

Appendix H

Historical Resources Assessment

Subject: Fw: 6435 Wilshire Boulevard Historic Resource Assessment
Date: Friday, March 13, 2020 at 11:42:09 AM Pacific Daylight Time
From: Dave Rand
To: Zach Zalben, Ariella Traficante
CC: Dana Sayles, Zachary Andrews
Attachments: image001.png

All

See confirmation below from the Office of Historic Resources that they concur with the report and do not believe the building qualifies as an eligible historic resource. This is really great news. Full steam ahead

Dave

From: Lambert Giessinger <lambert.giessinger@lacity.org>
Sent: Friday, March 13, 2020 11:02 AM
To: Caroline Raftery <caroline@chattel.us>
Cc: Melissa Jones <melissa.jones@lacity.org>; Dave Rand <dave@agd-landuse.com>; Olivia White <olivia@chattel.us>
Subject: Re: 6435 Wilshire Boulevard Historic Resource Assessment

Yes, and we concur with the report conclusions.



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On Tue, Mar 3, 2020 at 6:10 PM Caroline Raftery <caroline@chattel.us> wrote:
Lambert and Melissa,

Thank you again for our Historic Resource Assessment (HRA) discussion for the commercial property at 6435 Wilshire Boulevard a few weeks ago. As a follow up, I have attached our HRA and understand ownership will be submitting plans at a later date. Please let me know if you have any comments or questions.

Best,
Caroline

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HISTORIC RESOURCE ASSESSMENT

6435 Wilshire Boulevard
Los Angeles, California



Prepared for:
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March 3, 2020

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I. EXECUTIVE SUMMARY

The purpose of this Historic Resource Assessment (HRA) is to determine whether the property located at 6435 Wilshire Boulevard (Wilshire), Los Angeles, California (Assessor's Identification Numbers 5510-023-050, -051; subject property) in the Wilshire Community Plan Area (CPA) is a qualified historical resource for purposes of the California Environmental Quality Act (CEQA). Thus, this HRA evaluates whether the subject property is eligible for individual listing in the National Register of Historic Places (National Register) or California Register of Historical Resources (California Register), eligible as a contributor to a listed or potential National Register or California Register historic district, individually eligible as a Historic-Cultural Monument (HCM), or eligible as a contributor to an existing or potential Historic Preservation Overlay Zone (HPOZ) in the City of Los Angeles (City).

The subject property is a five-story commercial building designed in the Late Moderne architectural style and constructed in 1950. It was previously identified in the "Wilshire Community Plan Area Historic Resources Survey Report" prepared by Architectural Resources Group in 2015 for SurveyLA, the citywide survey of historic resources, as eligible for individual listing at the national, state, and local levels, and thus was considered a historical resource under CEQA. The subject property was evaluated under the historic context "Architecture and Engineering: L.A. Modernism" as an example of the Late Moderne architectural style.

This HRA uses site-specific and contextual research in primary and secondary sources; application of criteria of significance within the appropriate historic context(s); direct observations of the subject property made by professionals meeting the *Secretary of the Interior's Professional Qualifications Standards*; and, comparative analysis.

For reasons stated in this HRA, it was concluded that the subject property is an unremarkable example of the Late Moderne architectural style and does not appear eligible for individual listing in the National Register or California Register, eligible as a contributor to a listed or potential National Register or California Register historic district, individually eligible as an HCM, or eligible as a contributor to an existing or potential HPOZ. Thus, the subject property is not a qualified historical resource for the purposes of CEQA.

Refer to Attachment A for contemporary photographs, Attachment B for maps and historic aerials; Attachment C for additional research, including original building permit, newspaper articles, subject property SurveyLA findings, chain of title; Attachment D for excellent examples of Late Moderne architecture in the Los Angeles region; and Attachment E for a Previous Historical Resources Assessment Report (Sapphos Environmental, Inc., 2019).

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II. QUALIFICATIONS

Chattel, Inc. (Chattel) is a full-service historic preservation consulting firm with practice throughout the western United States. The firm represents governmental agencies and private ventures, successfully balancing project goals with a myriad of historic preservation regulations without sacrificing principles on either side. Comprised of professionals meeting the *Secretary of the Interior's Professional Qualifications Standards* in history, architecture, architectural history, and historic architecture, the firm offers professional services including historical resources evaluation and project impacts analysis, in addition to consultation on federal, state, and local historic preservation statutes and regulations.

Chattel staff engage in a collaborative process and work together as a team on individual projects. This evaluation was prepared by President Robert Chattel, historic architect; Principal Associate Leslie Heumann, architectural historian; Associate III Caroline Raftery, architectural historian; Associate II Olivia White, architectural historian, professionals meeting the *Secretary of the Interior's Professional Qualification Standards* in historic architecture, architecture and/or architectural history. Additional assistance was provided by Associate I Alvin-Christian Nuval, planner.

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III. METHODOLOGY

To complete this HRA, Chattel conducted research, participated in a site visit, and evaluated the subject property under relevant historic contexts.

Research

Primary and secondary source materials were consulted for the development of applicable historic contexts and property history. For a complete list of sources, refer to bibliography. Sources generally included:

- Aerial photographs from The Benjamin and Gladys Thomas Air Photo Archives, Spence Collection at the University of California, Los Angeles (UCLA), Air Photo Archives
- City of Los Angeles Department of Building and Safety records
- Electronic databases of the Los Angeles Public Library, including digital photograph collections
- Los Angeles County Assessor Records
- Sanborn Fire Insurance Maps via Los Angeles Public Library
- *Los Angeles Times* articles via Proquest
- SurveyLA Historic Context Statements and Historic Resources Survey Reports
- Other previous surveys and evaluations relevant to subject property
- To gain a greater understanding of the Late Moderne architectural style, for the comparative analysis portion of this HRA, including its origins and its place in local architectural history, Chattel primarily referenced the following sources:
 - National Register nomination Late Moderne context for Bullock's Pasadena, 401 S. Lake Street
 - Santa Monica Landmark Assessment for J.C. Penney, 1202 3rd Street
 - Other nominations and assessments for buildings designed in the Late Moderne architectural style
 - Los Angeles Conservancy "Streamline Los Angeles" driving tour brochure
 - Paul Gleye, *The Architecture of Los Angeles*
 - Alan Hess, *Googie Redux: Ultramodern Roadside Architecture*
 - Chris Nichols, *The Leisure Architecture of Wayne McAlister*
 - Dr. Louis Parnes, *Planning Stores That Pay*
 - Santa Monica 2018 Citywide Historic Resources Inventory Update Historic Context Statement

Site Visits

Robert Chattel and Caroline Raftery conducted a site visit and completed photographic documentation at the subject property on September 5, 2019.

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IV. REGULATORY SETTING

The following describes the regulatory setting for determining whether the subject property qualifies as a historical resource.

National Register of Historic Places

The National Register of Historic Places (National Register) is the nation's official list of historic and cultural resources worthy of preservation. Authorized under the National Historic Preservation Act of 1966, as amended, the National Register is part of a federal program to coordinate and support public and private efforts to identify, evaluate, and protect the country's historic and archaeological resources. Properties listed in the National Register include districts, sites, buildings, structures, and objects that are significant in American history, architecture, archaeology, engineering, and culture.

The National Register is administered by the National Park Service (NPS), which is part of the United States Department of the Interior. Resources are eligible for National Register listing if they:

- A) are associated with events that have made a significant contribution to the broad patterns of our history; or
- B) are associated with the lives of significant persons in our past; or
- C) embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D) have yielded or may be likely to yield, information important in history or prehistory.¹

Once a resource has been determined to satisfy one of the above-referenced criteria, then it must be assessed for integrity. Integrity refers to the ability of a property to convey its significance, and the degree to which the property retains the identity, including physical and visual attributes, for which it is significant under the four basic criteria listed above. The National Register recognizes seven aspects or qualities of integrity: location, design, setting, materials, workmanship, feeling, and association. To retain its historic integrity, a property must possess several, and usually most, of these aspects.

The National Register includes only those properties that retain sufficient integrity to accurately convey their physical and visual appearance from their identified period of significance. Period of significance describes the period during which a property's importance is established. It can refer simply to the date of construction, or it can span multiple years, depending on the reason the property is important. The period of significance is established based on the property's relevant historic context and as supported by facts contained in the historic context statement.

Evaluation of integrity is founded on "an understanding of a property's physical features and how they relate to its significance."² A property significant under criterion A or B for its association with a pattern or history of significant persons may still retain sufficient integrity to convey its significance even if it retains a low degree of integrity of design, materials or workmanship. Conversely, a property that derives its significance exclusively for its architecture under criterion C must retain a high degree of integrity of design, materials, and workmanship. For some properties, comparison with similar properties is considered during the evaluation of integrity, especially when a property type is particularly rare.

¹ National Register Bulletin #15, *How to Apply the National Register Criteria for Evaluation* (National Park Service, 1990, revised 2002).

² *Ibid.*

While integrity is important in evaluating and determining significance, a property's physical condition, whether it is in a deteriorated or pristine state, has relatively little influence on its significance. A property that is in good condition may lack the requisite level of integrity to convey its significance due to alterations or other factors. Likewise, a property in extremely poor condition may still retain substantial integrity from its period of significance and clearly convey its significance.

National Register Bulletin 15 includes the following information regarding historic districts:

A district possesses a significant concentration, linkage, or continuity of site, buildings, structures, or objects united historically or aesthetically by plan or physical development.

A district derives its importance from being a unified entity, even though it is often composed of a wide variety of resources. The identity of a district results from the interrelationship of its resources, which can convey a visual sense of the overall historic environment or be an arrangement of historically or functionally related properties. For example, a district can reflect one principal activity, such as a mill or a ranch, or it can encompass several interrelated activities, such as an area that includes industrial, residential or commercial buildings, sites, structures, or objects. A district can also be a grouping of archaeological sites related primarily by their common components; these types of districts often will not visually present a specific historic environment.

A district must be significant, as well as being an identifiable entity. It must be important for historical, architectural, archaeological, engineering, or cultural values. Therefore, districts that are significant will usually meet the last portion of Criterion C plus Criterion A, Criterion B, other portions of Criterion C, or Criterion D.

A district can encompass both features that lack individual distinction and individually distinctive features that serve as focal points. It may even be considered eligible if all the components lack individual distinction, provided that the grouping achieves significance within the historic context. In either case, the majority of the components that add to the district's historic character, even if they are individually undistinguished, must possess integrity, as must the district as a whole.

A district can contain buildings, structures, sites, objects, or open spaces that do not contribute to the significance of the district. The number of non-contributing properties a district can contain yet still convey the sense of time and place and historical development depends on how these properties affect the district's integrity.

Relationship to Subject Property

The subject property is not listed in the National Register. Based on the findings of this HRA, the subject property is not eligible for individual listing in the National Register. Further, as the subject property is not within the boundary of a listed or potential National Register historic district, it is not eligible as a contributor to a listed or potential National Register historic district.

California Register of Historical Resources

The California Register of Historical Resources (California Register) was established to serve as an authoritative guide to the state's significant historical and archaeological resources (Public Resources Code (PCR) §5024.1). State law provides that in order for a property to be considered eligible for listing in the California Register, it must be found by the State Historical Resources Commission to be significant under any of the following four criteria, if the resource is:

- 1) The survey has been or will be included in the State Historical Resources Inventory.
- 2) The survey and the survey documentation were prepared in accordance with [OHP]... procedures and requirements.
- 3) The resource is evaluated and determined by the office to have a significance rating of category 1-5 on DPR [Department of Parks and Recreation] form 523.
- 4) If the survey is five or more years old at the time of its nomination for inclusion in the California Register, the survey is updated to identify historical resources which have become eligible or ineligible due to changed circumstances or further documentation and those which have been demolished or altered in a manner that substantially diminishes the significance of the resource.

The primary difference between eligibility for listing in the National and California Registers is integrity. Properties eligible for listing in the National Register generally have a higher degree of integrity than those only eligible for listing in the California Register. There is, however, no difference with regard to significance. A property that meets the significance criteria for California Register eligibility would also be eligible for listing in the National Register unless there are issues of integrity that decrease the ability of the property to convey its significance.

The California Register also includes properties which: have been formally *determined eligible for listing in*, or are *listed in* the National Register; are registered State Historical Landmark Number 770, and all consecutively numbered landmarks above Number 770; points of historical interest, which have been reviewed and recommended to the State Historical Resources Commission for listing; and city and county-designated landmarks or districts (if criteria for designation are determined by State of California Office of Historic Preservation (OHP) to be consistent with California Register criteria). Public Resources Code (PRC) §5024.1(g) also states:

A resource identified as significant in an historical resource survey may be listed in the California Register if the survey meets all of the following criteria:

- 1) The survey has been or will be included in the State Historical Resources Inventory.
- 2) The survey and the survey documentation were prepared in accordance with [OHP]... procedures and requirements.
- 3) The resource is evaluated and determined by the office to have a significance rating of category 1-5 on DPR [Department of Parks and Recreation] form 523.
- 4) If the survey is five or more years old at the time of its nomination for inclusion in the California Register, the survey is updated to identify historical resources which have become eligible or ineligible due to changed circumstances or further documentation and those which have been demolished or altered in a manner that substantially diminishes the significance of the resource.

Resources can be eligible as a California Register historic districts if they meet National Register historic district criteria.

Relationship to Subject Property

The subject property is not listed in the California Register. Based on the findings of this HRA, the subject property is not eligible for individual listing in the California Register. Further, as the subject

property is not within the boundary of a listed or potential California Register historic district, it is not eligible as a contributor to a listed or potential California Register historic district.

City of Los Angeles Historic-Cultural Monument (HCM) and Historic Preservation Overlay Zone (HPOZ)

Sec. 22.171.7 of Los Angeles Administrative Code defines criteria for designation of a Historic-Cultural Monument (HCM). For ease in applying local eligibility, the following numbers are assigned to the criteria, which align to a large degree with criteria for the National and California Registers. An HCM:

- 1) Is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic or social history of the nation, state, city or community;
- 2) Is associated with the lives of historic personages important to national, state, city, or local history; or
- 3) Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age.

Listing as an HCM is subject to review by the Cultural Heritage Commission and the Planning and Land Use Management Committee of the City Council and requires approval by the City Council.

The Historic Preservation Overlay Zone (HPOZ) Ordinance was adopted by the City of Los Angeles in 1979 and revised in 1997. As defined in the Cultural Heritage Masterplan Review Draft (March 7, 2000, Cultural Heritage Masterplan), an HPOZ is, "...a planning tool which recognizes the special qualities of areas of historic, cultural, or architectural significance. An HPOZ does not change the underlying zoning; rather it lays an added level of protection over a zone through local board oversight." There are thirty-five designated HPOZs in Los Angeles, incorporating thousands of properties. The Cultural Heritage Masterplan defines HPOZ criteria for evaluation and states that structures, natural features, or sites within the involved area, or the area as a whole, shall meet one or more of the following:

- A) Adds to the historic architectural qualities or historic associations for which a property is significant because it was present during the period of significance, and possesses historic integrity reflecting its character at that time
- B) Owing to its unique location or singular physical characteristics, represents an established feature of the neighborhood, community, or City
- C) Retaining the structure would help preserve and protect an historic place or area of historic interest in the City

Relationship to Subject Property

The subject property is not a designated HCM. Based on the findings of this HRA, the subject property is not eligible for designation as an HCM. Further, as the subject property is not within the boundary of an existing or potential HPOZ, it is not eligible as a contributor to an existing or potential HPOZ.

