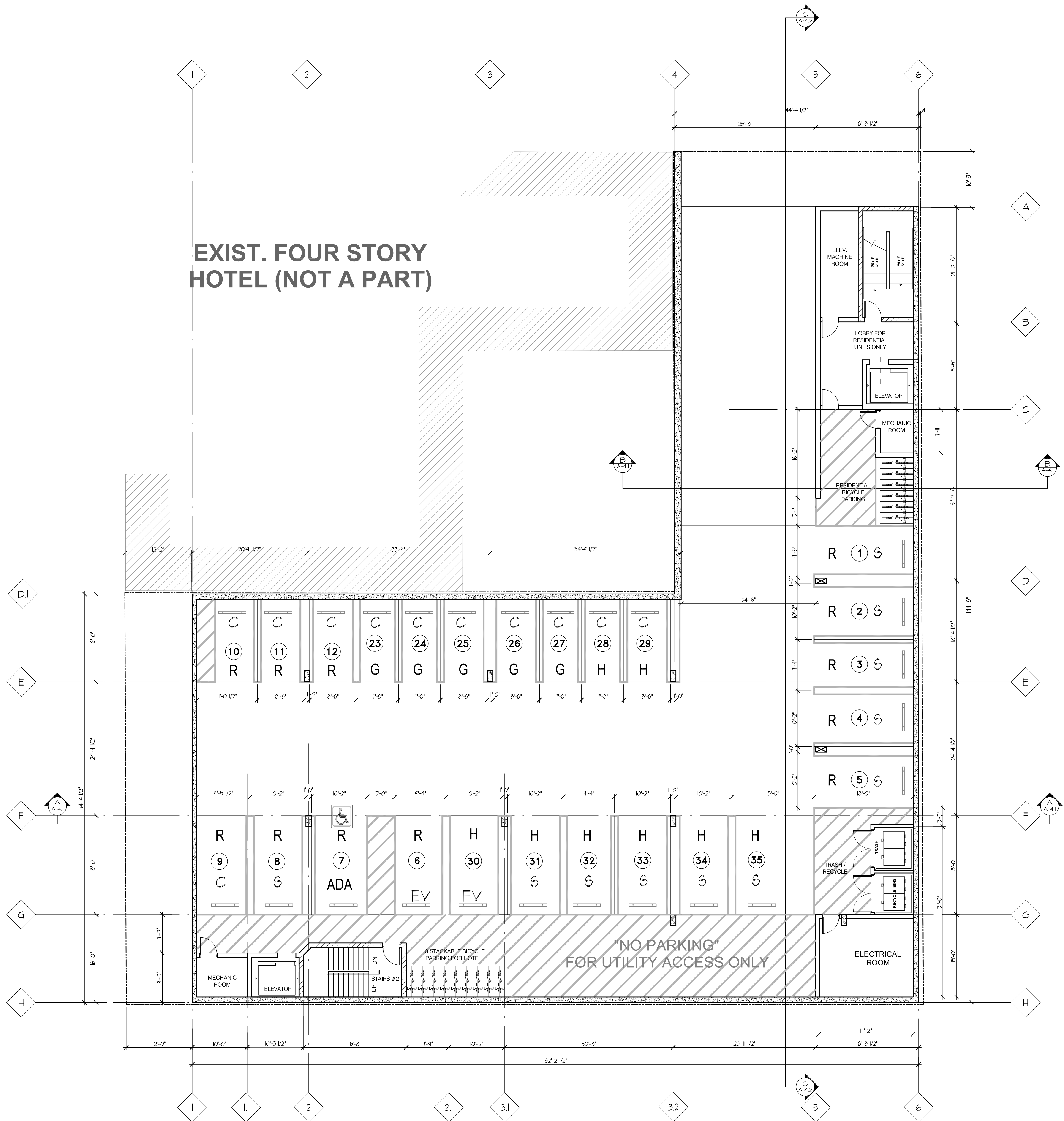
**BASEMENT
GARAGE
PLAN**

Scale: 1/8"=1'-0"

- APPROVED
- APPROVED
- REVISION
- REVISION
- REVISION
- DRAWN BY
- PRINT DATE 1-27-21

● SHEET NO

A-2.0



1 BASEMENT GARAGE PLAN
SCALE: 1/8"=1'-0"

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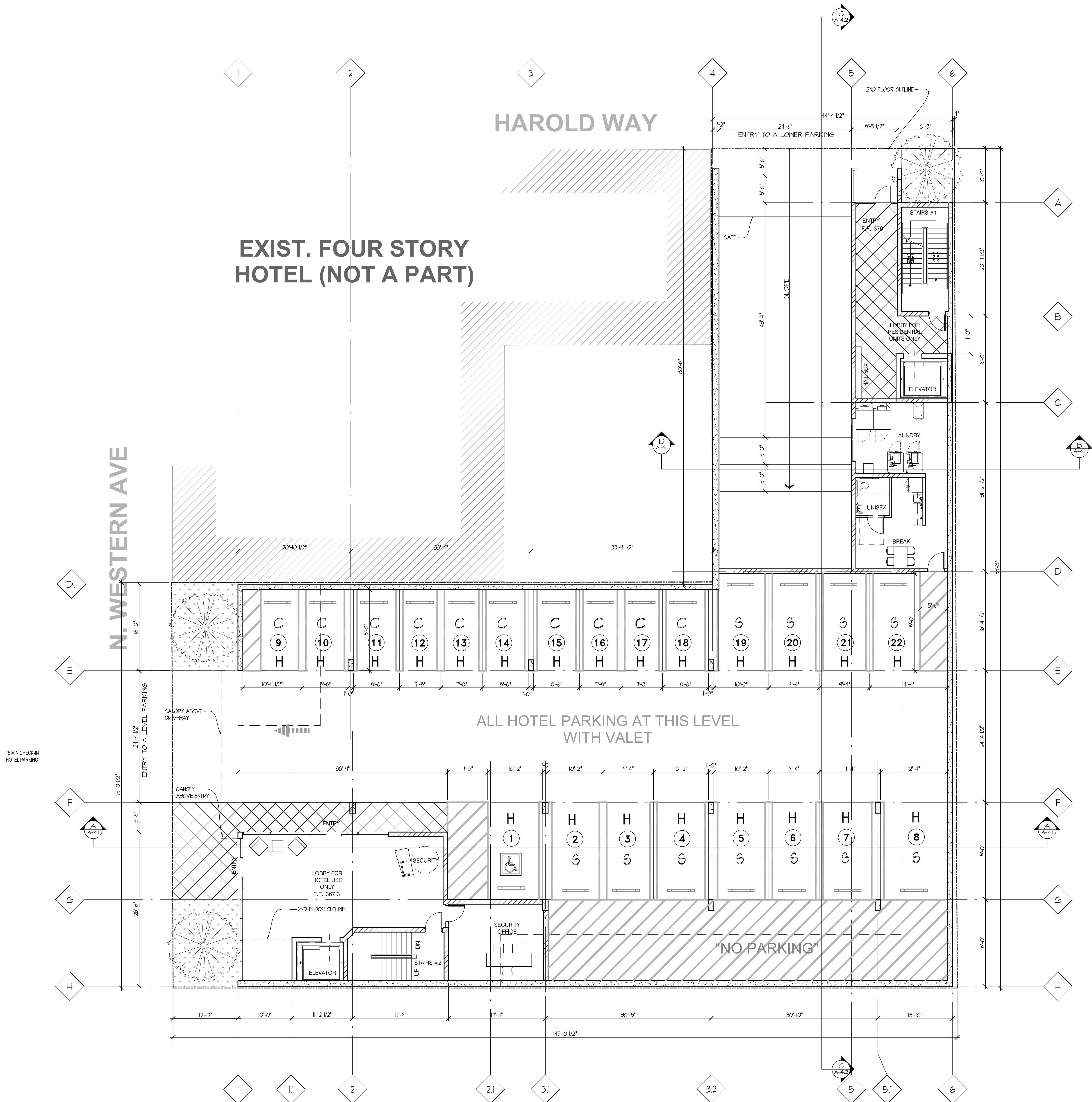
Scale:

**FIRST
FLOOR
PLAN**

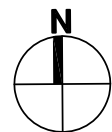
Scale: 1/8"=1'-0"

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- REVISION
- REVISION
- REVISION
- DRAWN BY
- PRINT DATE 1-27-21

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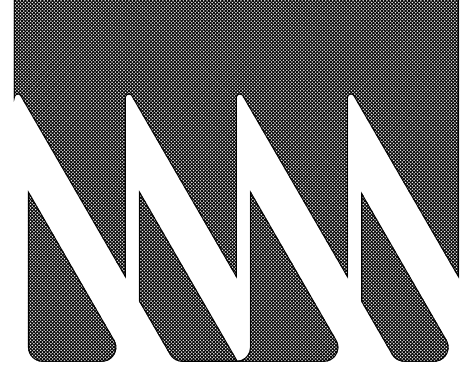