California Environmental Quality Act (CEQA)

CEQA requires environmental review of projects requiring discretionary approvals. This environmental review includes analysis of a project's potential to result in substantial adverse change to historical resources. According to CEQA,

an historical resource is a resource listed in, or determined eligible for listing in, the California Register of Historical Resources. Historical resources included in a local register of historical resources..., or deemed significant pursuant to criteria set forth in subdivision (g) of Section 5024.1, are presumed to be historically or culturally significant for purposes of this section, unless the preponderance of the evidence demonstrates that the resource is not historically or culturally significant (PRC §21084.1).

If the proposed project were expected to cause substantial adverse change in an historical resource, environmental clearance for the project would require mitigation measures to reduce impacts.

"Substantial adverse change in the significance of an historical resource means the physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired" (CEQA Guidelines §15064.5 (b)(1)). The CEQA Guidelines (§15064.5 (b)(2)) describe material impairment taking place when a project:

- A) Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register... or
- B) Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register... or its identification in an historical resources survey... unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant; or
- C) Demolishes or materially alters those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register... as determined by a lead agency for the purposes of CEQA.

According to the CEQA Guidelines §15064.5 (b)(3), "Generally, a project that follows the *Secretary of the Interior Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings* or the *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings* (1995), Weeks and Grimmer, shall be considered as mitigated to a level of less than a significant impact on the historical resource." The *Secretary of the Interior Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings* (*Secretary's Standards*) is published by the National Park Service (NPS), and was recently updated and reissued in July 2017.³

Relationship to Subject Property

The subject property was previously identified in SurveyLA as eligible for individual listing at the national, state, and local levels. However, based on the findings of this HRA, the subject property is not eligible for listing individually or as a contributor to a listed or potential historic district at the national, state, or local levels, and therefore is not a qualified historical resource under CEQA.

³ Anne E. Grimmer. *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstruction Historic Buildings*. Rev. National Park Service, U.S. Department of the Interior, 2017.

Previous Surveys and Evaluations

SurveyLA

The subject property was identified as an eligible individual property in the “Wilshire Community Plan Area Historic Resources Survey Report” prepared by Architectural Resources Group in 2015 as part of SurveyLA.⁴ It was assigned California Historical Resource status codes 3S, 3CS, and 5S3, meaning it appeared to be individually eligible for National Register, California Register, and local designation through survey evaluation. SurveyLA concluded that the subject property is an “excellent example of a Late Moderne office building on Wilshire’s Miracle Mile” that “retains all essential character-defining features of the style.” Refer to Attachment C, Image 49 for SurveyLA findings.

Historical Resources Assessment Report, 6435 Wilshire, Los Angeles, California, Sapphos Environmental, Inc., 2019

In April 2019, Sapphos Environmental, Inc. (Sapphos) prepared a dissenting HRA for the subject property, finding it ineligible for individual listing in the National Register, California Register, or as an HCM. Additionally, Sapphos found that the subject property would not contribute to an existing or potential HPOZ and ultimately did not meet the criteria to be considered a historical resource under CEQA.

Because the criteria for the California Register and HCM designation mirror that of the National Register, Sapphos primarily used the National Register criteria for evaluation. Based on National Register Criterion A, the subject property was not found to be associated with events that have made a significant contribution to the broad patterns of our history. Based on Criterion B, the subject property was not found to be associated with the lives of any significant people of the past. Based on Criterion C, the subject property was not found to be an exemplary example of the Late Moderne architectural style, particularly when compared to better examples of the style within Los Angeles. Additionally, the subject property was not designed by a significant architect or builder and does not reflect a high level of craftsmanship or design. Based on Criterion D, there is no evidence that the subject property would yield important information regarding prehistory or history. Refer to Attachment E for Historical Resources Assessment Report (Sapphos Environmental, Inc., 2019).

⁴ Architectural Resources Group. “SurveyLA Context: Architecture, Engineering, and Designed Landscapes Theme: L.A. Modernism – Related Responses to Modernism (1926-1970).” 18; Historic Resources Group & Pasadena Heritage. “Cultural Resources of the Recent Past Historic Context Report City of Pasadena.” October 2007.
<http://www.parks.ca.gov/pages/1054/files/pasadena%20context%20report%20final%20revised%202007%2010%2010.pdf>> site accessed September 6, 2016.

V. HISTORIC CONTEXTS

The subject property was evaluated under the following historic contexts: development of the Beverly-Fairfax neighborhood, the development of the Miracle Mile, and the Late Moderne architectural style.

Beverly-Fairfax Neighborhood

The following context is excerpted from SurveyLA:⁵

[T]he Beverly-Fairfax neighborhood, containing the original developments of Fairfax and Beverly Grove; it is bounded roughly by La Brea Avenue, Wilshire Boulevard, the eastern boundary of the City of Beverly Hills, the southern boundary of the City of West Hollywood, and Melrose Avenue. Most of this area was developed from Rancho La Brea land underlain by the massive Salt Lake Oil Field; it saw thousands of oil derricks before giving way to subdivisions of single- and multi-family residences in the 1920s through the 1940s. The Beverly-Fairfax neighborhood contains well-known resources like the Farmers Market (HCM #543), CBS Television City, and Park La Brea. It also includes the Miracle Mile North HPOZ...

[M]uch of the land that is now part of the Fairfax and Beverly Grove neighborhoods (most commonly referred to as Beverly-Fairfax) was originally part of the massive Rancho La Brea. Most of the Salt Lake Oil Field underlies these neighborhoods in the northwestern portion of the Wilshire CPA, and for many years this area was covered with oil derricks. The La Brea Tar Pits are and were the most visible surface manifestation of the vast below-ground resource. The Hancock family embarked on the first oil exploration in this area, and in 1900 rancher A.F. Gilmore began doing the same on the piece of the rancho he had acquired.

Gilmore owned a relatively small percentage of the rancho land, but he developed it thoroughly; like G. Allan Hancock in Hancock Park, by the 1910s Gilmore saw the value of subdividing and selling off the less productive portions of his land. It soon became clear to Gilmore and his son E.B. Gilmore that housing and commercial development brought in more money than oil production. Between the Hancocks and the A.F. Gilmore Company, by the early 1930s most of the land in the Fairfax neighborhood, north of Wilshire Boulevard, had been subdivided and developed.

In 1934, the Farmers Public Market, operated by Fred Beck and Roger Dahlhjelm at West Third Street and Fairfax Avenue (on land owned by E.B. Gilmore) opened, inviting local farmers to sell their produce out of the backs of their trucks. Soon, the Farmers Public Market became a permanent venue; restaurants, ice cream stands, flower shops, and other retail stores began selling at the market. The Farmers Market still exists in its original location (although it has grown), with an array of food stands and retail shops as ethnically and culturally diverse as the Survey Area in which it sits. It is the last remnant of Gilmore commercial and recreational developments that once included a drive-in movie theater, a racetrack, and a stadium.

Like the single-family and multi-family developments in the Mid-Wilshire and Hancock Park neighborhoods, the new neighborhoods of the Beverly-Fairfax area were developed and heavily marketed as discrete subdivisions. They included a high number of multi-family residences, including numerous two-story duplexes and fourplexes, in a variety of Period Revival styles. Most were constructed from the mid-1920s to the early 1930s, though later examples exist; a prominent, unusually intact, and somewhat late example of an apartment

⁵ Ibid.

house district is Beverly Square, constructed in the 1930s and 1940s as an “ultra-modern” residential development. The Beverly-Fairfax developments were even more automobile-focused than the automobile suburbs further east in the Wilshire CPA, since they were past the outer limit of the Los Angeles Railway’s streetcar system.

Where much of west-central Los Angeles did not have a large Jewish American population until after World War II, the Beverly-Fairfax neighborhood had a significant Jewish American presence from its earliest development in the 1920s. For example, research on the residents of the Orange Grove Avenue-Gardner Street area, historically a Jewish enclave, found a diverse Jewish community representative of the overall Beverly-Fairfax area at that time. This neighborhood, part of a subdivision developed by G. Allan Hancock, included recent immigrants from outside the U.S., people who had moved from the East Coast, and Angelenos who had moved to the area from other parts of the city (primarily Boyle Heights). It may be that this neighborhood and other known early Jewish residential enclaves in the Beverly-Fairfax area did not see exclusion of Jewish homeowners and renters based on restrictive housing covenants or realtor influence as seen in some other parts of Los Angeles. Permit and census research indicates that a substantial number of properties in these enclaves were built and owned by Jewish individuals, both living on site and renting to tenants. During the postwar period, the Jewish population of Beverly-Fairfax increased substantially, and continued to move westward into neighborhoods like Pico-Robertson. The Beverly-Fairfax neighborhood is still a popular residential area for Jewish families, including members of the Orthodox community who were part of a major movement to the Wilshire CPA starting in the 1980s.

Residential subdivisions in the Fairfax neighborhood were serviced by commercial districts including those along 3rd Street, Beverly Boulevard and Fairfax Avenue. A particularly prominent Jewish business district emerged along North Fairfax Avenue (sometimes referred to as “Kosher Canyon”). Businesses catering to the area’s Jewish population began appearing on Fairfax starting in the 1930s, accelerating greatly after World War II. In the postwar years, community centers, neighborhood synagogues, kosher delis, restaurants, and Jewish bakeries were numerous on the street. Several long-time businesses, including Canter’s Delicatessen, Schwartz Bakery, and Diamond Bakery, are still in operation. Beverly Boulevard also saw a significant increase in the establishment of Jewish commercial and institutional properties during the postwar period, many of which continue to serve the community today.

In 2015, 6th Street-Orange Street Multi-Family Residential Historic District and Ridgely Drive-Detroit Street Multi-Family Residential Historic District were identified in SurveyLA within the Beverly-Fairfax neighborhood as potential historic districts. In 2018, the Beverly Fairfax Historic District was listed on the National Register. Refer to Attachment C for these proximate potential historic district and National Register Historic District boundaries.

Relationship to Subject Property

The subject property was developed in 1950, post-World War II, in the Beverly-Fairfax neighborhood of the Wilshire CPA. While it was developed with a surface parking lot and parking deck to the north of the building and is associated with a post-World War II automobile-centric development pattern on Wilshire, it is not associated with any of the major themes or developments in the neighborhood. Therefore, the subject property is not significant for association with the development of the Beverly-Fairfax neighborhood. Further, the subject property is not within the 6th Street-Orange Street Multi-Family Residential Historic District (Attachment C, Image 55), Ridgely Drive-Detroit Street Multi-Family Residential Historic District (Attachment C, Image 56), nor the National Register Beverly Fairfax Historic District (Attachment C, Image 57) boundaries.

Miracle Mile

The following context is primarily summarized from SurveyLA and Ruth Wallack's *Miracle Mile in Los Angeles: History and Architecture*.⁶

During the start of the twentieth century, the City's western boundary along Wilshire Boulevard extended just west of Western Avenue. Though it was thought to be too far from the commercial downtown center, real estate developer Alvah Warren Ross (Ross) took a risk in the early 1920s and bought land along Wilshire Boulevard, between modern-day La Brea Avenue and Fairfax Avenue. He had found that other neighborhoods at the time, such as Westlake Park, Hollywood, and Beverly Hills, were all within a four-mile radius of that stretch of land and speculated that both the City's population boom and the growth of the automobile would lead people to expand out from their current borders. Ross and his partners spent \$54,000 for 18 acres, an outlandish amount at the time that led the purchase to its nicknames "Ross's bean patch" and "Ross's folly." Still, Ross hoped that his investment would lead to the development of a commercial center known as the Wilshire Boulevard Center, later called Miracle Mile. This emerging commercial corridor was dubbed a "miracle" for several reasons. First, it occurred in spite of restrictive residential zoning that had been established by previous owner, Gaylord Wilshire. Second, it was developed in the absence of a previously established residential or retail community. According to historian Richard Longstreth,

the Miracle Mile codified and intensified those characteristics that made Wilshire so important to Los Angeles: a linear structure, punctuated by freestanding towers that rose amid low-density development, the whole anchored to a broad street where traffic flowed unimpeded – a place that was easy to reach, that always seemed busy but never crowded, a place permeated with natural light and air...⁷

The Miracle Mile is generally bounded by South Fairfax Avenue (South Fairfax) to the west, 3rd Street to the north, Highland Avenue to the east, and San Vicente Boulevard to the south.

Though the land that Ross had purchased was initially zoned for residential use, Ross was able to pressure City Council to change zoning for commercial development. Once those tracts were rezoned, Miracle Mile began to grow quickly with advertisements appearing in local newspapers publicizing opportunities to build or lease along Wilshire. By the late 1920s, Miracle Mile had started to attract a broad range of shops and restaurants, including a branch of men's clothing retailer, Desmond's (HCM No. 332, Wilshire Tower) located at 5500 Wilshire, the chain's fourth store in Los Angeles designed by Gilbert Stanley Underwood. Ross used the Desmond's name recognition to draw in other retailers to the area. Myer Siegel (women's apparel) and C.H. Baker (shoes) opened stores in the Dominguez-Wilshire Building (1930-1931), located at 5410 Wilshire and designed by Morgan, Walls and Clements. Other major retailers included Ralph's Grocery (1928), Coulters (1937, demolished), and the May Company (1938). Marking the eastern edge of the precinct was the E. Clem Wilson Building (Mutual of Omaha, 1929-1930), located at 5217 Wilshire and designed by the architectural firm of Meyer and Holler. Between these large anchor buildings at each major intersection, low-rise retail buildings were designed to front on Wilshire. By the late 1930s, Miracle Mile east of Hauser Boulevard was considerably built up, and by 1941, all of the property along Wilshire Boulevard in the Miracle Mile were rezoned to commercial use.

As Miracle Mile's initial growth was influenced by the accessibility brought on by the automobile, retail establishments in the area put special emphasis in attracting the car-driving shopper. Retail establishments typically had two main entries – one facing the Wilshire sidewalk for pedestrians and one facing parking lots at the rear. As automobiles became more popular, parking was included as

⁶ Ruth Wallack, *Miracle Mile in Los Angeles: History and Architecture*, Charleston: The History Press, 2013.

⁷ Richard Longstreth, *City Center to Regional Mall: Architecture, the Automobile, and Retailing in Los Angeles, 1920-1950* (Cambridge, Massachusetts: The MIT Press, 1998), 133.

part of building plans. The architectural landscape of the Miracle Mile was also influenced by the automobile as a mix of low-rise and height-limit Spanish Colonial Revival, Art Deco, and Streamline Moderne commercial buildings with flash exterior elements were built to attract both pedestrians and drivers.

The Streamline Moderne style influenced Miracle Mile's Late Moderne buildings of the post-war years such as the Arthur Murray Dance Studio (5828 Wilshire, extant but altered) in 1941, Citizens National Trust & Savings Bank (5780 Wilshire, demolished) and Prudential Square (5757 Wilshire, extant but altered) in 1948, and the Mullen & Bluett Department Store (5570 Wilshire, demolished) in 1949. Architect Stiles O. Clements designed the Arthur Murray Dance Studio, Citizens National Trust & Savings Bank, and the Mullen & Bluett Department Store, while the architectural firm Wurdeman & Becket designed Prudential Square. Both Clements and Wurdeman & Becket were responsible for designing several other buildings along the Miracle Mile that helped shape the local landscape. Like their predecessors, the design of these buildings incorporated features to make themselves stand out to the car-driving shopper. The Arthur Murray Dance Studio included a tall sign-bearing tower meant to showcase the Arthur Murray name to those driving down Wilshire and the Mullen & Bluett Department Store took up an entire block.

Miracle Mile was largely successful due to the growth of its surrounding residential tracts. The surrounding residential developments tended to reflect period revival architecture, such as Spanish Colonial, American Colonial, English, French, and Mediterranean Revival styles. As people moved in and extended the reach of the City, they helped attract new shops and services that catered to local needs.

Commercial development stalled during World War II, though an influx of new institutional buildings rose in the postwar years. In particular, a new museum district began to form. While the La Brea Tar Pits were an attraction since the 1920s, architect William L. Pereira's Los Angeles County Museum of Art (LACMA) complex located at 5905 Wilshire helped establish this new museum district identity when it was completed in 1965. The Craft and Folk Art Museum located at 5814 Wilshire) moved into a nearby existing building in 1973 and the George C. Page Museum opened adjacent to the La Brea Tar Pits in 1977.

Wilshire's reputation as a business center grew in the 1970s but began to fade into the 1980s as companies chose to build in other parts of Los Angeles, such as the San Fernando Valley and the Westside. These options were much cheaper and less congested. Since then, Wilshire has seen a revival as capital from Korean investors continue to change the landscape of the street and new construction provides additional services and attractions, including the upcoming Los Angeles County Metropolitan Transportation Authority (Metro) Purple Line Extension and the Academy Museum of Motion Pictures currently under construction.

The Miracle Mile Historic District, which spans Wilshire Boulevard between La Brea Avenue on the east and Burnside Avenue on the west, was surveyed in the early 1980s as part of the Los Angeles Rail Rapid Transit Program. As a result of this survey, the Miracle Mile Historic District was identified and assigned a status code of "2S2," or "individual property determined eligible for National Register by consensus through Section 106 process." The 19 contributing properties of the National Register determined eligible historic district are significant as a commercial corridor of Art Deco buildings from the 1920s and 1930s.

In 2010, the Miracle Mile North HPOZ was designated and in 2016, the Miracle Mile HPOZ was designated. Refer to Attachment C for National Register determined eligible historic district and HPOZ boundaries.

Relationship to Subject Property

The Miracle Mile is defined as located east of South Fairfax. This section of Wilshire between La Brea and South Fairfax is united by a common history, shared historic associations, and complementary architecture. The subject property is located west of South Fairfax and was developed in the post-war period and is over a mile east of the Miracle Mile National Register eligible district (Attachment C, Image 61, Miracle Mile North HPOZ (Attachment C, Image 59) or Miracle Mile HPOZ (Attachment C, Image 60). Therefore, the subject property is not significant for association with development of the Miracle Mile.

Late Moderne

The term Late Moderne refers to an architectural style of a collection of buildings constructed between approximately 1938 and 1955.⁸ The style had its origins in Streamline Moderne, which originated as an architectural style in the 1920s. Streamline Moderne was inspired by and openly uses imagery from transportation machines of the time including automobiles, ships, and airplanes. Streamline imagery and design centered on the idea that while previously something like an automobile was made of distinct physically and visually separate parts, in streamline design the “machine” appeared as one cohesive “streamlined” unit. Streamline design was used in a variety of modes, and in architecture, it translated into buildings with smooth surface exteriors, curving lines, bands of windows, and aluminum or stainless-steel detailing, particularly on window frames.⁹

Streamline Moderne architecture became a fully accepted and established style by the mid-1930s. Less commonly used for residential architecture, it was mostly associated with commercial buildings, specifically restaurants, bars, theaters, service stations, dry cleaners, dog and cat hospitals, medical clinics, and soft drink manufacturing plants. The 1939 New York World’s Fair showcased the style, in the ideal cities constructed including industrial designer Henry Dreyfuss’ “Democracy,” and Norman Bel Geddes’ “Futurama.” The Streamline Moderne style continued through World War II but generally does not occur in the post-war period as the Late Moderne architectural style later assumed its place.

While examples of Late Moderne buildings date as early as 1938, during World War II construction generally paused; hence, the postwar years up to 1960 are most closely linked to the style. Population growth and economic expansion created a demand for both residential and commercial construction following the war. Architect and author Alan Hess credits architect Wayne McAllister as critical in developing the style, noting:

In this period McAllister developed the blockier abstract style of the Late Moderne, also used by Wurdeman and Becket in Pasadena (1947) and Palm Springs (1949), and by Stiles O. Clements in the Mullen and Bluett store (1949) on Wilshire’s Miracle Mile, among others.¹⁰

Other prominent local architects and firms also utilized and expanded the style, including local architectural firms and architects Albert C. Martin & Associates, Victor Gruen Associates, Stiles O. Clements, S. Charles Lee, Pereira and Luckman, Wurdeman & Becket, and Paul R. Williams, and national architects Morris Lapidus and Walter Dorwin Teague.¹¹

⁸ Due to World War II, the majority of Late Moderne buildings were built post-World War II, and buildings constructed between 1938-1941 are usually either Streamline Moderne or transitional buildings that exhibit characteristics between the period’s two prominent styles.

⁹ David Gebhard, “About Style, Not Ideology,” *Architecture, the AIA Journal*, December 1983, p. 41-44.

¹⁰ Alan Hess, *Google Redux: Ultramodern Roadside Architecture*, San Francisco: Chronicle Books, 2004, 84.

¹¹ Architectural Resources Group. “SurveyLA Context: Architecture, Engineering, and Designed Landscapes Theme: L.A. Modernism – Related Responses to Modernism (1926-1970).” 18; Historic Resources Group & Pasadena Heritage. “Cultural Resources of the Recent Past Historic Context Report City of Pasadena.” October 2007.

From the mid-1940s to the early 1950s the Late Moderne became an architectural style often seen in commercial buildings, especially in the Los Angeles region. Some of the most notable works include Bullock's Pasadena (Wurdemen & Becket, 1947); Bob's Big Boy in Burbank (Wayne McAllister, 1949); and Milliron's Department Store in Westchester (Gruen and Krummeck, 1949). Refer to Attachment D for excellent examples of Late Moderne buildings in the Los Angeles region. Though primarily a commercial style, Late Moderne was also used in residential architecture, including the Tevis Morrow residence (Paul R. Williams, 1947), and institutional buildings, including the Los Angeles County Courthouse (Paul R. Williams; E. J. Stanton; Adrian Wilson; Austin, Field & Fry; 1955). In addition to being a prominent style found in southern California, Late Moderne was also used in modernizing storefronts throughout the country. Morris Lapidus, for instance, utilized the style at the Sachs Furniture Store in New York City, and Gruen and Krummeck in Grayson's storefronts in San Diego and Seattle, and the Robinson store in Philadelphia.

The Late Moderne architectural style is characterized by expressive cantilevered canopies and spare surfaces derivative of Streamline Moderne, and flat roofs, window bands, modest adornment, and angularity of the International Style. Its most recognizable feature is a window band set in a bezeled frame often beneath a cantilevered canopy. Architectural historian and professor Paul Gleye describes the window band:

Like the crystal of a pocket watch, windows were outlined in a protruding, bezel-like flange, often in a material and color that contrasted with the wall. Frequently the bezel would extend beyond the windows to wrap around corners or dive into the ground in an inverted L-shape, giving the façade a look of tautness.¹²

Other features of the style include windows "punched" into walls without surrounds, metal-framed (often steel sash) windows, boxy angular masses, secondary stone or brick accent material, and smooth stucco exterior surfaces. Some examples also had operable vertical fin sunshades within the window bands for reducing heat gain and as "nominal exterior decoration."¹³

Despite the popularity of the style, its decline began in the mid-1950s due to the emergence of new modernistic styles, including:

The Corporate International style influenced by Mies van der Rohe and the development of the curtain wall, and the popular modernism of the exuberant Googie style seen in coffee shops, gas stations, car washes, car dealerships and other suburban and roadside structures throughout California and the nation. These styles were to dominate the architectural scene in the 1950s.¹⁴

By the mid-1950s the Late Moderne architectural style was used sparingly. Although the style has unique and distinctive characteristics, according to Gleye, "[a]lmost no research has been undertaken regarding this style, and the architectural significance of these buildings has remained unappreciated..." Gleye went on: "Future investigations will, it is hoped, bring the postwar Moderne greater recognition as a significant architectural period."¹⁵ While the style has not been heavily studied, extant examples reveal unifying characteristics of the often understated style.

Based on research conducted in completing this context, character-defining features provided by

<<http://www.parks.ca.gov/pages/1054/files/pasadena%20context%20report%20final%20revised%202007%2010%2010.pdf>> site accessed September 6, 2016. 63.

¹² Paul Gleye. *The Architecture of Los Angeles*. Los Angeles: Rosebud Books, 1981, 152.

¹³ Ibid.

¹⁴ This description was adapted from the National Register nomination for Bullock's Pasadena prepared by Alan Hess, Leslie Heumann, and Maggie Valentine, 1996.

¹⁵ Gleye, 152.

SurveyLA, and a review of shared traits among representative examples within the comparative analysis, the character-defining features of the Late Moderne architectural style follow:

- Boxy massing
- Horizontal emphasis, exemplified in massing, material contrast, fenestration pattern, and window detailing
- Vertical elements that contrast horizontal emphasis, often exhibited in corner elements, fenestration pattern, and window detailing
- Smooth stucco, exposed concrete, or cement plaster facades
- Bezeled, unifying rectangular window surrounds
- Unadorned secondary elevations
- Broad cantilevered canopies, often clad in metal
- Flat roofs
- Metal-framed (often steel sash) windows, primarily fixed windows at first floor and operable at upper floors
- Secondary stone, terrazzo, or brick accent material

Relationship to Subject Property

The subject property has boxy massing, painted exposed concrete, bezeled rectangular window surrounds, unadorned secondary elevations, a broad cantilevered canopy, flat roof, and metal-framed windows, and secondary brick accent material. As the subject property exhibits many character-defining features of the style, it is an example of a building designed in the Late Moderne architectural style. For a comparative analysis between the subject property and exceptional exemplars of the Late Moderne architectural style, refer to Section VII and Attachment D.

VI. PROPERTY HISTORY AND DESCRIPTION

Physical Description

Setting

The subject property is located at 6435 Wilshire Boulevard (Wilshire), Los Angeles, California on two rectangular parcels approximately 100 feet by 170 feet on the north side of Wilshire between S. Sweetzer Avenue to the west, S. La Jolla Avenue to the east, and Orange Street to the north. The parcels are approximately equal in size and contain a five-story commercial building (building), a surface parking lot and a semi-subterranean two-story parking deck to the north. The building abuts the sidewalk, and there are three mature ficus street trees in front of the south elevation (primary façade). Refer to Attachment A for contemporary photographs.

The surrounding neighborhood setting primarily consists of post-war multi-story commercial buildings. Immediately to the west of the subject property is 6505 Wilshire occupied by the Jewish Federation of Greater Los Angeles, a multi-story commercial building.¹⁶ To the east at 6423 Wilshire occupied by Millennium Films, a two-story commercial building (1947) with surface parking lot. To the south across Wilshire is 6500 Wilshire, a 23-story multi-tenant high-rise occupied by multiple designed by architects I.M. Pei and the Luckman Partnership (1986). Immediately to the north is the 6th Street-Orange Street Multi-Family Residential Historic District. The surrounding buildings and structures do not evidence a cohesive development pattern or series of architectural styles.

Exterior

The building is five-stories and has a flat roof. There is a mechanical room and penthouse on the roof. The building is constructed of reinforced concrete and designed in the Late Moderne architectural style. The first floor is predominantly clad in painted Roman brick veneer and the upper floors are painted concrete. The main entry and a driveway to parking are accessed from the south elevation. Windows are generally metal-framed and fixed. Directly north of the building is a surface parking lot and a semi-subterranean two-story painted concrete parking deck.

South Elevation

The south elevation (primary façade) is the focus of the architectural design. The first floor is primarily clad in painted Roman brick veneer with a transparent storefront. There is a broad cantilevered canopy above a center storefront that extends across the majority of the façade. The first-floor entry is to the west of the storefront and a covered driveway to parking is to the east. The entry is deeply recessed and contains an aluminum-framed double door with sidelights and a double transom. Fenestration in the storefront consists of a wall of metal-framed, fixed windows topped by raked transoms. Signage is attached to the canopy fascia. The upper floors are faced with painted concrete scored to resemble oversized blocks, symmetrical and divided into three bays, with a central bay flanked by two bays. The flanking bays contains four floors of spandrel windows with bezeled rectangular window surrounds. In the slightly center bay, six vertical window bays occupy the second through fifth floors. A slightly raised frame outlines all four floors on the sides and top. Narrow, uninterrupted piers divide these bays in which fixed windows alternate with Roman Brick-faced spandrel panels of similar dimensions. A backlit sign is attached to the west bay between the second and third floors. Internal downspouts are visible on upper floors.

East and West Elevations

The east and west elevations have painted concrete walls scored on upper floors separated by a painted belt course. Both elevations are void of fenestration. Near the roofline of both elevations are large metal signs.

¹⁶ The Jewish Federation purchased the 1955 building in 1976 and extensively remodeled it following the 1994 Northridge earthquake.

North Elevation

The north elevation has scored concrete walls on all floors. At the first floor is a rectangular opening to the covered driveway to the east. West of the driveway is a metal door. Centered on the first floor are seven regularly spaced single pane windows. At the west end of the first floor is a Roman brick-framed secondary entry with a canopy that extends east and west. To the west of the entry is an additional single pane window. Upper floors have twelve bays with a regular fenestration pattern of single pane windows. The two west bays have steel sash casement windows with an upper fixed light and lower operable lights. Internal downspouts are visible on upper floors.

Interior

The interior consists of a first-floor entry hallway, elevator, and upper floors with classrooms, offices, laboratories, restrooms, and storage rooms.

Alterations

Alterations have occurred at the subject property. In 1951 and 1952, interior alterations were completed on the fourth floor. Aside from retained steel sash restroom windows on north elevation, all original glazing was removed and replaced in 1975. Also, in 1975, the original lobby windows were removed from the south elevation, and the storefront central portion of the first floor was redesigned. The exterior cabinet sign on the east elevation was added in 2002. The interior has been altered numerous times to accommodate various tenant needs. Non-original signage has been attached to the canopy fascia.

The following table describes alterations to the subject property based on available permits issued by the City.