1 FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



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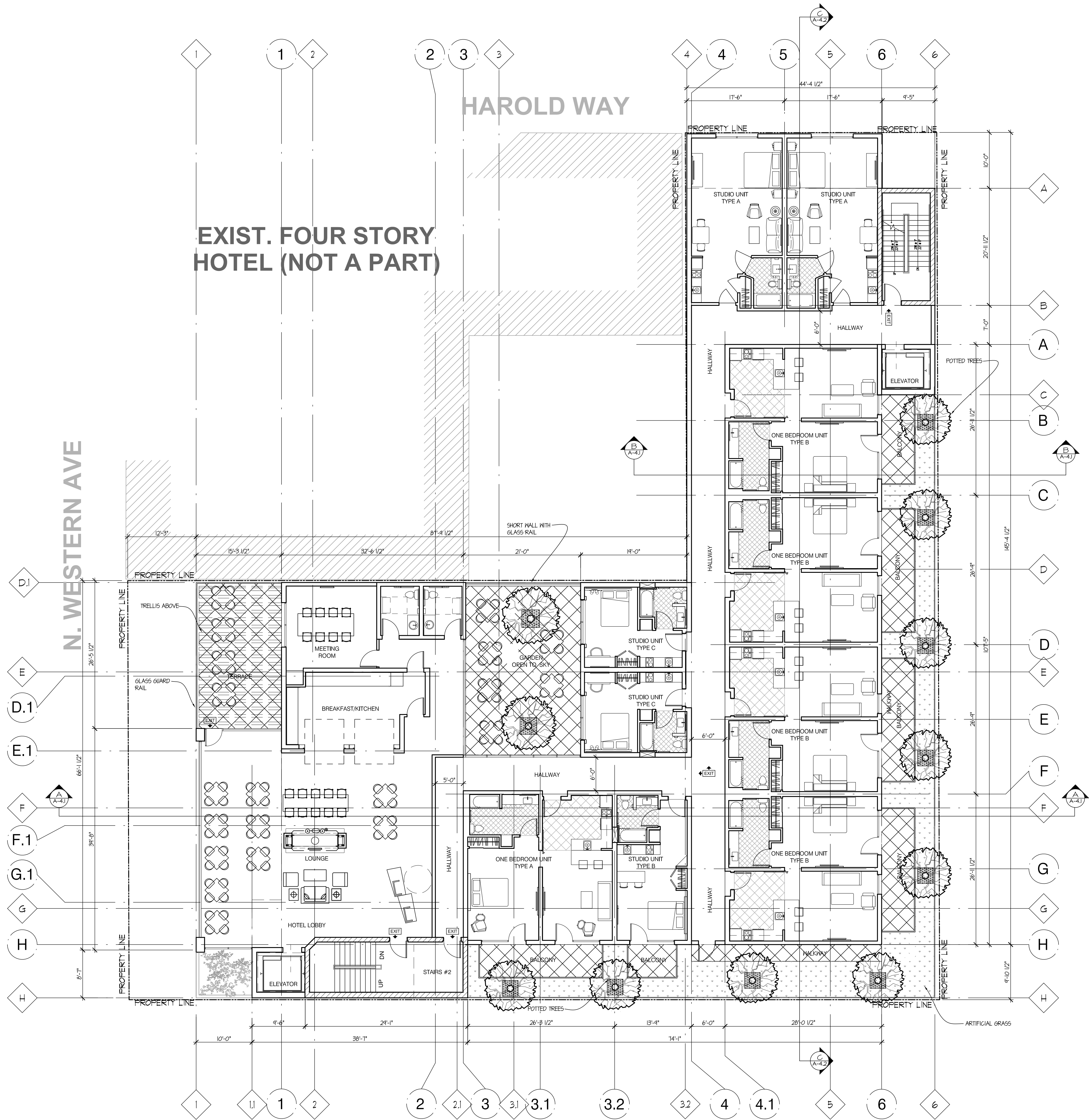
Scale:

SECOND FLOOR PLAN

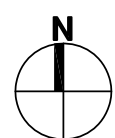
Scale: 1/8"=1'-0"

- APPROVED
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1 SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



THE ABOVE DRAWINGS AND SPECIFICATIONS AND
DETAILED VIEWS AND ARRANGEMENTS REPRESENTED
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SAPPHIRE

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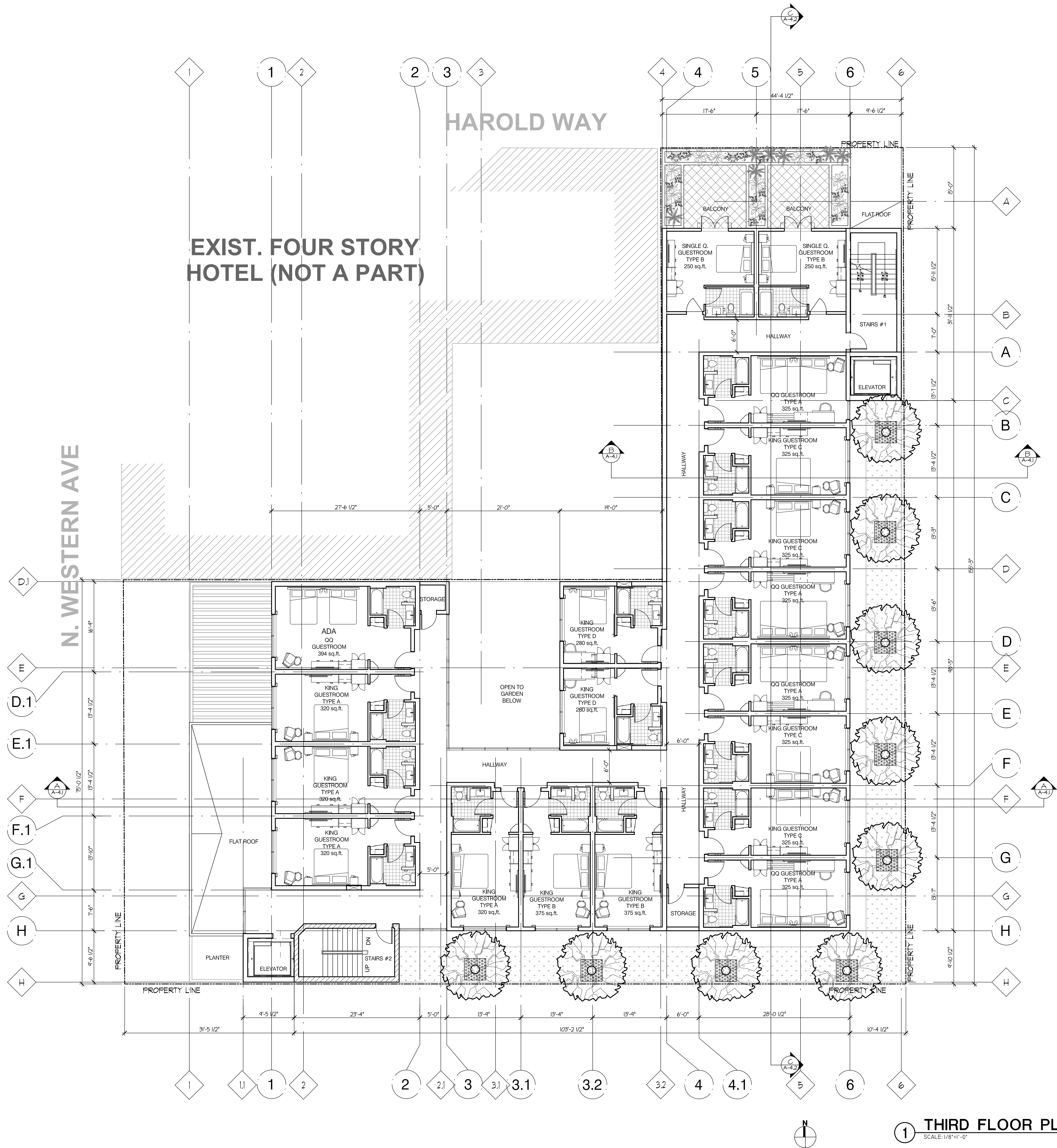
Scale:

**THIRD
FLOOR
PLAN**

Scale: 1/8"=1'-0"

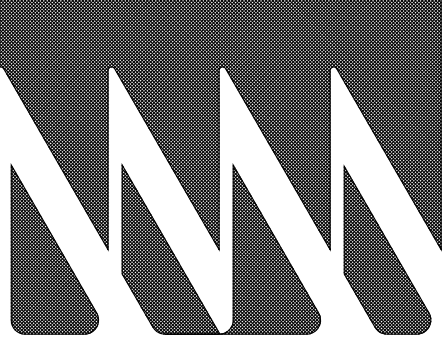
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- APPROVED
- REVISION
- REVISION
- REVISION
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- PRINT DATE 6-28-19