Date	Permit type/number	Architect and/or Builder/Contractor	Value	Description	Notes
1950	New Construction	Leo Callahan (architect), A.D. Callahan (contractor)	\$400,000		Concrete and brick office building
1951	Bldg-addition	Carl H. Herwig (contractor)	\$2,500	Tenant Improvement (TI), 4 th floor, partition walls	
1951	Bldg-alter/repair	illegible	\$1,300	Add canopy on roof	
1952	Bldg-alter/repair	Robert C. Daigh and Co. (contractor)	\$4,000	TI, 5 th floor, partition walls	
1952	Bldg-alter/repair	Edward H. Fickett (architect), Carl H. Herwig (contractor)	\$6,000	TI, 4 th floor remodel	
2/13/1953	Bldg-alter/repair	Mr. Callahan (contractor)	\$580	TI, 2nd floor, partition walls	
7/1953	Bldg-alter/repair	Robert C. Daigh and Co. (contractor)	\$2,000	TI, 2nd floor, partition walls	
9/19/1955	Bldg-alter/repair	A Callahan (contractor and owner)	\$2,000	Underpinning existing building	
8/20/1956	Bldg-alter/repair	Brown Construction Co.	\$1,100	Interior partitions, install one wall cut two doors	
5/14/1957	Bldg-alter/repair	Brown Construction Co.	\$1,800	Install new dry wall partitions, move library shelving and alter door locations	
7/06/1959	Bldg-alter/repair	Robson Construction Co.	\$2,500	TI, 5 th floor, partition walls	
1/25/1962	Bldg-alter/repair	Crown Neon Co.	\$3,800	Install 8 sets of S/F wall signs	

Date	Permit type/number	Architect and/or Builder/Contractor	Value	Description	Notes
12/12/1969	Bldg-alter/repair	D.A. Acoustics	\$3,800	TI, 5 th floor, suspended ceiling	
10/10/1975	Bldg-alter/repair	Edward Bien (contractor and owner)	\$25,000	Replace glass in window and other remodeling	Add 2 bathrooms on first floor, remove non-structural bulkhead and concrete detail at entry (front wall), replace archit. front with safety glass, and bronze frame entry doors at front and rear entries
9/26/1975	Bldg-alter/repair	Harold L. Cass (engineer)	\$1,600	Parking deck-relocate column to improve turning	
4/6/1976	Bldg-alter/repair	None listed	\$500	Marquee signs-exterior remodel	
9/24/1976	Bldg-alter/repair	Harold L. Cass (engineer)	\$1,000	Widen 2 nd floor driveway, structural revision	
2/10/1977	Installation of sign	Ampersand (qualified installer)	\$4,845	Wall signs	
3/30/1977	Bldg-alter/repair	Culver Heaton (architect), Miller and Sons (contractor)	\$10,000	Interior alterations, 1 st and 4 th floor	
4/14/1977	Bldg-alter/repair	David Ehrlich (engineer), Ampersand (contractor)	\$800	Add 2 flagpoles	
4/15/1977	Bldg-alter/repair	Culver Heaton (architect), Miller and Sons (contractor)	\$1,000	Interior partitions, 3 rd floor	
4/22/1977	Bldg-alter/repair	Miller and Sons (contractor)	\$2,000	Suspended ceiling, 3 rd floor and lobby	
7/14/1977	Bldg-alter/repair	G. Douglas Lawrence (architect), Allianz Insurance Co. (contractor)	\$15,000	Remodel 1 st floor (non-structural), interior partitions	
10/14/1977	Bldg-alter/repair	G. Douglas Lawrence (architect), Allianz Insurance Co. (contractor)	\$60,000	Remodel 4 th floor (non-structural)	
2/24/1978	Bldg-alter/repair	G. Douglas Lawrence (architect), Allianz Insurance Co. (contractor)	\$55,000	Add drywall partitions, suspended ceiling	
5/16/1980	Bldg-alter/repair	Culver Heaton (architect), Miller and Sons (contractor)	\$11,250	TI, 5 th floor, partition walls	
5/14/1984	Bldg-alter/repair	Culver Heaton (architect), Valley Construction (contractor)	\$26,000	4 th floor, reinforce entry to office	

Date	Permit type/number	Architect and/or Builder/Contractor	Value	Description	Notes
12/12/1984	Bldg-alter/repair	Culver Heaton (architect), Valley Construction (contractor)	\$100,000	TI, 3 rd floor, office partition walls, handicap restroom	
5/14/1986	Bldg-alter/repair	Valley Construction (contractor)	\$152,000	TI, 4 th floor	
1/20/1987	Bldg-alter/repair	Culver Heaton Fair & Associates (architect), Alpha Omega (contractor)	\$118,000	TI, 2 nd floor	
9/29/1987	Bldg-alter/repair	Culver Heaton Fair & Associates (architect), Alpha Omega (contractor)	\$98,000	TI, 1 st floor	
10/30/1989	Bldg-alter/repair	John Wolcott Associates (architect), Palmer Construction	\$6,800	TI, 5 th floor	
8/4/1992	Bldg-alter/repair	Klawiter & Associates (architect), Olsen Construction (contractor)	\$25,000	Accessibility work	
8/11/1993	Bldg-alter/repair	John H. Haigh (engineer), Culver Heaton and Thomas Zartl (architect)	\$8,000	Repair spalled concrete, caulk windows, apply waterproof paint coating	
6/20/1994	Bldg-alter/repair	Alpha Omega Construction Thomas Zartl (architect), John H. Haigh (engineer)	\$50,000	Earthquake repairs, replace damage column, damaged masonry walls, and damaged brick veneer	
3/10/1997	Sign Permit	Hansen Products	\$15,800		
3/21/1997	Change of Use	Thomas Layman (architect), Schaffel Development Co. (contractor)	\$75,000	Change of use to trade school	
8/27/1997	Sign Permit	Hansen Products	\$6,300		
10/22/1999	Bldg-alter/repair		\$10,500	Reroof with modified torchdown cap sheet	
11/15/2002	Sign Permit		\$2,400	Stanley and Joyce Black Family Building sign	

Ownership History

The first owner of the building was Aaron D. Callahan (Callahan). Callahan came from a family of contractors, as described below in Architect History.

In 1970, the subject property was transferred to Doyle Dane Bernbach, Inc. (DDB). In 1975, DDB transferred the subject property back to the heirs of the estate of Callahan's wife, Helen Callahan.

In 1975, Eddie Bien of Bien Enterprises (Bien) purchased the building from Carolyn Mae Boise and Patricia Jean Bailey, co-executrices of the will of Callahan's wife, Helen Callahan. Bien sold the property to Allianz Insurance Company in 1977.¹⁷ Los Angeles Ort Technical Institute owned the

¹⁷ "Wilshire Crest building sold to German company," *Los Angeles Times*, February 26, 1977.

property from 1995 until it was sold in 2019 to the current owner.

Tenant History

The first tenant in the building was General Motors, whose Acceptance Corporation, Motor Insurance Corporation, and Pontiac Motors Division occupied the first three floors.¹⁸ In 1951 the real estate office of Charles W. Gunter moved into the fifth floor of the building. The building was vacant between 1968 and 1975. In 1976, a company named Independent Travel Service was a tenant in the building. From 1977 to 1995 Allianz Insurance Company occupied the building, which was known in 1977 as the Wilshire Crest Building. Since 1995, the building has been occupied by the Los Angeles Organization for Rehabilitation through Training (ORT) Technical Institute.¹⁹

Architect History

The subject property was designed by architect Lee Callahan (Lee) (March 12, 1866 - October 22, 1951) and the contractor was Callahan Construction Company.²⁰ Lee appears to have been an in-house architect for the family-run construction company. In the early twentieth century, Lee Callahan had a contracting company named Lee Callahan & Sons. Lee received several commissions in the early twentieth century, including a school building in Harbor City (1916), a powerhouse and concrete-lined tunnel at a Los Angeles County hospital (1917), a brick building in Torrance for the Los Angeles Board of Education (1917), and a two-story building at the corner of 7th Street and Westlake Avenue in Los Angeles (1920).²¹

It appears that at some point “Lee Callahan & Sons” became the Callahan Construction Company and that one or both of Lee’s sons Aaron D. and Ezra L., continued the family business. Lee’s son Aaron D. Callahan (Callahan) is listed on the original building permit for the subject property as the owner and contractor. In early twentieth century city directories, the Callahan Construction Company is listed at 2324 Michigan Avenue in Los Angeles.

Callahan was born July 2, 1899 in Kentucky. He and his wife Helen Callahan (née Herlocker) had two daughters, Carolyn and Patricia, and lived at 444 N. Fuller Street in Los Angeles. He was employed by the Callahan Construction Company when the subject property was constructed. Aaron’s brother Ezra L. Callahan was a licensed architect and member of the American Institute of Architects (AIA).

Research did not yield any other additional information about Lee Callahan or the Callahan Construction Company.

¹⁸ “Wilshire Blvd Building Set,” *Los Angeles Times*, September 3, 1950.

¹⁹ ORT was founded in 1880 in St. Petersburg, Russia as a Jewish philanthropic organization with the mission of helping people help themselves through teaching self-sufficient skills and providing employable services. As of 1997, ORT has locations in over 40 countries and has more than 3,000,000 graduates.

²⁰ Lee Callahan is listed as the architect on the original building permit with a California state license number. However, a search at the California Architects Board did not yield any results for the listed number. In the U.S. Census, he sometimes reported himself as an architect and other times as a contractor. He was a member of the American Institute of Architects (AIA). Therefore, it is unclear whether he was a licensed architect or a builder/contractor.

²¹ Information obtained from *Southwest Contractor and Manufacturer* (1916), *Building Engineering News* (1917), *Southwest Building and Contractor* (1917, 1920).

VII. COMPARATIVE ANALYSIS

The practice of comparing like properties is outlined in National Register Bulletin 15, “How to Apply the National Register Criteria for Evaluation,” and is used to evaluate whether a property has integrity. As noted in Bulletin 15 “for some properties, comparison with similar properties should be considered during the evaluation of integrity. Such comparison may be important in deciding what physical features are essential to properties of that type.” The five properties included in this comparative analysis provide a more fulsome comparison and analysis of like properties in Los Angeles and its surrounding cities. These properties were selected because they are exemplars of Late Moderne architectural style. This comparative analysis serves to support the findings of this HRA that the subject property is an unremarkable example of the Late Moderne architectural style. The first two examples are commercial office buildings in Los Angeles and therefore are closest in typology to the subject property, and the following three are varying examples throughout the Los Angeles region. Refer to Attachment D for more excellent examples of Late Moderne architecture in the Los Angeles region.

General Petroleum Building (Pegasus Apartments), 612 S. Flower Street, Los Angeles



The General Petroleum Building (GPB) is located on S. Flower Street between W. 6th Street to the north and Wilshire to the south in downtown Los Angeles. It was constructed in 1949 in the Late Moderne architectural style and was one of the first major office commissions designed by renowned architectural firm Wurdeman & Becket, and “was the first of their many significant works to contribute to the definition of the post-war Modernist idiom in Los Angeles.”²² The building is 13 stories and is primarily rectangular in plan with boxy massing, expressive contrasting horizontal and vertical detailing, refined yet unornamented materials, and a flat roof. The first floor is clad in black granite, with upper floors clad in a light-colored Gladding-McBean glazed terra cotta. The visually contrasting materials create an illusion of a heavy mass floating over the sidewalk.

Aside from a contemporary revolving door at the northwest corner of the north elevation, the north and south elevations are identical. At the first floor are highly transparent storefronts beneath broad cantilevered canopies that extend across the majority of the two facades. Above the canopy, at the upper floors is a central projecting bay flanked by two bays. The central bay has one bezeled, unifying rectangular surround that consists of 14 smaller bays with one metal-framed, accordion horizontal folding window per bay. The bays are separated by vertical fins that slightly extend horizontally beyond the frame. A darker color Gladding-McBean glazed terra cotta separates each row of windows creating a horizontal contrast to the vertical fins. The side bays consist of bands of three metal-framed, accordion horizontal folding windows within bezeled, unifying rectangular window surrounds.

²² General Petroleum Building. Historic-Cultural Monument nomination. 2003.

The west elevation design unifies the building with the continuation of highly transparent storefronts beneath canopies that extend the majority of the façade. Unique to this elevation, a recessed central entry is characterized by three pairs of double doors with extensive glazing. The upper floors mimic the central bay of the north and south elevations. The east elevation is less visible from the public right-of-way and has a central bay similar although less expressive than the west elevation. GPB was designated an HCM in 2003 (HCM No. 766) and listed in the National Register in 2004 for its exemplary architecture.

Comparison to Subject Property

Like the subject property, GPB is a commercial building designed in the Late Moderne architectural style with a rectangular plan and boxy massing, a broad cantilevered canopy running above the first-floor storefront, and a central projecting bay flanked by two bays at the upper floors. Unlike the subject property, master architectural firm Wurdeman & Becket's selection of materials at GPB, specifically the first floor clad in black granite and upper floors clad in light-colored Gladding-McBean glazed terra cotta tile, at the GPB elevates its appearance. Further, its design takes advantage of its full-block location as exemplified through the unifying details on each street-facing elevation, including vertical fins and metal-framed accordion folding windows within bezeled, unifying rectangular window surrounds. GPB was completed in 1949, two years prior to construction of the subject property. As such, while Wurdeman & Becket's GPB was a pioneering exemplar influential in conceiving and establishing the style, the subject property is derivative and merely repeats features of the style yet in a less impressive manner. While the subject property echoes some design elements of the GPB, these elements lack the material quality and wholistic, unifying design and thus appear distilled and do not rise to this exceptional level.

Golden State Mutual Life Insurance Building, 1999 W. Adams Boulevard, Los Angeles



The Golden State Mutual Life Insurance Building (GSMLIB) is located at the northeast corner of W. Adams Boulevard (Adams) and S. Western Avenue (Western) in the West Adams neighborhood of Los Angeles. It was constructed in 1949 in the Late Moderne architectural style and designed by master architect Paul R. Williams. The building is five to six stories and an irregular plan with expressive horizontal and vertical detailing, and refined yet unornamented materiality, and a flat roof. The irregular plan is composed of a central elevation that faces southwest diagonally toward the intersection of Adams and Western (central elevation), a west elevation that faces Western (west wing), a north elevation that faces a neighboring building, an east elevation that faces a surface parking lot, and a south elevation that faces Adams (east wing).

Its exterior massing is characterized by a six-story central core flanked by two, five-story wings (west and east wings) arranged symmetrically and projecting at 45-degree angles from central elevation. The building is painted concrete with the first floor of the central elevation clad in stone veneer. The first-floor entry is symmetrical with a pair of aluminum-framed central entry doors and two full-height aluminum-framed windows. A flat concrete cantilevered canopy clad in metal spans the first floor

and supports freestanding stainless-steel block letters spelling “Golden State Mutual Life.” A triangular-shaped plaza fronts the central elevation.

The upper floors of the central elevation have three bays of full height vertical ribbons of windows separated by vertical and horizontal metal mullions. The windows are a combination of vision and spandrel glass adding to the visual dimension of the elevation. The solid bays between each slightly project to create full height pilasters. The upper floor has a stepped roof line that creates ziggurat-like crowning and is topped by a flagpole. The center core vertical windows, slightly projecting pilasters, stepped roof line, and six stories in contrast to the west and east wing five stories accentuate its verticality.

The wings flanking the central elevation consist of first floor infilled storefronts with bezeled, unifying rectangular window surrounds and upper floors with a horizontal band of windows within a bezeled, unifying rectangular surround per floor. The two wings with horizontal windows bands dramatically contrast the verticality of the central core.

The north elevation has three horizontal bands of windows within a bezeled, unifying rectangular surround, and the east elevation has three similar rows and one rectangular infilled window with a bezeled, rectangular surround extant. The northeast-facing elevation has horizontal rows of windows per floor with no surrounds. While these are secondary elevations, their elements help visually unify the building.

In recognition of the importance of the GSMLIB’s design and history, it was designated an HCM in 2011 (HCM No. 1000) as an example of Late Moderne commercial architecture and as the work of master architect Paul R. Williams.

Comparison to Subject Property

Like the subject property, GSMLIB is a commercial building designed in the Late Moderne architectural style. Unlike the subject property, master architect Paul R. Williams’ employment of the character-defining features of the style elevates GSMLIB to an exemplary and exceptional model of the style. The massing, consisting of a six-story central core with slightly raised piers and stepped roof line flanked by two five-story wings, adds a contrasting and visual dynamism that the subject property lacks. Further, the vertical window bays within the central core and the contrasting horizontal rows of windows within bezeled, unifying rectangular surrounds at the east and west wings further dramatize this contrast. Even the secondary elevations relate to the primary elevations with horizontal rows of windows and bezeled, unifying rectangular window surrounds. While the subject property shares design elements with GSMLIB, these elements lack the material quality and wholistic, unifying aesthetic. Thus, the subject property appears to be a building that has borrowed elements from the style without understanding the design concept; the side bays of windows with bezeled surrounds are poorly proportioned and detailed, and the central grouping of fenestrated bays has no finesse of detail or elegance of design. GSMLIB is an unremarkable, unexceptional, and derivative example of the Late Moderne architectural style.

Bob's Big Boy, 4211 W. Riverside Drive, Burbank



Bob's Big Boy is located on W. Riverside Drive (Riverside) between Rose Street to the west and Evergreen Street to the east in Burbank. It was constructed in 1949 in the Late Moderne architectural style and designed by master architect Wayne McAllister. The building is primarily rectangular in plan, with horizontal massing, is one story, and has a broad curving cantilevered canopy, large plate glass windows and an outdoor patio at the south elevation (primary façade) facing Riverside, and a flat roof. While the majority of this elevation is glass, walls are clad in stucco and brick. The outdoor fencing and shade structures largely feature geometric design motifs such as circles and hexagons. A pronounced, original 70-foot tall neon pylon sign stands along the edge of the street to attract motorists, and a Big Boy statue stands at the base of the sign near the main entry. While the south elevation is the primary façade, and the elevation most expressive of its Late Moderne architectural style, the main entry is located within a recessed entryway on the west elevation. The north elevation has service doors, windows, and is clad in stucco. The east elevation is a secondary elevation that abuts the neighboring building to the east and is unadorned and clad in stucco. Bob's Big Boy was designed by a master architect and was named a California Historical Point of Interest in 1992.

Comparison to Subject Property

Like the subject property, Bob's Big Boy is a commercial building with a broad canopy running above the first-floor storefront. Unlike the subject property, Bob's Big Boy has a strong emphasis on horizontality, bands of windows, and has a broad curving cantilevered canopy over the first-floor storefront, and a tall signboard. Bob's Big Boy retains the original design of its storefront design and glazing, while the storefront glazing at the subject property has been substantially altered.

Bullock's Pasadena Department Store, 401 S. Lake Avenue, Pasadena



Bullock's Pasadena Department Store (Bullock's Pasadena) (now Macy's) is located on S. Lake Avenue between E. Del Mar Boulevard to the north and E. California Boulevard to the south in Pasadena. It was constructed in 1947 in the Late Moderne architectural style and designed by the

master architectural firm Wurdeman & Beckett. The building has boxy massing, is four-stories tall, built of a steel frame and reinforced concrete, has an irregularly shaped plan, and a flat roof. It is clad in glass and fieldstone on the first floors and whitewashed brick on the upper floors. All elevations vary, but the building is unified in design through its fenestration and ornamentation. It has bands of metal-framed windows which are shaded by continuous, flat concrete hoods. The east elevation appears to be two-stories tall, is set on a sloped ivy-covered terrace and has a flight of steps roughly centered leading to an entry. The glass entry is shaded by a curvilinear canopy clad in stainless steel supported by diagonal metal braces. Full-length windows are integrated into a fieldstone wall south of the entry, and a 135-foot glazed wall is located to the north of the entry.²³ Bullock's Pasadena was listed in the National Register in 1996 as an exemplar of Late Moderne architectural style.

Comparison to Subject Property

Like the subject property, Bullock's Pasadena is a commercial building with bezeled, unifying rectangular window surrounds and a canopy above the first-floor storefront. Unlike the subject property, Bullock's Pasadena exemplifies the characteristics of the Late Moderne architectural style with its emphasis on horizontality, window fins with cut-out holes, bands of bezeled, unifying rectangular window surrounds, and thin concrete canopies. The use of these elements is varied from elevation to elevation but balanced in overall design. The subject property lacks emphasis on horizontality. Bullock's Pasadena is a skillful, masterful design, and implementation of the Late Moderne architectural style executed by master architects.

Sears Santa Monica, 302 Colorado Boulevard, Santa Monica



Sears Santa Monica Department Store (Sears Santa Monica) is located on Colorado Boulevard between 4th Street to the north and Main Street to the south in Santa Monica. It was constructed in 1947 in the Late Moderne architectural style and designed by master architect Rowland Crawford. It has boxy massing, is rectangular in shape, is two to three-story with a three-story central core plus basement and constructed of reinforced concrete. Horizontally patterned striations on the corners of the building and a grid of incised squares on the remaining elevations accentuate the Late Moderne architectural style. Curved projecting, cantilevered canopies shade all public entries which consist of glazed aluminum-framed double doors. Diagonal, glazed metal-framed display windows flank the public entries on the north, east, and south elevations. Sears Santa Monica is a designated City of Santa Monica Landmark and was identified as eligible for listing in the National Register as an exemplar of Late Moderne in the 2018 City of Santa Monica Citywide Historic Resources Inventory Update.

Comparison to Subject Property

Like the subject property, Sears Santa Monica is a commercial building with large relatively unadorned wall surfaces which lack fenestration. Unlike the subject property, Sears Santa Monica exemplifies the Late Moderne architectural style through its clear emphasis on horizontality expressed through patterned striations on the corners of the building and grid of incised squares. It

²³ Hess, Heumann, and Valentine.

has curved, broad cantilevered canopies shading entries. Sears Santa Monica is a skillful and masterful design and implementation of the Late Moderne architectural style executed by master architect Rowland Crawford who designed other Late Moderne buildings including the Los Angeles Boys and Girls Club in Lincoln Heights.

VIII. HISTORIC RESOURCE ASSESSMENT

Because eligibility criteria for the California Register and City designation align in large degree with eligibility criteria for the National Register, the following evaluation considers eligibility for national, state, and local levels under a single heading.

National Register, California Register, and HCM

Based on the analysis in this report, the subject property does not appear individually eligible for listing in the National Register, California Register, or as an HCM. Further, for reasons stated in this HRA, it was concluded that the subject property does not appear eligible for individual listing in the National Register or California Register, eligible as a contributor to a National Register or California Register historic district, individually eligible as an HCM, or eligible as a contributor to an existing HPOZ or potential HPOZ. Thus, the subject property is not a qualified historical resource for the purposes of CEQA.

Criterion A/1/1 Is associated with events that have made a significant contribution to the broad patterns of our history and cultural heritage.

The subject property was not found to be associated with any events that have made a significant contribution to the broad patterns of history. The subject property was evaluated under the context of the development of the Beverly-Fairfax neighborhood. While it is associated with a post-World War II automobile-centric pattern of development along Wilshire, it is not associated with any of the major themes or developments in the neighborhood. Therefore, the subject property is ineligible for association with the development of the Beverly-Fairfax neighborhood. The subject property was evaluated under the context of the Miracle Mile. However, this context is not relevant to the subject property. The subject property was constructed in 1950, after the period of significant growth and development of the Miracle Mile, and most importantly, is not actually located within the Miracle Mile. Therefore, the subject property was not found to be significant for association with the growth of the Miracle Mile, is a typical and undistinguished example of the general growth that infilled the stretch of Wilshire Boulevard between the Miracle Mile and Beverly Hills, and is ineligible under Criterion A/1/1.

Criterion B/2/2 Is associated with the lives of persons important in our past.

The subject property was not found to be associated with any important person in our past. Research did not reveal that any of the owners or tenants of the building were known to have made significant contributions to history, and thus do not appear to be important people in our past. Therefore, the subject property is ineligible under Criterion B/2/2.

Criterion C/3/3 Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual or possesses high artistic values.

The subject property does not embody the distinctive characteristics of a type, period, region, or method of construction, or represent the work of an important creative individual or possess high artistic values. While the subject property does exhibit elements of the Late Moderne architectural style, it is not an embodiment of the style. The subject property has boxy massing, vertical elements contrasting horizontal elements, a first floor with overpainted brick veneer, a broad cantilevered canopy, unadorned secondary elevations, and a flat roof. However, when compared to exemplars that distinctly embody the style, many of which are designated at the national, state, and local level and designed by master architects, the subject property does not rise to their level of distinction. Embodiments of the style, such as the General Petroleum Building and Golden State Mutual Life Insurance Building, exhibit character-defining features that, when thoughtfully crafted together, are

elevated in design. These exemplar Late Moderne buildings are executed in a deliberate, unified, artful composition of its parts exhibiting the character-defining features of the style.

The subject property is an unremarkable and undistinguished example of a commercial building designed in-house by its developer with visible elements derived from the Late Moderne architectural style. Some elements have been removed, including the original entry and the storefront, thus compromising the wholistic integrity of the building. The indistinctive nature of the subject property is best demonstrated when comparing the subject property to the monumental 1949 Wurdeman & Becket's-designed General Petroleum Building (GPB) in downtown Los Angeles. Both buildings clearly have similarities; however, the GPB, built two years prior to the subject property, is extraordinary in its display of character-defining features of the style, as they relate to the whole of the building. Wurdeman & Becket's close attention to detail is exhibited on each elevation. From the first floor clad in black granite with expansive glazed storefronts and contrasted upper floors clad in a light-colored Gladding-McBean glazed terra cotta, to the multiple expressive vertical fins separating columns of windows contributing to a dynamic composition, the GPB is undoubtedly a remarkable representative of the style. There are numerous, better examples of the Late Moderne architectural style in the Los Angeles region as described in the comparative analysis and contained in Attachment D.

Further, the subject property was designed by architect and builder Lee Callahan, who had a family contracting business, but was not found to be an important, creative individual generally recognized in the architectural field. The building is an unexceptional example of the Late Moderne architectural style and does not represent the work of an important creative individual or possess high artistic values. Therefore, the subject property is ineligible under Criterion C/3/3.

Criterion D/4 Has yielded, or may be likely to yield, information important in prehistory or history.

The subject property cannot reasonably be expected to yield information important in prehistory or history. Therefore, the subject property is ineligible under Criterion D/4.

National and California Register Historic District and HPOZ

For reasons stated in this HRA, it was concluded that the subject property does not appear eligible as a contributor to a listed or potential National Register or California Register historic district or eligible as a contributor to an existing or potential HPOZ.

CEQA

For reasons stated in this HRA, it was concluded that the subject property does not appear eligible for individual listing in the National Register or California Register, eligible as a contributor to a listed or potential National Register or California Register historic district, individually eligible as an HCM, or eligible as a contributor to an existing or potential HPOZ. Thus, the subject property is not a qualified historical resource for the purposes of CEQA.

IX. CONCLUSION

This HRA evaluated the subject property located at 6435 Wilshire for eligibility for individual listing in the National Register or California Register, eligibility as a contributor to a listed or potential National Register or California Register historic district, individual eligibility as a HCM, and eligibility as contributor to an existing or potential HPOZ. As described in this HRA, while the subject property is an example of a commercial building designed in the Late Moderne architectural style, it is an unremarkable example of the style, was not designed by a master architect, and had no innovative or historic events occur in it. This HRA also included a comparative analysis of Late Moderne buildings in the Los Angeles region, providing further evidence that the subject property is not an exemplar of the Late Moderne architectural style. Therefore, it was concluded that the subject property does not appear eligible for individual listing in the National Register or California Register, eligible as a contributor to a listed or potential National Register or California Register historic district, individually eligible as an HCM, or eligible as a contributor to an existing or potential HPOZ. Thus, the subject property is not a qualified historical resource for the purposes of CEQA.

X. ATTACHMENTS

Attachment A: Contemporary Photographs

Attachment B: Maps and Historic Aerials

Attachment C: Additional Research

Attachment D: Excellent examples of Late Moderne architecture in the Los Angeles region

Attachment E: Previous Historical Resources Assessment Report (Sapphos Environmental, Inc., 2019)

XI. BIBLIOGRAPHY

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ATTACHMENT A:
CONTEMPORARY PHOTOGRAPHS

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6435 WILSHIRE BOULEVARD

ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS - EXTERIOR



Image 1: South elevation (primary facade), view north (Chattel, 2019)



Image 2: South elevation (center) and west elevation (left), view northeast (Chattel, 2019)

6435 WILSHIRE BOULEVARD

ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS - EXTERIOR



Image 3: North elevation, view southeast (Chattel, 2019)



Image 4: South elevation (center) and east elevation (right), view northwest (Chattel, 2019)

6435 WILSHIRE BOULEVARD

ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS - EXTERIOR



Image 5: South elevation, main entrance (center), window storefront (right) and canopy, view northeast (Chattel, 2020)

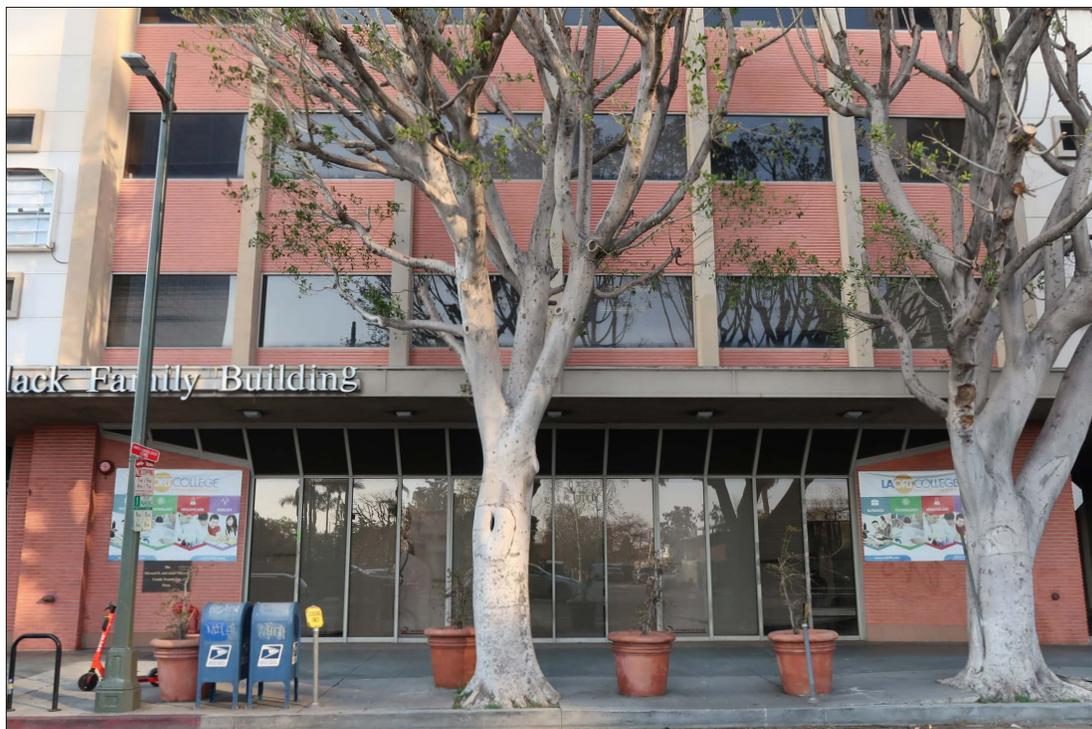


Image 6: South elevation, window storefront (center) and canopy, view north (Chattel, 2020)