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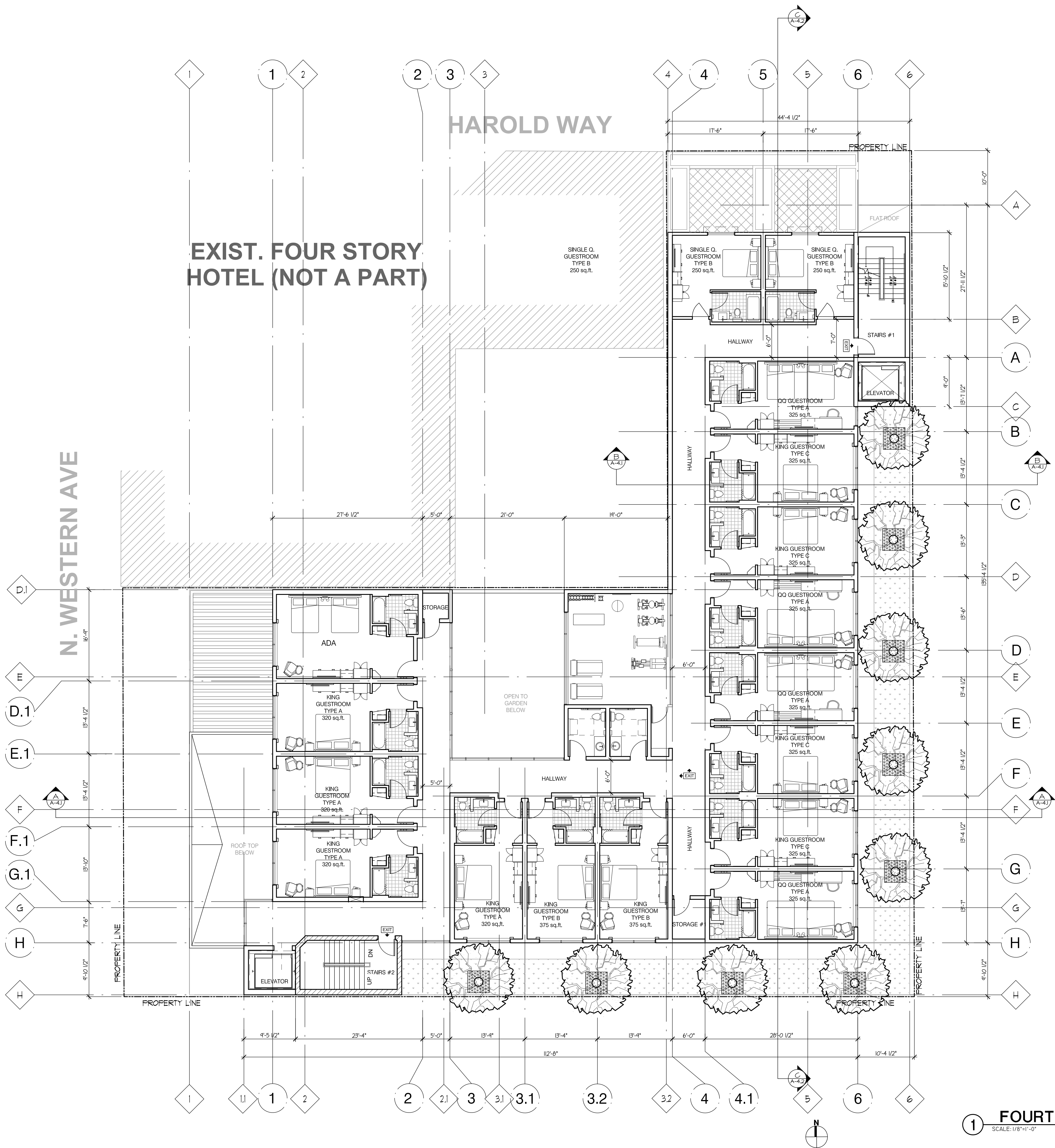
Scale:

**FOURTH
FLOOR
PLAN**

Scale: 1/8"=1'-0"

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- APPROVED
- REVISION
- REVISION
- REVISION
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- PRINT DATE 6-28-19

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PHIL PATEL

Project Name:
UPPER 8 MOTEL

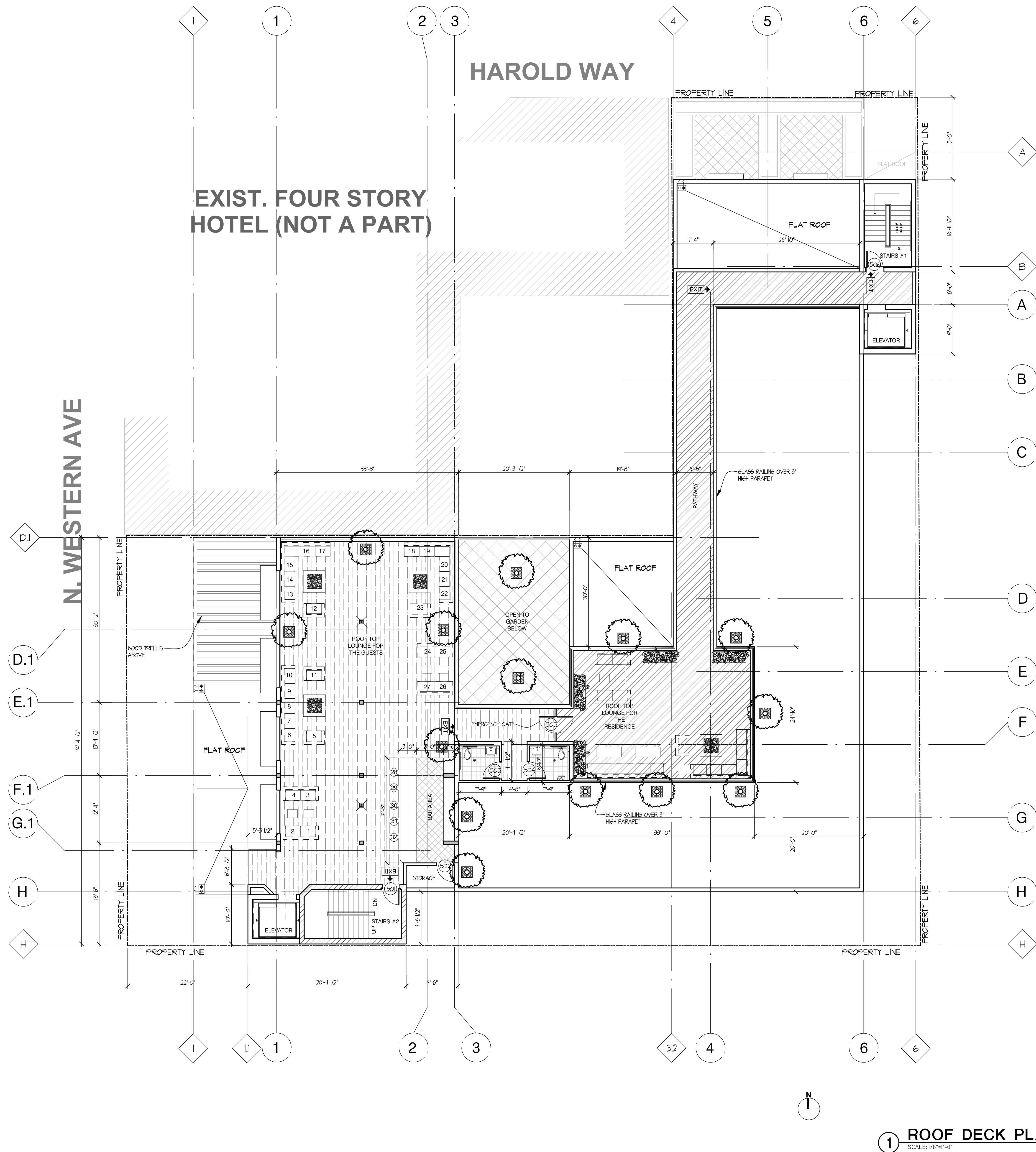
Object Address:
36 N. WESTERN AVE.

scale:

ROOF DECK PLAN

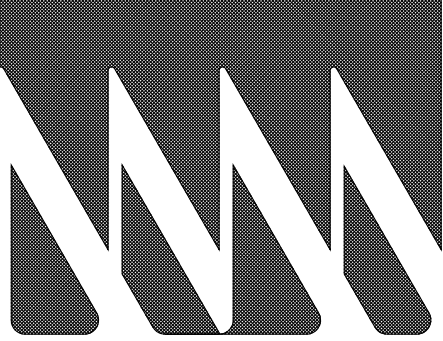
Scale: 1/8"=1'-0"

- ## A-2.5



THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAL LOCATIONS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW BEFORE PROCEEDING WITH THE FABRICATION.

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Owner:

PHIL PATEL

1536 N. WESTERN AVE.

Project Name:

SAPPHIRE

Project Address:

1524-1530 N. WESTERN AVE

Scale:

ROOF PLAN

Scale: 1/8"=1'-0"