6435 WILSHIRE BOULEVARD

ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS - EXTERIOR



Image 7: South elevation, main entrance (left), window storefront (right) and canopy, view northeast (Chattel, 2019)

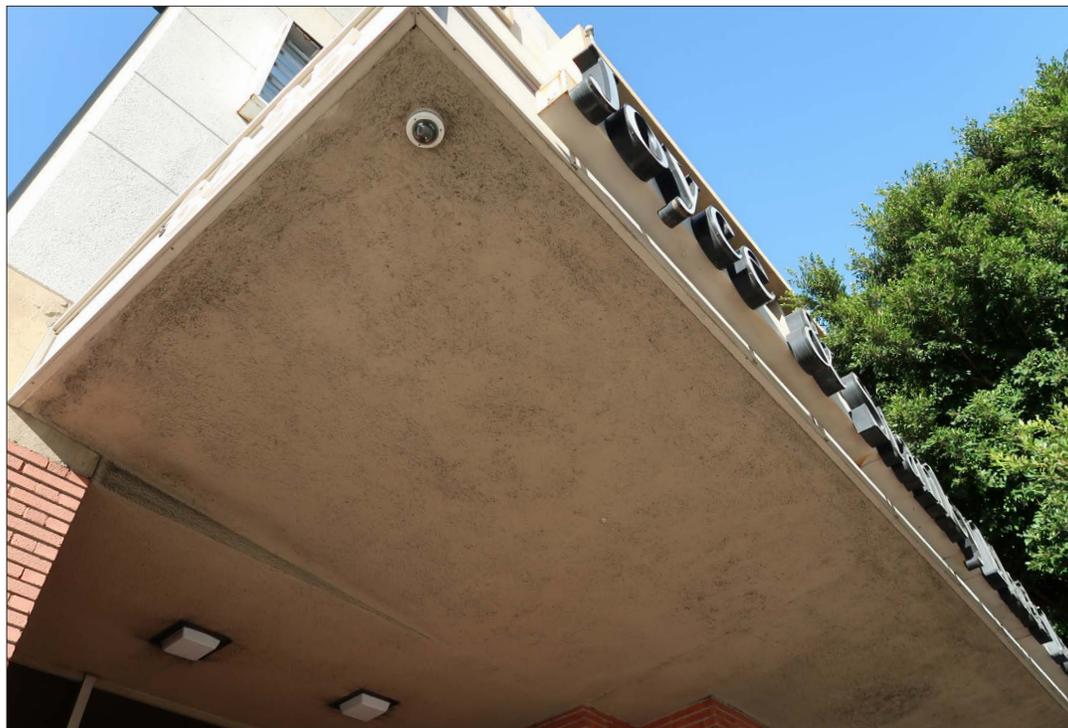


Image 8: South elevation, canopy at main entrance, view northeast (Chattel, 2019)

6435 WILSHIRE BOULEVARD

ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS - EXTERIOR



Image 9: South elevation, window wall storefront (center) and driveway entrance to parking (right), view northwest (Chattel, 2020)



Image 10: Driveway entrance to parking, view south (Chattel, 2019)

6435 WILSHIRE BOULEVARD

ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS - EXTERIOR



Image 11: North elevation (left), surface parking lot (center), parking deck (right), view southwest (Chattel, 2019)



Image 12: North elevation, secondary entrance, view south (Chattel, 2019)

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ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS - EXTERIOR



Image 13: Parking deck, southeast corner, view north (Chattel, 2019)



Image 14: Parking deck, south elevation, view northwest (Chattel, 2019)

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ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS - EXTERIOR



Image 15: Parking deck, interior, view southwest (Chattel, 2019)

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ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS - EXTERIOR



Image 16: Roof, mechanical room and penthouse, view southwest (Chattel, 2019)



Image 17: Roof, penthouse, view west (Chattel, 2019)

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ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS - EXTERIOR



Image 18: Roof, penthouse, view southeast (Chattel, 2019)



Image 19: Roof, view east, (Chattel, 2019)

6435 WILSHIRE BOULEVARD

ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS - EXTERIOR



Image 20: Roof, mechanical room, view northwest (Chattel, 2019)

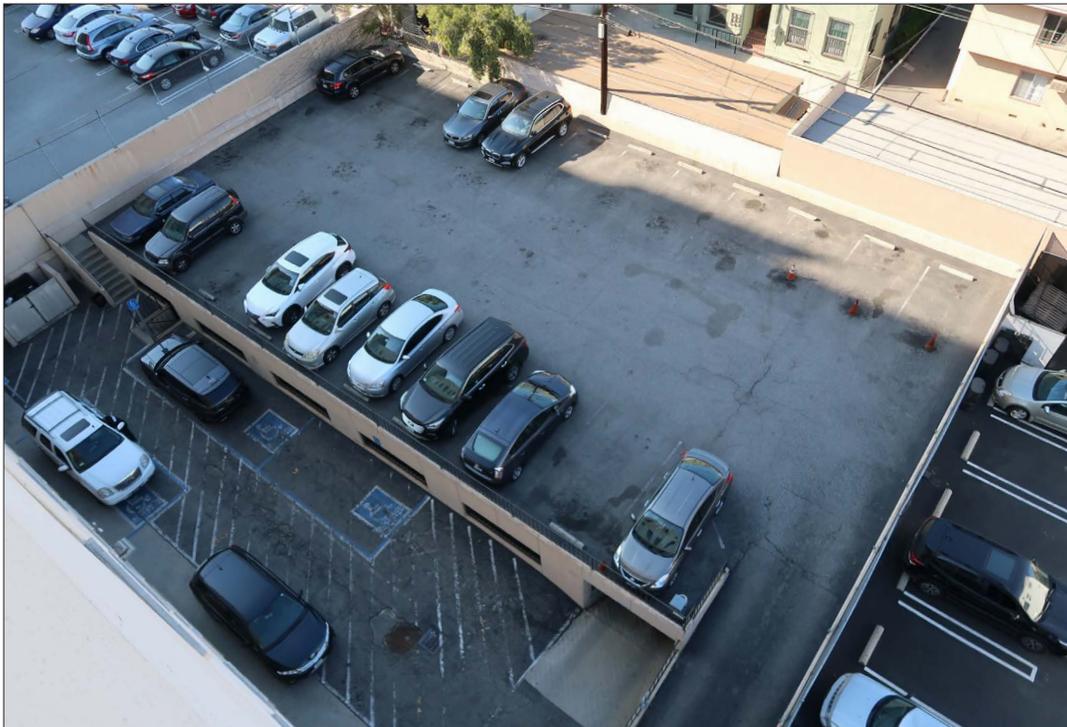


Image 21: Surface parking (below) and parking garage (above), view northwest from roof (Chattel, 2019)

6435 WILSHIRE BOULEVARD

ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS - EXTERIOR



Image 22: Roof, view southeast (Chattel, 2019)



Image 23: Roof, view southwest (Chattel, 2019)

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ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS - EXTERIOR



Image 24: Window, typical (Chattel, 2019)



Image 25: Window detail, typical (Chattel, 2019)

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ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS - INTERIOR



Image 26: Main entrance, view south (Chattel, 2019)



Image 27: Hallway (foreground) and main entrance (background), view south (Chattel, 2019)

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ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS - INTERIOR



Image 28: Elevator lobby, typical (Chattel, 2019)



Image 29: Elevator interior, typical (Chattel, 2019)

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ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS - INTERIOR



Image 30: Stairwell, typical (Chattel, 2019)



Image 31: South elevation windows, typical (Chattel, 2019)

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ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS - INTERIOR



Image 32: Restroom, typical (Chattel, 2019)



Image 33: Restroom, window, typical (Chattel, 2019)

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ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS - INTERIOR



Image 34: Hallway, typical (Chattel, 2019)



Image 35: Multipurpose space (center) and offices (background), view north (Chattel, 2019)

6435 WILSHIRE BOULEVARD

ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS - INTERIOR



Image 36: Classroom, typical (Chattel, 2019)

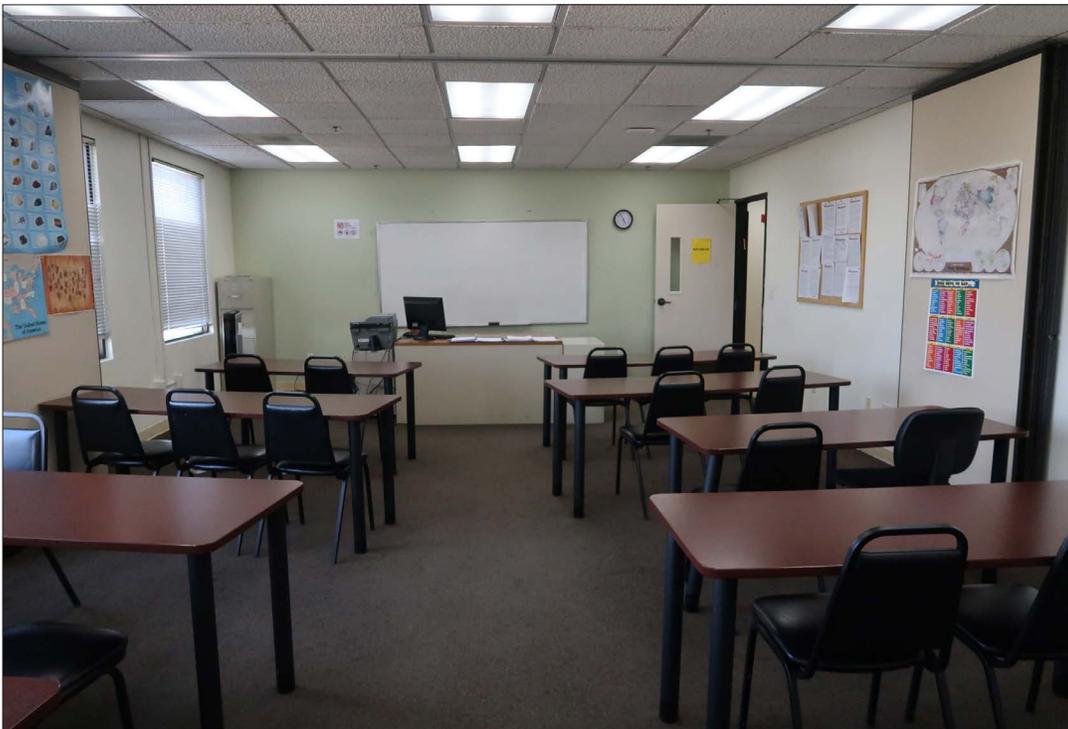


Image 37: Classroom, typical (Chattel, 2019)

6435 WILSHIRE BOULEVARD

ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS - INTERIOR



Image 38: Penthouse interior (Chattel, 2019)



Image 39: Mechanical room interior (Chattel, 2019)

ATTACHMENT B:
MAPS AND HISTORIC AERIALS

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6435 WILSHIRE BOULEVARD
ATTACHMENT B: MAPS AND HISTORIC AERIALS



Image 40: Subject property outlined in red (Los Angeles County Assessor's, last revised 2015)

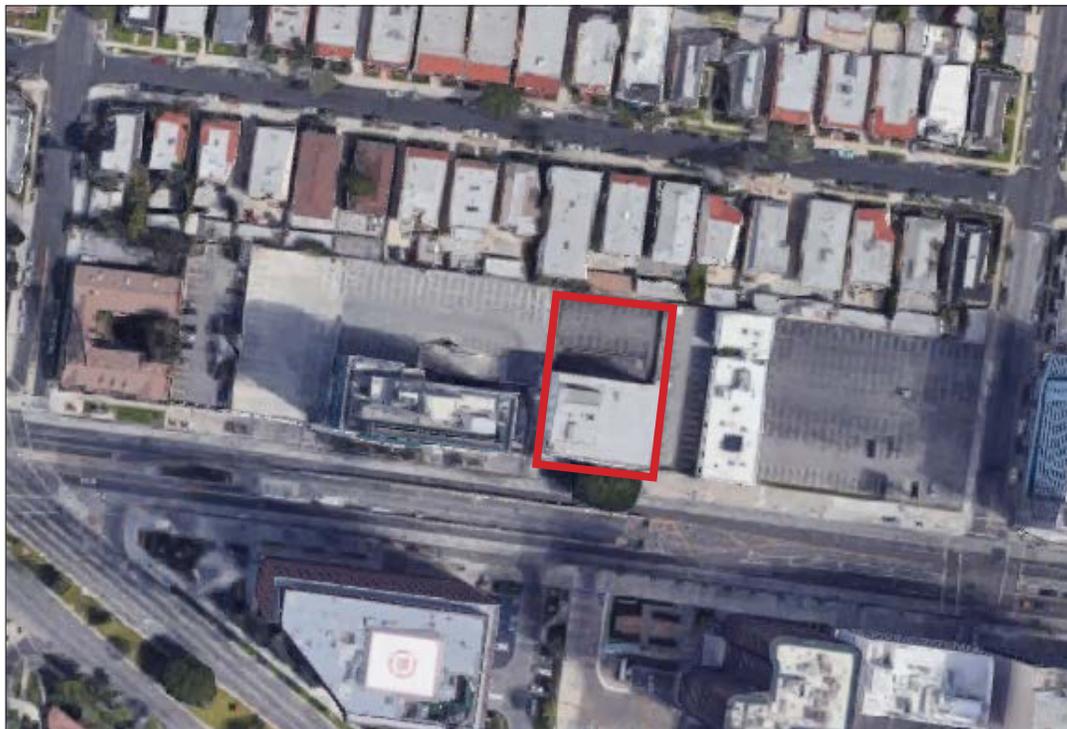


Image 41: Subject property outlined in red (Google Maps, 2020)

6435 WILSHIRE BOULEVARD

ATTACHMENT B: MAPS AND HISTORIC AERIALS

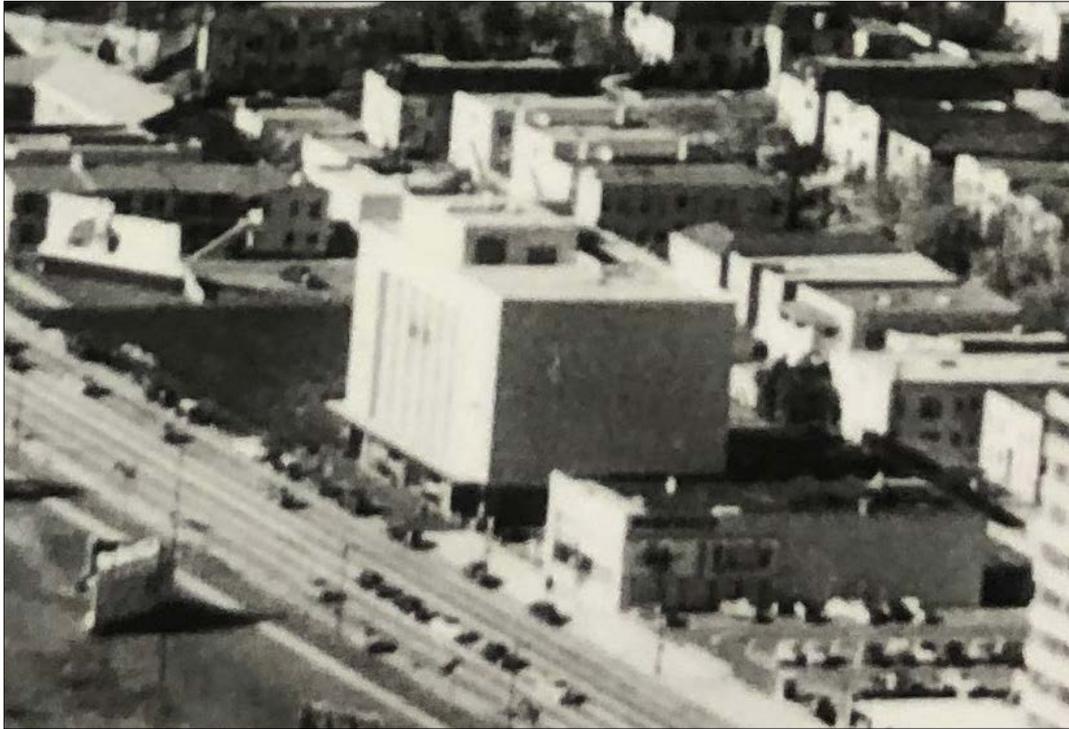


Image 42: East elevation (right) and south elevation (center), view northwest (UCLA Air Photo Archives, 1951)

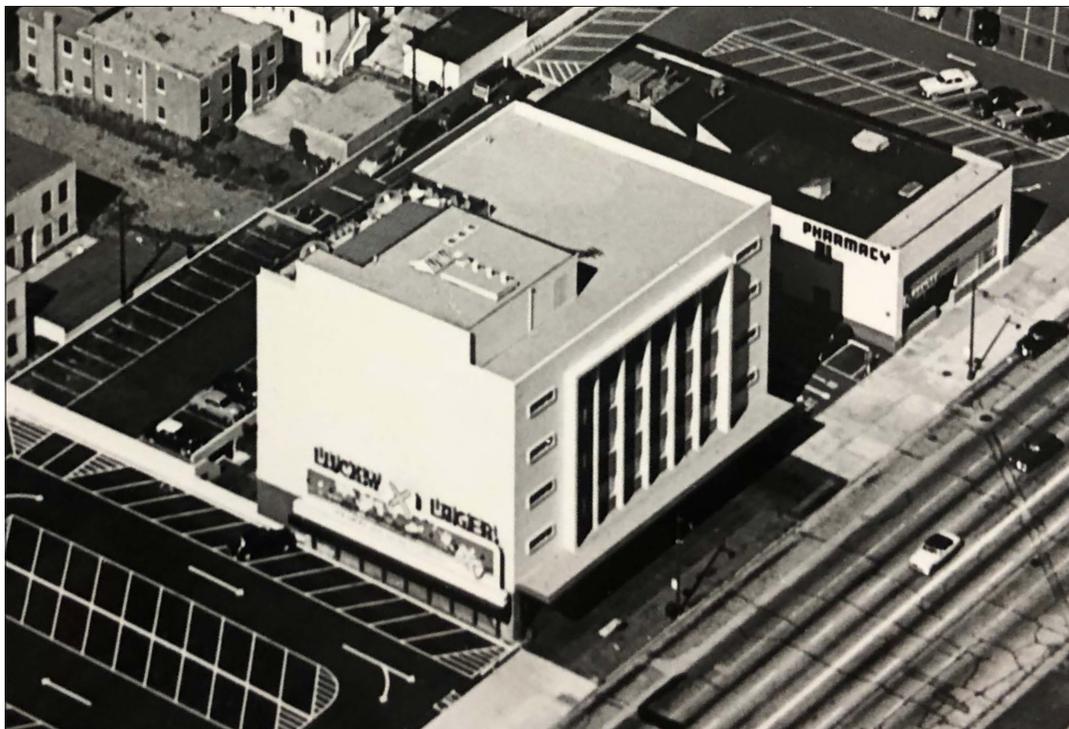


Image 43: West elevation (left) and south elevation (center), view northeast (UCLA Air Photo Archives, 1952)

6435 WILSHIRE BOULEVARD

ATTACHMENT B: MAPS AND HISTORIC AERIALS



Image 44: West elevation (left) and south elevation (center), view northeast (UCLA Air Photo Archives, 1954)



Image 45: East elevation (right) and south elevation (center), view northwest (UCLA Air Photo Archives, 1961)

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ATTACHMENT C:
ADDITIONAL RESEARCH

6435 WILSHIRE BOULEVARD

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ELECT. DIV.
 PERM. NO. 10413
 AD. E. YOKUM
 ELECTRICAL INSPECTOR

**APPLICATION TO
 ERECT A NEW BUILDING
 AND FOR A
 Certificate of Occupancy**

CITY OF LOS ANGELES
 DEPARTMENT
 OF
 BUILDING AND SAFETY
 BUILDING DIVISION

Lot No. 7, 8
 Block 3
 Tract 7555

Location of Building: 6435 + 6439 Wilshire Blvd. (House Number and Street)
 Between what cross streets: La Jolla and Sweetzer

USE INK OR INDELIBLE PENCIL.

1. Purpose of building: Office (Store, Dwelling, Apartment House, Hotel or other purpose) Families: _____ Rooms: _____
 2. Owner: A.D. Callahan (Print Name) Phone: PY 1-1495
 3. Owner's Address: 1804 Monterey Rd. P.O. South Pasadena
 4. Certificated Architect: Leo Callahan State License No. 1155 Phone: PY 1-1495
 5. Licensed Engineer: W.M. Taggart State License No. 4191 Phone: DUS 4321
 6. Contractor: A.D. Callahan State License No. 77260 Phone: PY 1-1495
 7. Contractor's Address: 1804 Monterey Rd. South Pasadena

8. VALUATION OF PROPOSED WORK (including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire, elevator, electrical wiring and other equipment, fixtures or devices) \$35000

9. State how many buildings NOW on lot and give use of each: None (Store, Dwelling, Apartment House, Hotel or other purpose)

10. Size of new building: 80 x 104 No. Stories: 5 Height to highest point: 20 Size lot 104 x 180
 11. Material Exterior Walls: Concrete & brick Type of Roofing: Concrete
 For Accessory Buildings and similar structures:
 (a) Footing: Width _____ Depth in Ground _____ Width of Wall 8"
 (b) Size of Studs _____ Material of Floor: Concrete
 (c) Size of Floor Joists _____ x _____ Size of Rafters: _____

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

DISTRICT OFFICE: sheet 1 of 2
 Sign here: A.D. Callahan (Owner or Architectural Agent)
 By: W.M. Taggart

FOR DEPARTMENT USE ONLY						
PLAN CHECKING						
Valuation \$	400000-	Investigation Fee \$	200-	Bldg. Permit Fee \$	440-	Total
Fee	200-	Investigation Fee \$	200-	Bldg. Permit Fee \$	440-	Total
TYPE	Maximum No. Occupants	Corner Lot	Corner Lot Kept	Lot Size	Pl. & City	Arch.
I	420	Corner Lot	Corner Lot Kept	104 x 180	Pl. & City	Arch.
GROUP	Page and Specifications checked	Zone	Zone	Fire District	Pl. & City	Arch.
G-1	13	C-4	C-4	10	Pl. & City	Arch.
For Plans etc.	Specifications checked	Edg. Dis.	Edg. Dis.	Street Widening	Pl. & City	Arch.
1	13	13	13	13	Pl. & City	Arch.
Plans with	Plans, specifications and approvals checked and approved	Conditions	Conditions	SPRINKLER	Pl. & City	Arch.
1	13	13	13	13	Pl. & City	Arch.

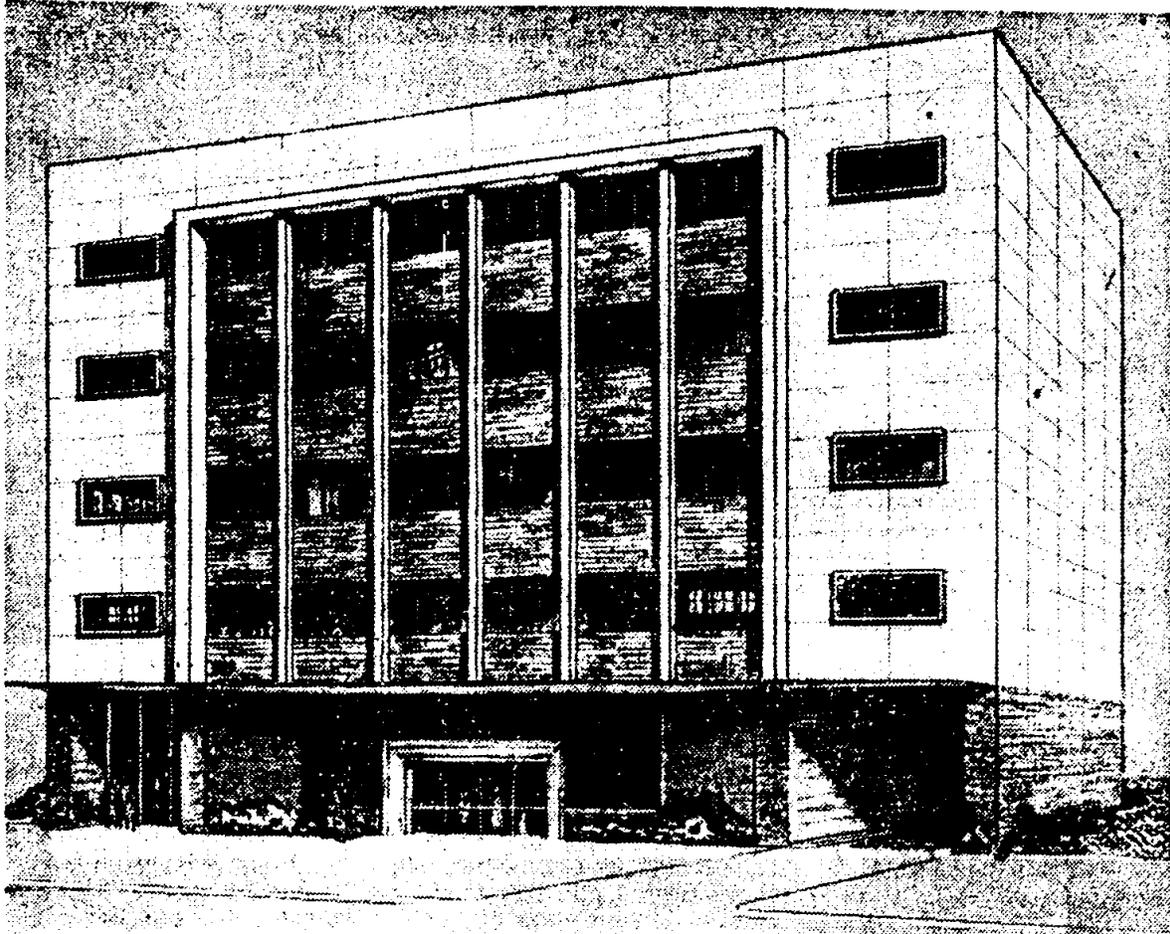
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TYPE OF RECEIPT	DATE ISSUED	TRACK NO. (M)	RECEIPT NO.	CODE	FEE PAID
Plan Checking	SEP 18 1950		1A 9902		
Supplemental Plan Checking					
Building Permit	SEP 18 1950		10154		

Image 46: Original permit (City of Los Angeles Building and Safety, 1950)

Wilshire Blvd. Building Set

Los Angeles Times (1923-1995); Sep 3, 1950; ProQuest Historical Newspapers: Los Angeles Times pg. E3



START SCHEDULED—Sketch of five-story building to be constructed at 6435 Wilshire Blvd. Cost of building and land represent investment of \$800,000, it was announced.

Wilshire Blvd. Building Set

Construction of a five-story building at 6435 Wilshire Blvd. will be started Sept. 11, it was announced by the Callahan Construction Co., owner and builder of the project.

Building and land represent investment of \$800,000, it was stated. The Class A building will be of reinforced concrete construction with stone or brick facing. A two-story garage will be built at the rear. The first

three floors, it was announced, will be occupied by divisions of General Motors including General Motors Acceptance Corp., Motor Insurance Corp. and Pontiac Motors division.

The two top floors will be available for leasing, the announcement said.

Image 47: "Wilshire Blvd. Building Set" (*Los Angeles Times*, 1950)

Pontiac Moves Zone Offices to Wilshire Blvd.

Los Angeles Times (1923-1995); Jun 3, 1951; ProQuest Historical Newspapers: Los Angeles Times
pg. F3



NEW OFFICES OPEN—Pontiac's new Los Angeles zone offices at 6435 Wilshire Blvd. were officially opened last week by Dan O'Madigan, assistant general sales manager for West, center. O'Madigan is shown with T. A. White, Pontiac Pacific regional manager, left, and Don M. House, who serves as manager of the Los Angeles zone.

Pontiac Moves Zone Offices to Wilshire Blvd.

Los Angeles zone offices of Pontiac Motor Division have been moved to a new location at 6435 Wilshire Blvd. in the Miracle Mile district. The new offices were officially opened by Dan O'Madigan, newly appointed assistant general sales manager for the West, during his visit to the zone in company with T. A. White, Pacific regional manager. O'Madigan, formerly assistant general sales manager for the East who was recently given the western assignment, arrived with White for a series of conferences with Don M. House, Los Angeles zone manager. While here O'Madigan took the occasion to dedicate the new Pontiac headquarters.

Growth Cited

Pontiac offices were formerly located at 714 W Olympic. With the growth of the local zone and its staff more operational space was needed, according to House, and thus the move westward into the new Wilshire Blvd. building.

The beautiful new zone offices are completely functional down to the last detail. House revealed. They are featured by modern controlled air conditioning and a new type of fluorescent lighting. The entirely functional floor plan involves the opening of all Pontiac department heads' offices into a spacious general office.

Overhead garage parking behind the building is another innovation of the new establishment.

Playing Children

Be alert for playing children. They may dash into the street at any time. You could kill a child, warns the Auto Club of Southern California.

Image 48: "Pontiac Moves Zone Offices to Wilshire Blvd." (*Los Angeles Times*, 1951)

6435 WILSHIRE BOULEVARD

ATTACHMENT C: ADDITIONAL RESEARCH



Primary Address: 6435 W WILSHIRE BLVD
Name:
Year built: 1951
Architectural style: Moderne, Late

Context 1:

Context:	Architecture and Engineering, 1850-1980
Sub context:	L.A. Modernism, 1919-1980
Theme:	Related Responses to Modernism, 1926-1970
Sub theme:	Late Moderne, 1936-1960
Property type:	Commercial
Property sub type:	No Sub-Type
Criteria:	C/3/3
Status code:	3S;3CS;5S3
Reason:	Excellent example of a Late Moderne office building on Wilshire's Miracle Mile. Retains all essential character-defining features of the style.