● APPROVED

● APPROVED

● REVISION

● REVISION

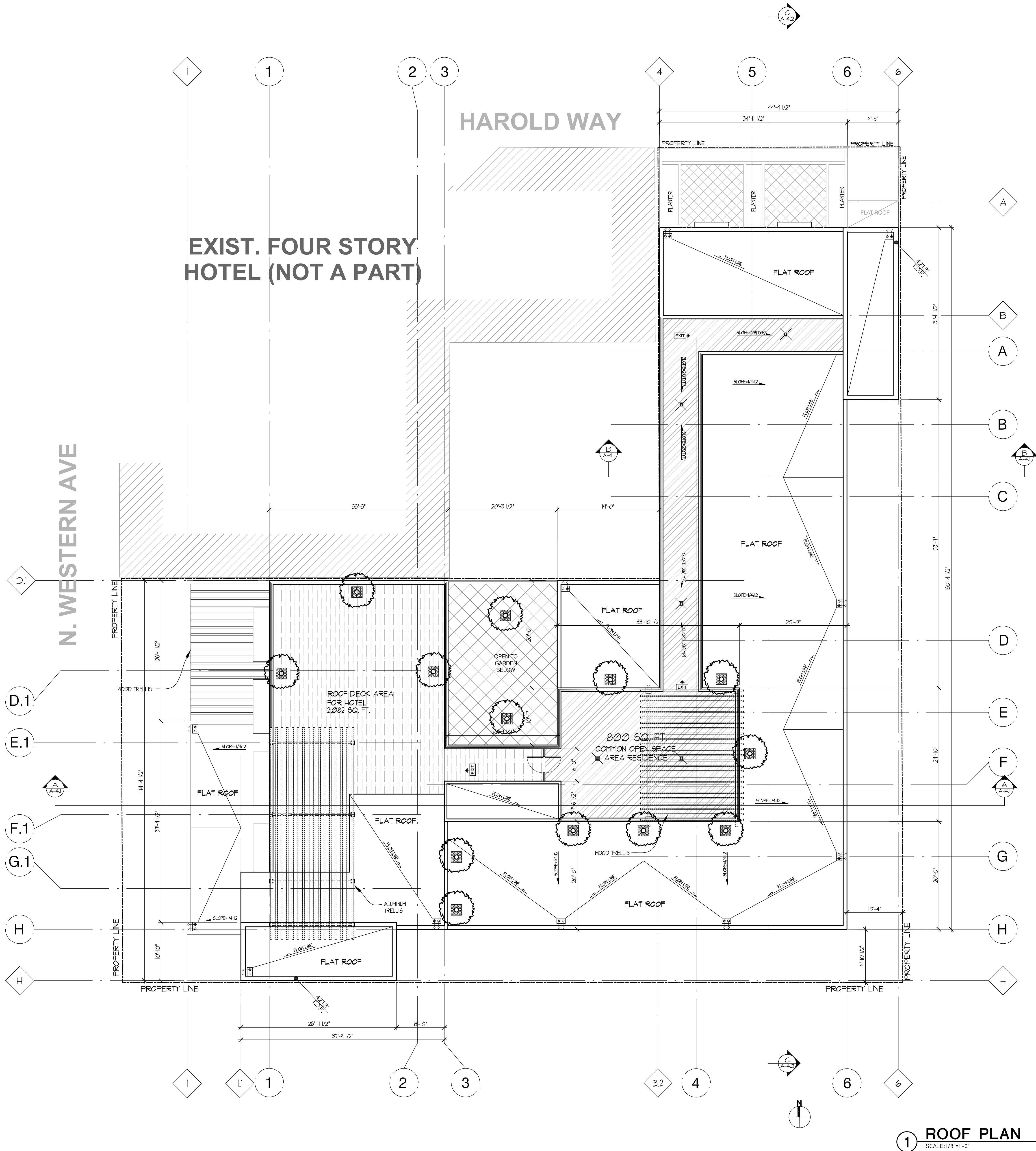
● REVISION

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● PRINT DATE

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A-2.6



1 ROOF PLAN

SCALE: 1/8"=1'-0"

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1536 N. WESTERN AVE.

Project Name:

SAPPHIRE

Project Address:

1524-1530 N. WESTERN AVE

Scale:

ELEVATIONS

Scale: 1/8"=1'-0"

● APPROVED

● APPROVED

● REVISION

● REVISION

● REVISION

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● PRINT DATE

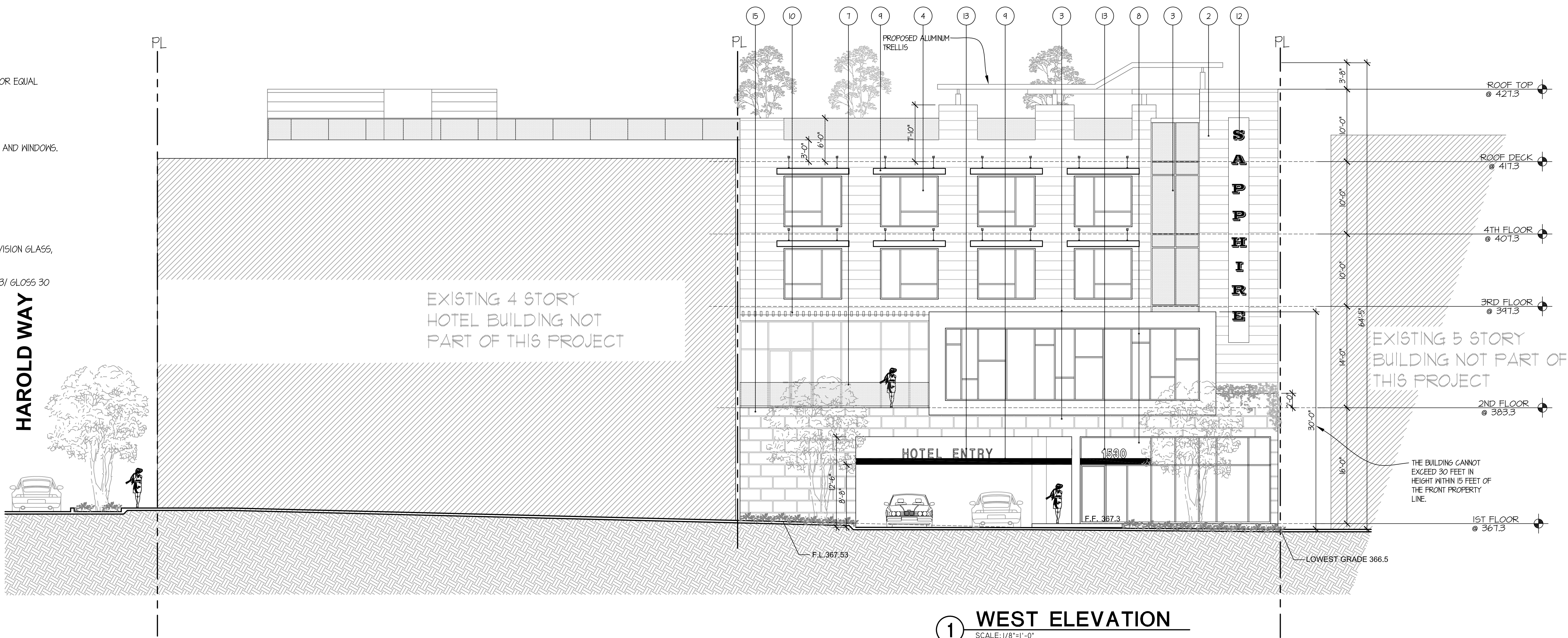
● SHEET NO

A-3.1

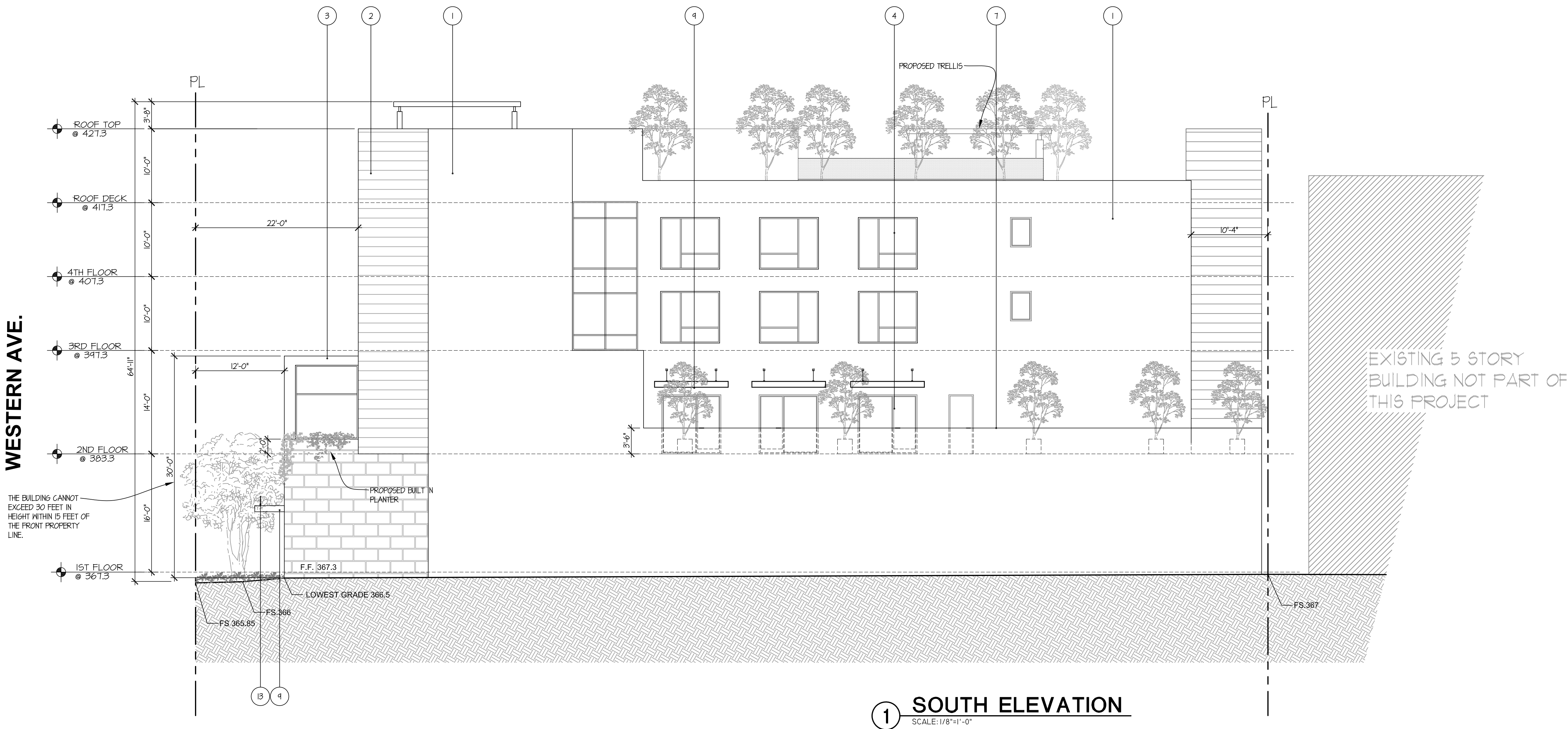
EXTERIOR FINISH MATERIALS:

- 1/8" THK. CEMENT PLASTER, "OMEGA" COLOR 9205 OMEGA FLEX FINE OR EQUAL.
- TRESPA: NQ24 GREYED CEDAR MATT
- BRUSHED ALUMINUM GLADDING
- ANODIZED ALUMINUM FRAME W/ DUAL GLAZED VISION GLASS DOORS AND WINDOWS.
- DUAL GLAZED LOW "E" VISION GLASS, WITH GRAY METALLIC COLOR ALUMINUM ANODIZED FRAME CURTAIN WALL ASSEMBLY(TYP.).
- COMPOSITE ALUMINUM COPING.
- 42" HIGH, MIN 1/4" THICK CLEAR TEMPERED GLASS PANEL RAILING.
- STOREFRONT, NATURAL ANODIZED ALUMINUM FRAME, DUAL GLAZED, VISION GLASS, CLEAR.
- GLAD CANOPIES: "ALUCOBOND" AZURE MERCEDES DEEP BLUE PVDF 3/ GLOSS 30
- WOOD TRELLIS
- ROLL-UP ALUMINUM SCREEN DOOR.
- 18" HIGH, 1-1/2" STROKE, STAINLESS STEEL LETTERS
- 14" HIGH, 1-1/2" STROKE, STAINLESS STEEL BUILDING NUMBER
- 1/4" W. ALUMINUM REVEAL, "FRY REGLET" OR EQUAL(TYP.)
- EQUITONE TE20; FIBER CEMENT SIDING OR EQUAL

HAROLD WAY



1 WEST ELEVATION
SCALE: 1/8"=1'-0"



1 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

WESTERN AVE.

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Owner:
PHIL PATEL

1536 N. WESTERN AVE.

Project Name:
SAPPHIRE

Project Address:
1524-1530 N. WESTERN AVE

Scale:

ELEVATIONS

Scale: 1/8"=1'-0"

- APPROVED
- APPROVED
- REVISION
- REVISION
- REVISION
- DRAWN BY
- PRINT DATE
- SHEET NO

A-3.1a

EXTERIOR FINISH MATERIALS:

1. 7/8"THK. CEMENT PLASTER, "OMEGA" COLOR 9205 OMEGAFLEX FINE OR EQUAL
2. TRESPA: NM24 GREYED CEDAR MATT
3. BRUSHED ALUMINUM CLADDING
4. ANODIZED ALUMINUM FRAME W/ DUAL GLAZED VISION GLASS DOORS AND WINDOWS.
5. DUAL GLAZED LOW "E" VISION GLASS, WITH GRAY METALLIC COLOR ALUMINUM ANODIZED FRAME CURTAIN WALL ASSEMBLY(TYP.).
6. COMPOSITE ALUMINUM COPING.
7. 42" HIGH, MIN 1/4" THICK CLEAR TEMPERED GLASS PANEL RAILING.
8. STOREFRONT, NATURAL ANODIZED ALUMINUM FRAME, DUAL GLAZED, VISION GLASS, CLEAR.
9. CLAD CANOPIES: "ALUCOBOND" AZURE MERCEDES DEEP BLUE PVDF 3/ 6L056 30
10. WOOD TRELLIS
11. ROLL-UP ALUMINUM SCREEN DOOR.
12. 18" HIGH, 1-1/2" STROKE, STAINLESS STEEL LETTERS
13. 14" HIGH, 1-1/2" STROKE, STAINLESS STEEL BUILDING NUMBER
14. 1/4" AL. ALUMINUM REVEAL, "FRY REGLET" OR EQUAL(TYP.)
15. EQUITONE TE20: FIBER CEMENT SIDING OR EQUAL



1 WEST ELEVATION
SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

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Project Name:

SAPPHIRE

Project Address:

1524-1530 N. WESTERN AVE

Scale:

ELEVATIONS

Scale: 1/8"=1'-0"

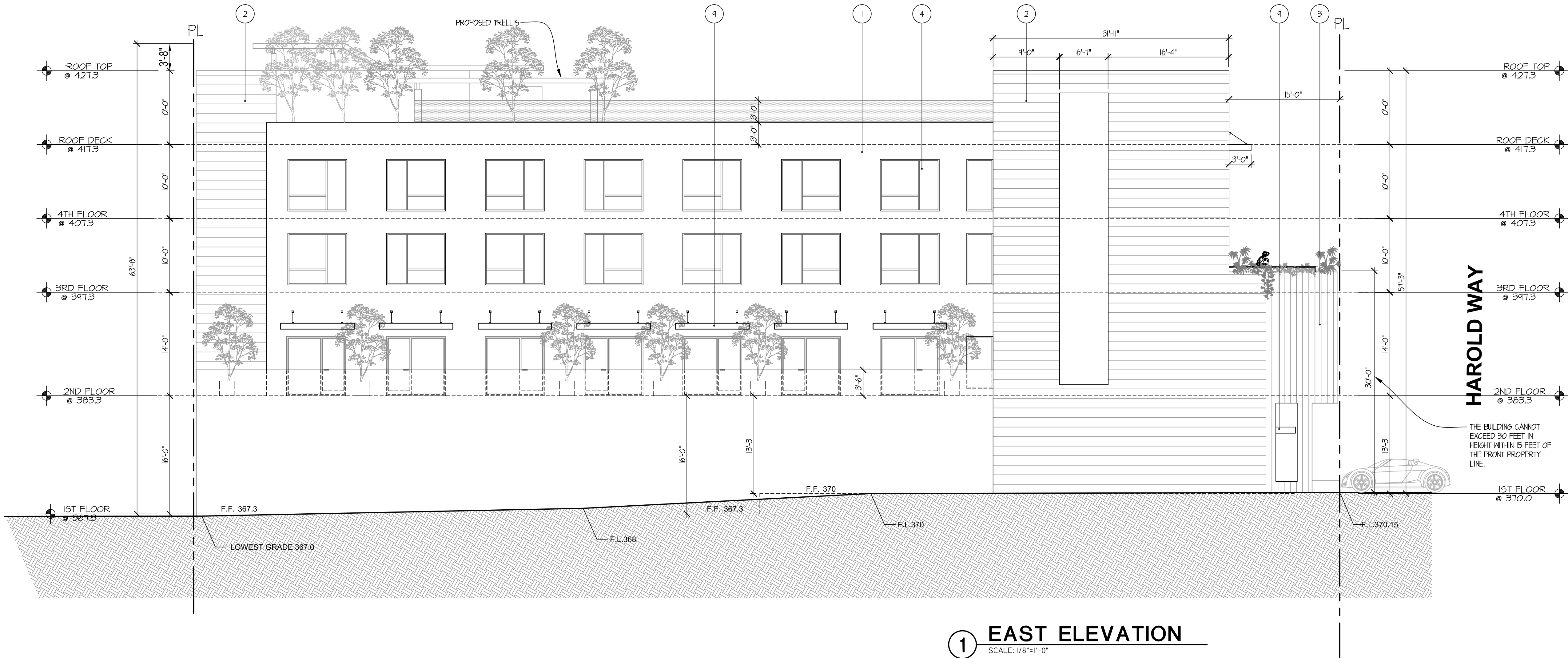
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A-3.2

EXTERIOR FINISH MATERIALS:

1. 7/8"THK. CEMENT PLASTER, "OMEGA" COLOR 9205 OMEGAFLEX FINE OR EQUAL
2. TRESPA: N024 GREYED CEDAR MATT
3. BRUSHED ALUMINUM CLADDING
4. ANODIZED ALUMINUM FRAME W/ DUAL GLAZED VISION GLASS DOORS AND WINDOWS.
5. DUAL GLAZED LOW "E" VISION GLASS, WITH GRAY METALLIC COLOR ALUMINUM ANODIZED FRAME CURTAIN WALL ASSEMBLY(TYP.)
6. COMPOSITE ALUMINUM COPING.
7. 42" HIGH, MIN 3/4" THICK CLEAR TEMPERED GLASS PANEL RAILING.
8. STOREFRONT, NATURAL ANODIZED ALUMINUM FRAME, DUAL GLAZED, VISION GLASS, CLEAR.
9. GLAD CANOPIES: "ALICOBOND" AZURE MERCEDES DEEP BLUE PVDF 3/ GL055 30
10. WOOD TRELLIS
11. ROLL-UP ALUMINUM SCREEN DOOR.
12. 18" HIGH, 1-1/2" STROKE, STAINLESS STEEL LETTERS
13. 14" HIGH, 1-1/2" STROKE, STAINLESS STEEL BUILDING NUMBER
14. 1/4" W/ ALUMINUM REVEAL, "FRY REGLET" OR EQUAL(TYP.)
15. EQUITONE TE20: FIBER CEMENT SIDING OR EQUAL



EXTERIOR FINISH MATERIALS:

1. 1/8"THK. CEMENT PLASTER, "OMEGA" COLOR 9205 OMEGAFLEX FINE OR EQUAL
2. TRESPA: NW24 GREYED CEDAR MATT
3. BRUSHED ALUMINUM CLADDING
4. ANODIZED ALUMINUM FRAME W/ DUAL GLAZED VISION GLASS DOORS AND WINDOWS.
5. DUAL GLAZED LOW "E" VISION GLASS, WITH GRAY METALLIC COLOR ALUMINUM ANODIZED FRAME CURTAIN WALL ASSEMBLY(TYP.)
6. COMPOSITE ALUMINUM COPING.
7. 42" HIGH, MIN 1/4" THICK CLEAR TEMPERED GLASS PANEL RAILINGS.
8. STOREFRONT, NATURAL ANODIZED ALUMINUM FRAME, DUAL GLAZED, VISION GLASS, CLEAR.
9. GLAD CANOPIES: "ALUCOBOND" AZURE MERCEDES DEEP BLUE PVDF 3/ 6LOSS 30
10. WOOD TRELLIS
11. ROLL-UP ALUMINUM SCREEN DOOR.
12. 18" HIGH, 1-1/2" STROKE, STAINLESS STEEL LETTERS
13. 14" HIGH, 1-1/2" STROKE, STAINLESS STEEL BUILDING NUMBER
14. 1/4" W/ ALUMINUM REVEAL, "FRY REGLET" OR EQUAL(TYP.)
15. EQUITONE TE20; FIBER CEMENT SIDING OR EQUAL
16. BRUSHED ALUMINUM PANEL



① NORTH ELEVATION
SCALE: 1/8"=1'-0"



② EAST ELEVATION
SCALE: 1/8"=1'-0"

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Email: aramar@att.net

Owner:
PHIL PATEL

1536 N. WESTERN AVE.

Project Name:
SAPPHIRE

Project Address:
1524-1530 N. WESTERN AVE

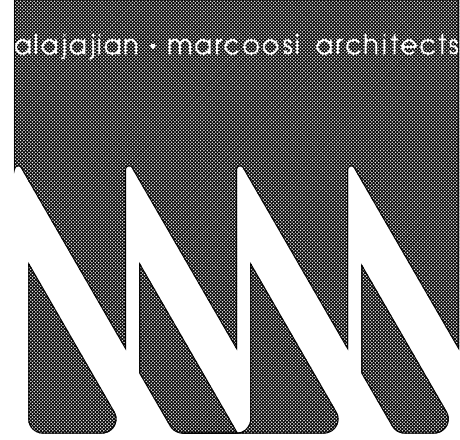
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ELEVATIONS

Scale: 1/8"=1'-0"

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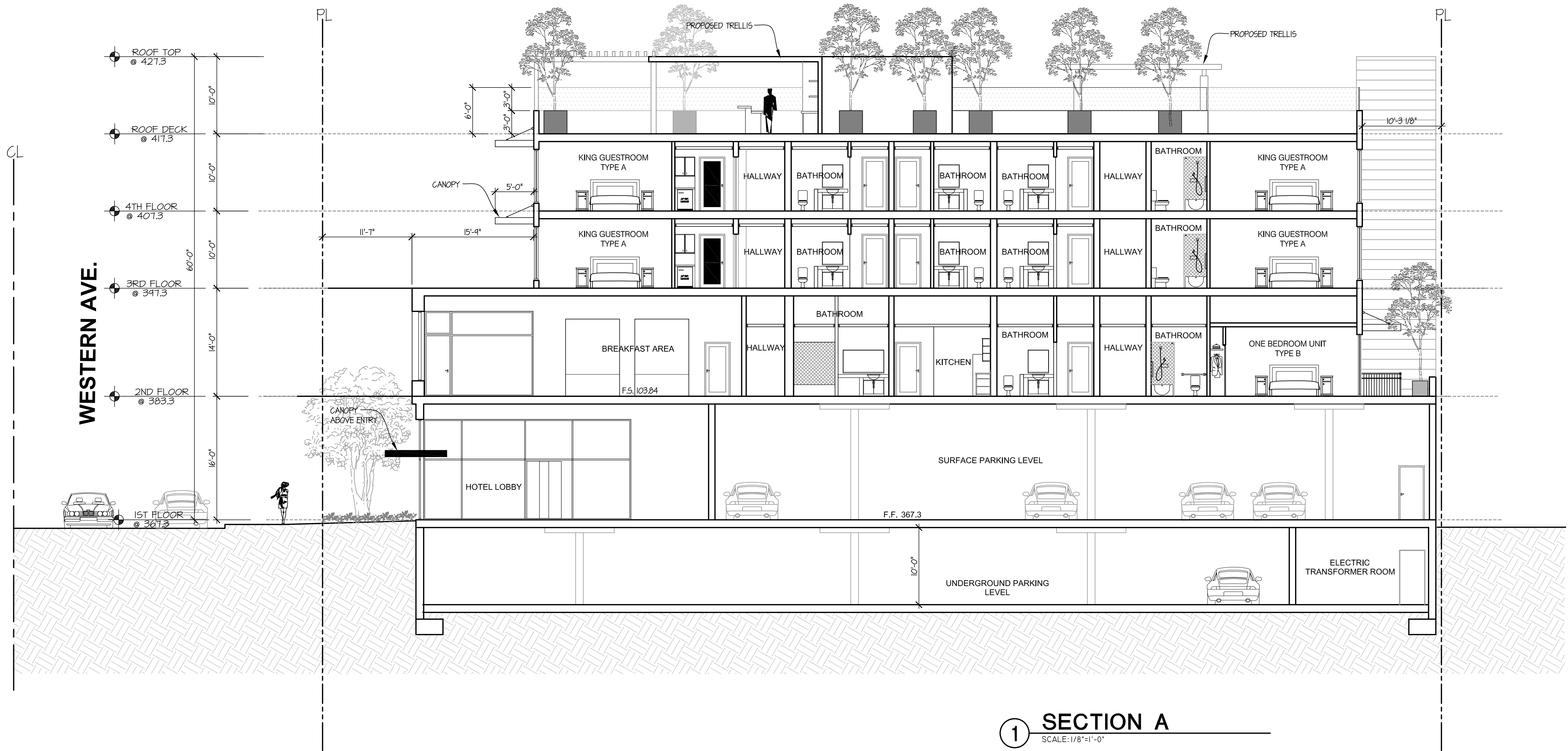
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SECTIONS A AND B

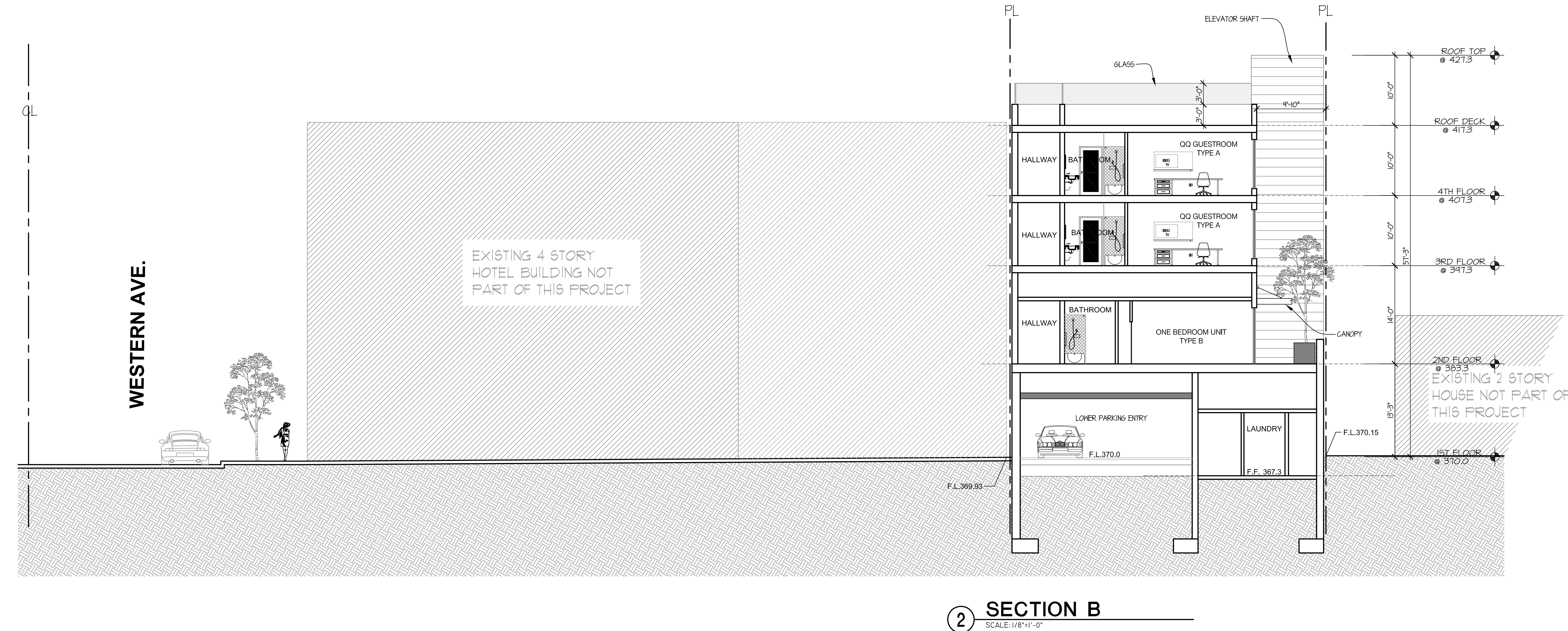
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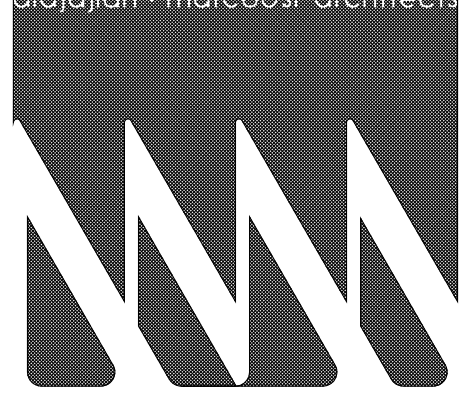


1 SECTION A
SCALE: 1/8"=1'-0"



2 SECTION B
SCALE: 1/8"=1'-0"

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Designer:

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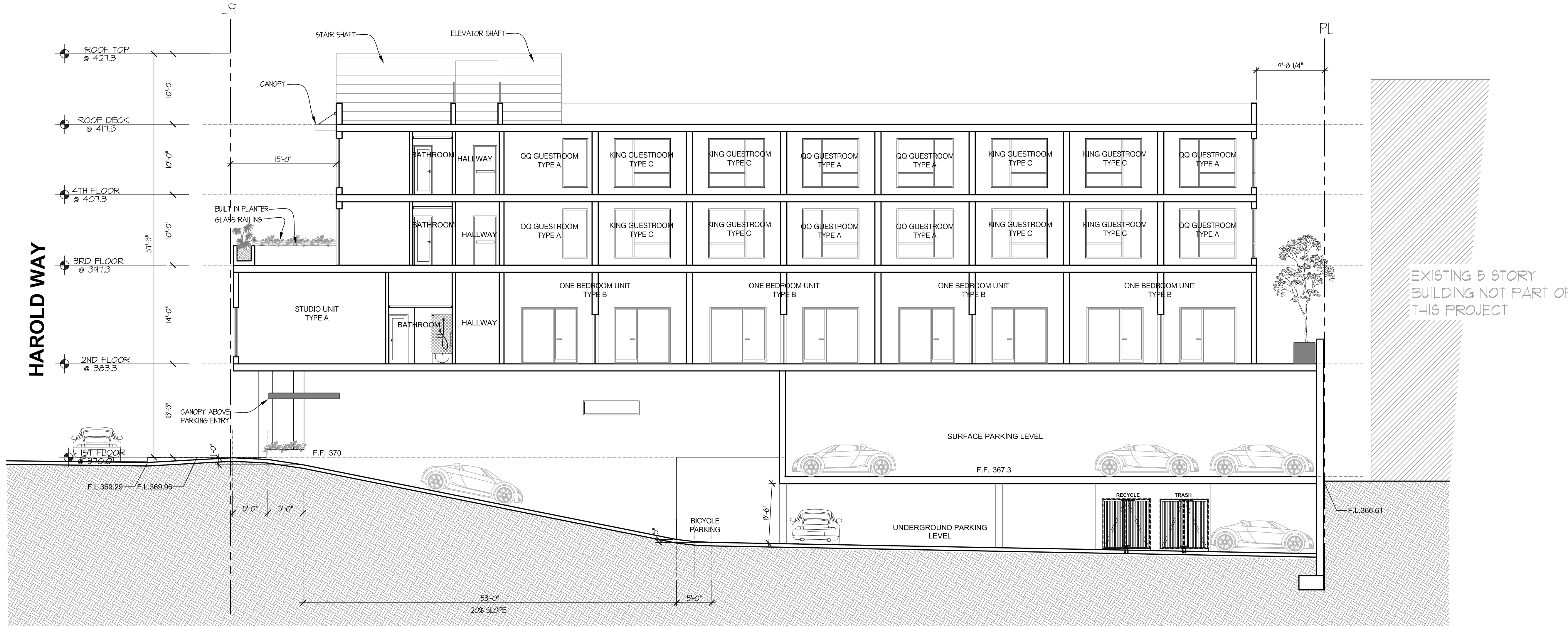
1536 N. WESTERN AVE.

Project Name:

SAPPHIRE

Project Address:

1524-1530 N. WESTERN AVE



1 SECTION C
SCALE: 1/8"=1'-0"

Scale:

SECTION "C"

Scale: 1/8"=1'-0"

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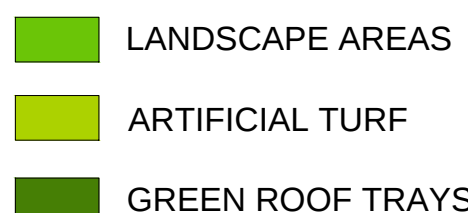
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— *Journal of the American Medical Association*



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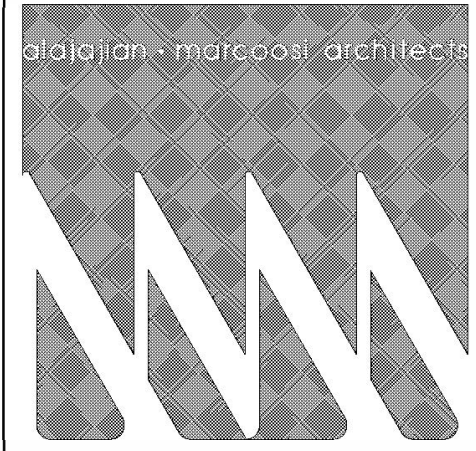
PROJECT SQUARE FOOTAGE: APPROX 14,478 sf	
REQUIRED POINTS: 15	
CONTINUOUSLY PLANTED PKWY - 1pt/linear foot	16
STRAIGHT LINE ACCESS TO BUILDING ENTRY	5
USE OF LA CITY ORGANIC TOPGRO COMPOST	5
TOTAL POINTS	26

ALL PROJECTS - TOTAL LOT AREA = APPROX. 14,478 SF
TOTAL LANDSCAPE (NOT INCLUDING PARKWAY) = 1,627 SF
COMMON OPEN SPACE AREA (ON ROOF) = 750 SF
REQUIRED LANDSCAPE AREA OF OPEN SPACE = 188 SF (25% OF OPEN SPACE)
PROVIDED LANDSCAPE AREA OF OPEN SPACE = 180 SF (25% OF OPEN SPACE)
1 TREE / 4 RESIDENTIAL UNITS = 4 UNITS / 10 UNITS = 3
REPLACEMENT TREES REQUIRED = 5
TREES PROVIDED = 31

Symbol	Botanical Name/Common Name	Quantity	Size	WUCOLS	Remarks
	TREES				
	Acer Palmatum 'Sango Kaku' / Coral Bark Japanese Maple	3	15 gal	M	multi-trunk, 3rd flr
	Ginkgo biloba / Maidenhair tree	12	24" Box	M	2nd flr planters
	Koelreuteria bipinnata / Chinese Flame tree	3	36" Box	M	1st flr/ground
	Street tree per City of Los Angeles	14	24" Box	M	n/a
	SHRUBS				
	Asparagus densiflorus ' Myers' / Myers asparagus @ 18" o.c.	68	1g	L	
	Dianella tasmanica / Tasman Flax Lily @ 18" o.c.	118	1g	M	2nd flr planters
	Diets grandiflora 'Sunstripe' / Yellow Striped Fortnight Lily	40	1g	L	
	Phormium 'Pink Mist' / Pink New Zealand Flax @ 30" o.c.	21	5g	M	
	GROUND COVER				
	Carex praegracilis / California field sedge 112 sf @ 9" o.c. = 196 plants		flat	M	
	Heuchera hybrids / Coral Bells 101 sf @ 12" o.c. = 101 plants		1g	M	Variety TBD 3rd flr planters
	Senecio serpens 'Blue Chalksticks' / Blue chalksticks, 164 sf @ 9" o.c. = 287 plants		flat	L	
	Artificial Turf		1040 sf		Jack Smith @ SGS T (562) 400-1549

Botanical Name/Common Name	Quantity	Size	Remarks
Green Living Roof mix to include: <i>Achillea millefolium</i> <i>Carex praegracilis</i> <i>Chondropetalum tectorum</i> <i>Festuca glauca</i> <i>Phormium dwarf</i> var. 'Jack Spratt' <i>Sesleria autumnnalis</i> <i>Sesleria caerulea</i>	686 sf	6" deep trays	contract grown by Green Living Roof 760-250-0357 contact: Santiago Rosales www.greenlivingroof.com

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PHIL PATEL

1536 N. WESTERN AVE.

Project Name:
SAPPHIRE

Project Address:
1524-1530 N. WESTERN AVE



**2nd FLOOR
LANDSCAPE
PLAN**

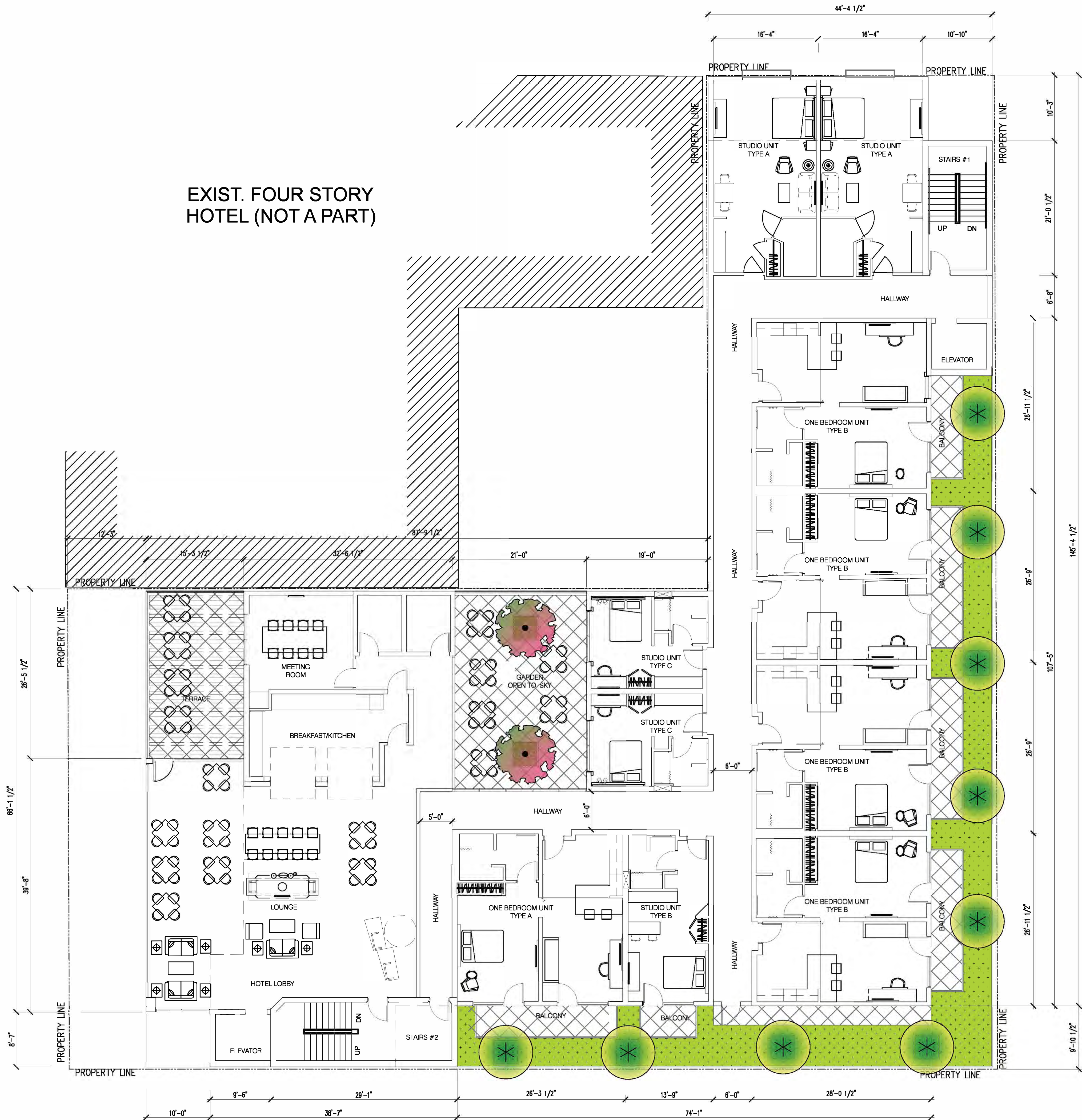
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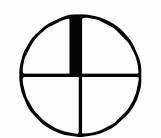
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N. WESTERN AVE

HAROLD WAY



1 SECOND FLOOR LANDSCAPE PLAN
SCALE: 1/8"=1'-0"



SCALE: 1/8" = 1'-0"
0' 4' 8' 16'

- LANDSCAPE AREAS
- ARTIFICIAL TURF
- GREEN ROOF TRAYS

TREES



ACER PALMATUM 'SANGO
KAKU' / CORAL BARK
JAPANESE MAPLE



GINGKO BILOBA /
MAIDENHAIR TREE



KOELREUTERIA BIPINNATA /
CHINESE FLAME TREE

SHRUBS



ASPARAGUS DENSIFLORUS '
MYERS' / MYERS ASPARAGUS



DIANELLA TASMANICA / TASMAN
FLAX LILY



DIETES GRANDIFLORA
'SUNSTRIPE' / YELLOW STRIPED
FORTNIGHT LILY



PHORMIUM 'PINK MIST' /
PINK NEW ZEALAND FLAX

GROUNDCOVERS



CAREX PRAEGRACILIS /
CALIFORNIA FIELD SEDGE



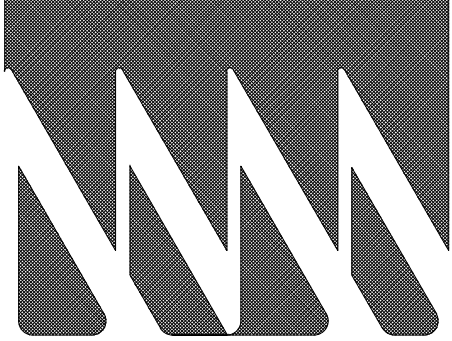
HEUCHERA HYBRID /
CORAL BELLS (VAR. TBD)



SENECIO SERPENS 'BLUE
CHALKSTICKS' / BLUE
CHALKSTICKS

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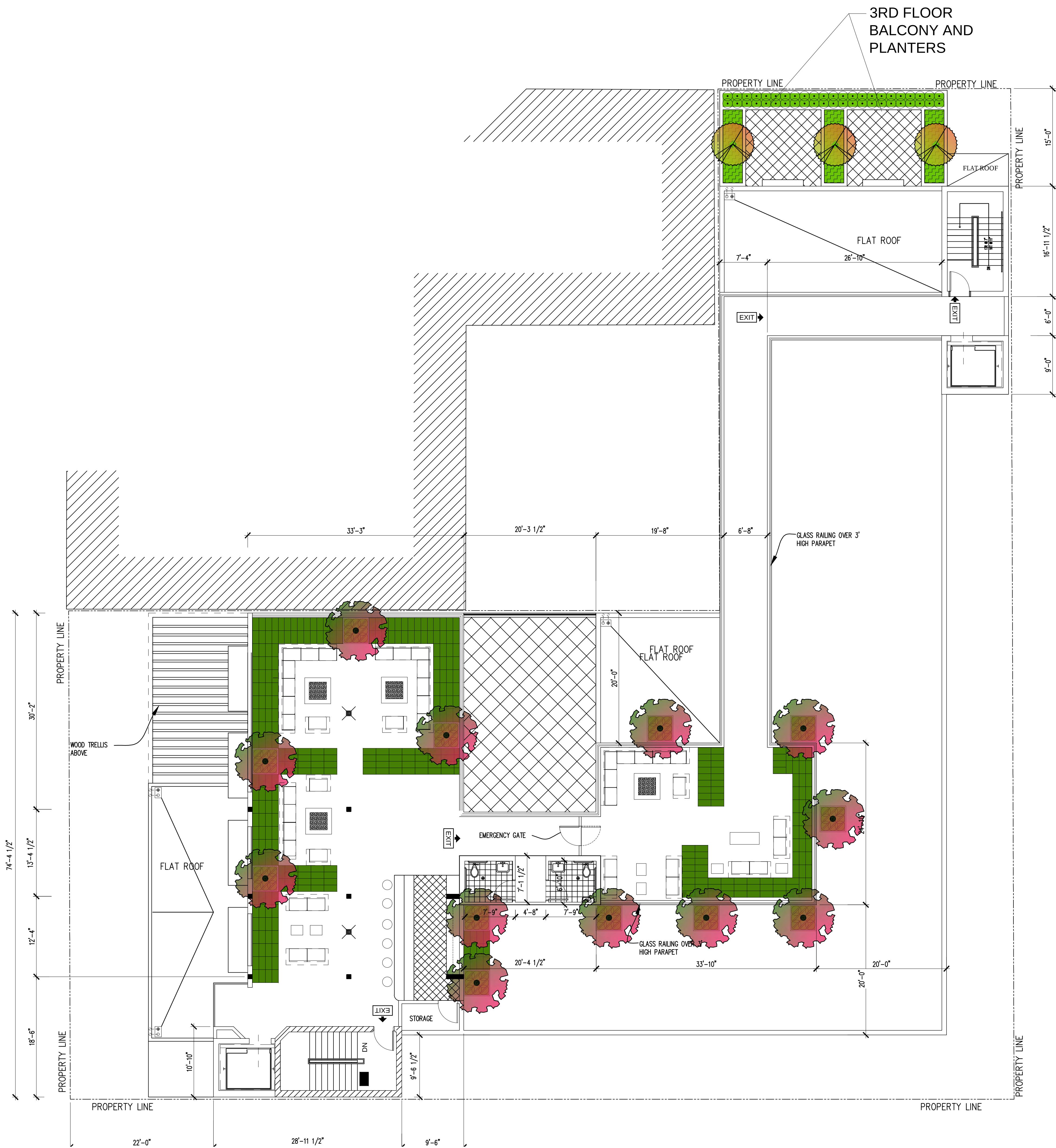
LANDSCAPE
COURT
LAND
STUDIO
ARCHITECTURE
COURTLAND STUDIO, LLC
505 E Colorado Blvd. Mezz C
Pasadena CA 91101
P: 618-788-9382
F: 618-788-3217
Licensed Landscape Architect #9820
Renewal Date: 12/31/19

ROOF LANDSCAPE PLAN

Scale: 1/8"=1'-0"

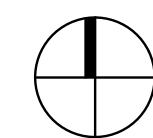
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1 ROOF LANDSCAPE PLAN

SCALE: 1/8"=1'-0"



SCALE: 1/8" = 1'-0"
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- LANDSCAPE AREAS
- ARTIFICIAL TURF
- GREEN ROOF TRAYS