Image 49: Wilshire Community Plan Area, SurveyLA finding (City of Los Angeles and Architectural Resources Group, July 23, 2015)

6435 WILSHIRE BOULEVARD

ATTACHMENT C: ADDITIONAL RESEARCH

Document Type:	Grant Deed
Grantor:	Forest W. Monroe and Ethel M. Monroe, husband and wife
Conveyed To:	A. D. Callahan, a married man
Recording Date:	June 15, 1950
Recording No.:	1190 of Official Records
Document Type:	Grant Deed
Grantor:	Aaron D. Callahan, who acquired title as A. D. Callahan, a married man, and Helen H. Callahan, his wife
Conveyed To:	Doyle Dane Bernbach, Inc., a California corporation
Recording Date:	February 27, 1970
Recording No.:	2519 of Official Records
Document Type:	Corporation Quitclaim Deed
Grantor:	Doyle Dane Bernbach Inc., a California corporation
Conveyed To:	The heirs and devisees of Helen H. Callahan, deceased, subject to the administration of the estate of said decedent
Recording Date:	March 18, 1975
Recording No.:	995 of Official Records
Document Type:	Quitclaim Deed
Grantor:	Annette Bien, a married woman
Conveyed To:	Edward Bien, a married man, as his sole and separate property
Recording Date:	August 12, 1975
Recording No.:	191 of Official Records
Document Type:	Grant Deed
Grantor:	Carolyn Mae Boise and Patricia Jeanne Bayly, Co-Executrices under the Will of Helen H. Callahan, deceased
Conveyed To:	Edward Bien, a married man, as his sole and separate property
Recording Date:	August 12, 1975
Recording No.:	192 of Official Records
Document Type:	Grant Deed
Grantor:	Edward Bien, a married man, as his sole and separate property
Conveyed To:	Wilshire-Crest, a general partnership, composed of Edward Bien, Ronald M. Bien and Bien Enterprises, Inc.
Recording Date:	December 31, 1975
Recording No.:	4992 of Official Records
Document Type:	Grant Deed
Grantor:	Wilshire-Crest, a general partnership, composed of Edward Bien, Ronald M. Bien and Bien Enterprises, Inc.
Conveyed To:	Allianz Insurance Company, a California corporation
Recording Date:	January 18, 1977
Recording No.:	77-59734 of Official Records

Image 50: Chain of title, page 1 of 2 (Fidelity National Title Insurance Company, 2014)

6435 WILSHIRE BOULEVARD

ATTACHMENT C: ADDITIONAL RESEARCH

Document Type:	Corporation Grant Deed
Grantor:	Allianz Insurance Company, a California corporation
Conveyed To:	Los Angeles Ort Technical Institute, a California non-profit corporation
Recording Date:	May 15, 1995
Recording No.:	95-777890 of Official Records
Document Type:	Grant Deed
Grantor:	Los Angeles Ort Technical Institute, a California non-profit corporation
Conveyed To:	BE BH ADJ, LLC, a California limited liability company
Recording Date:	February 5 2019
Recording No.:	20190105582 of Official Records

Image 51: Chain of title, page 2 of 2 (Fidelity National Title Insurance Company, 2014)

6435 WILSHIRE BOULEVARD
ATTACHMENT C: ADDITIONAL RESEARCH

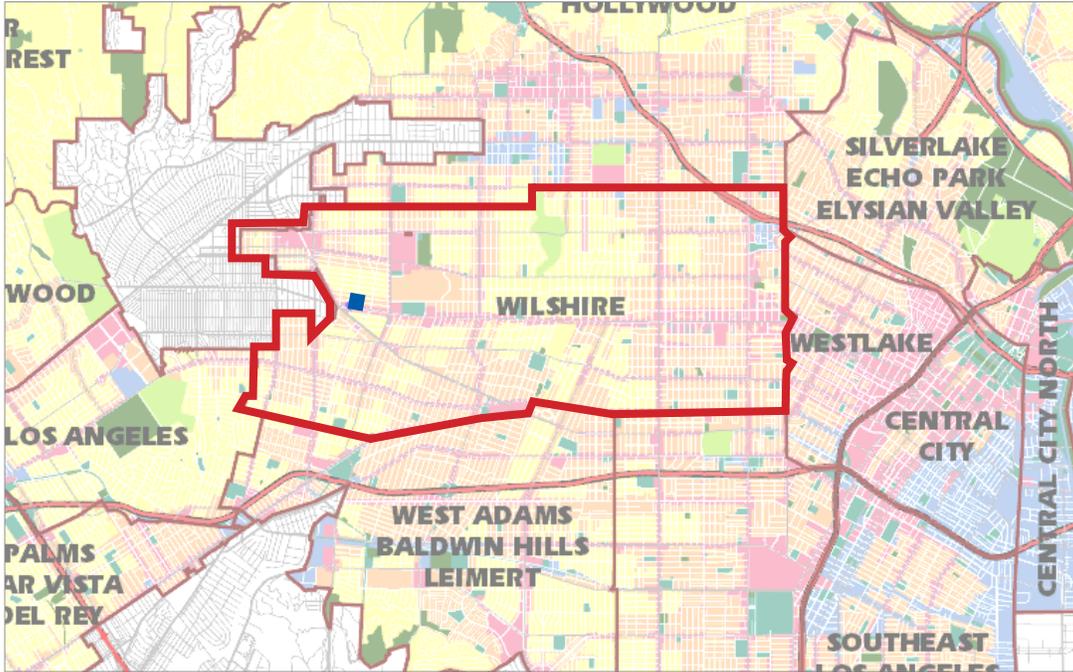


Image 52: Wilshire Community Plan Area boundary (ZIMAS, 2020), subject property general location denoted in blue.

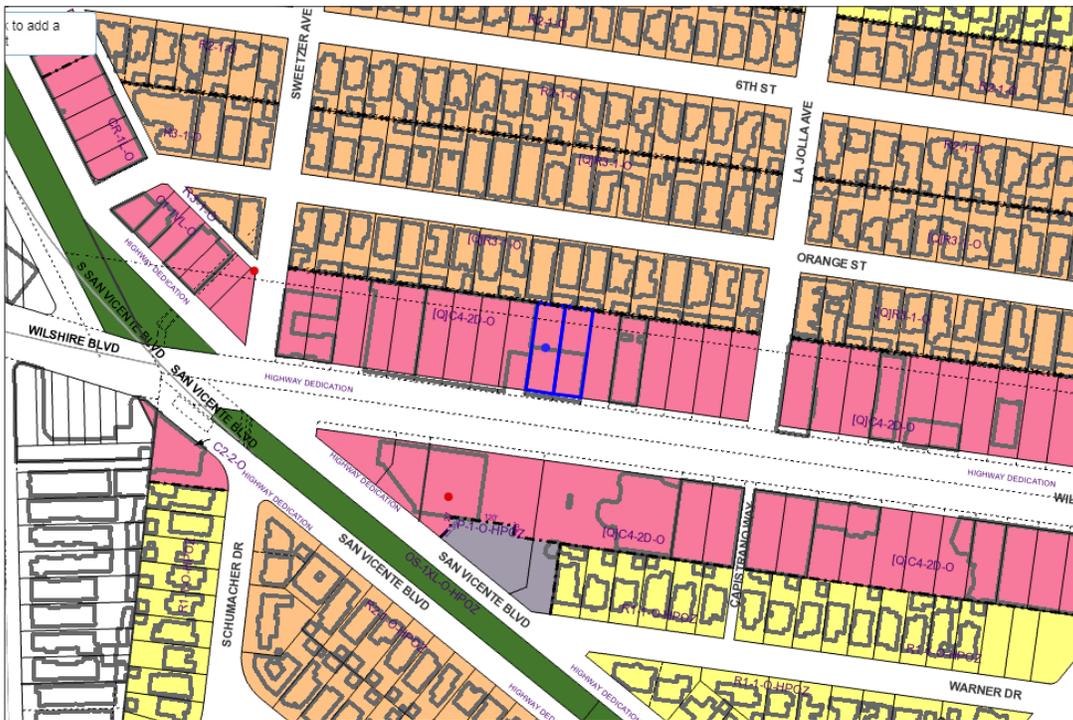


Image 53: Subject property outlined in blue (ZIMAS, 2020)

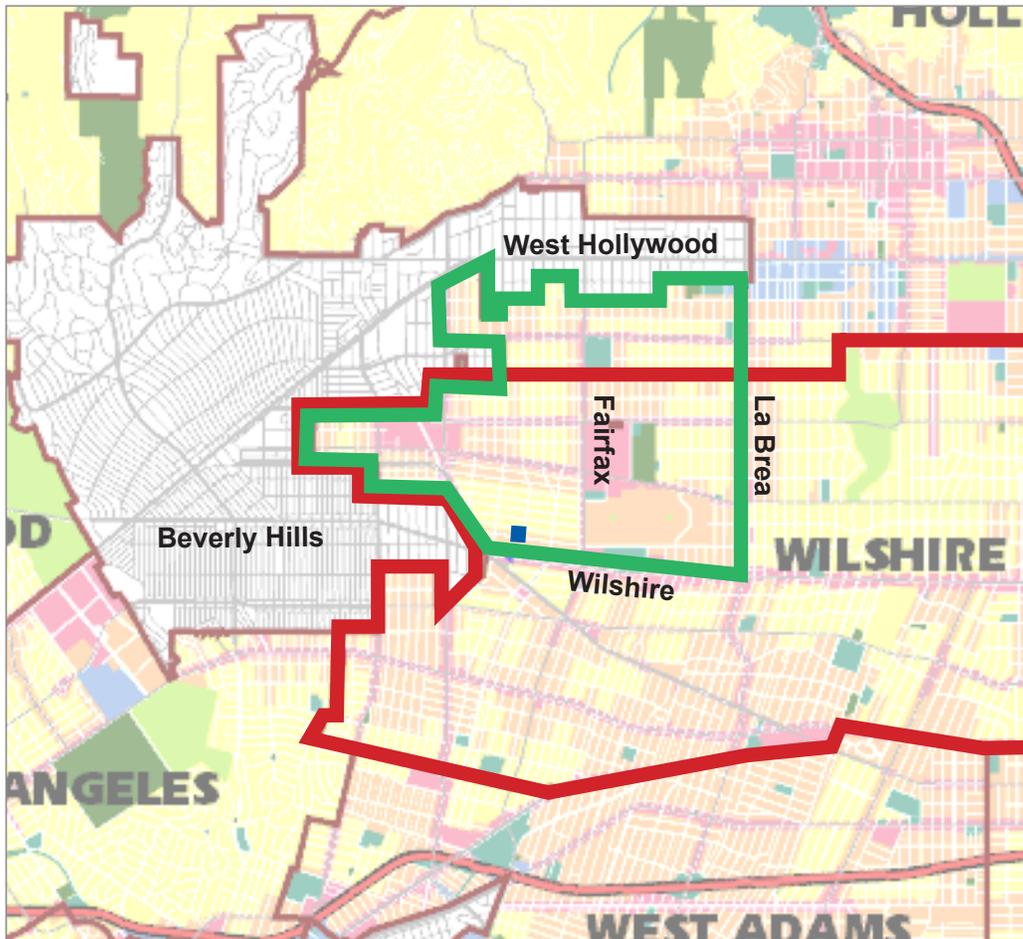


Image 54: Beverly-Fairfax neighborhood boundary based on SurveyLA outlined in green (ZIMAS, 2020), subject property general location denoted in blue.

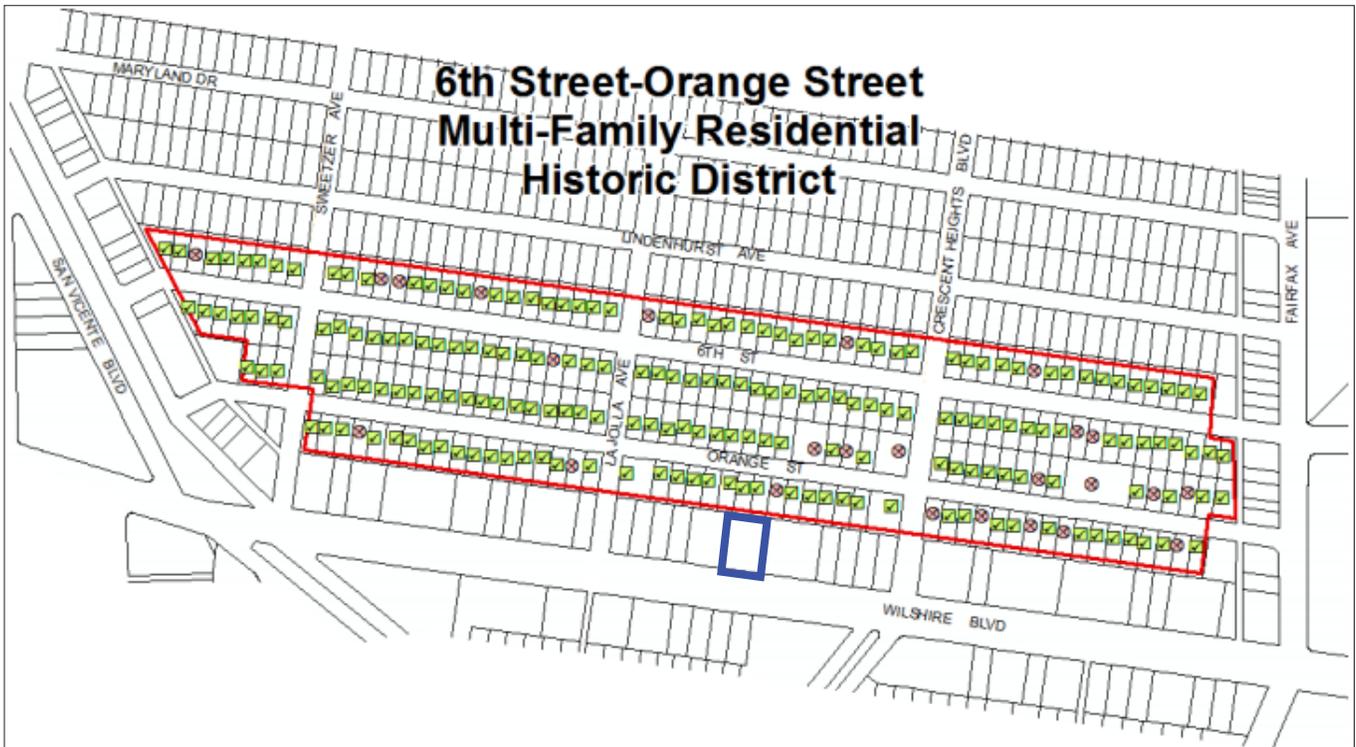


Image 55: 6th Street-Orange Street Multi-Family Residential Historic District (Wilshire Community Plan Area, SurveyLA, 2015), subject property (outlined in blue) is not within potential historic district.

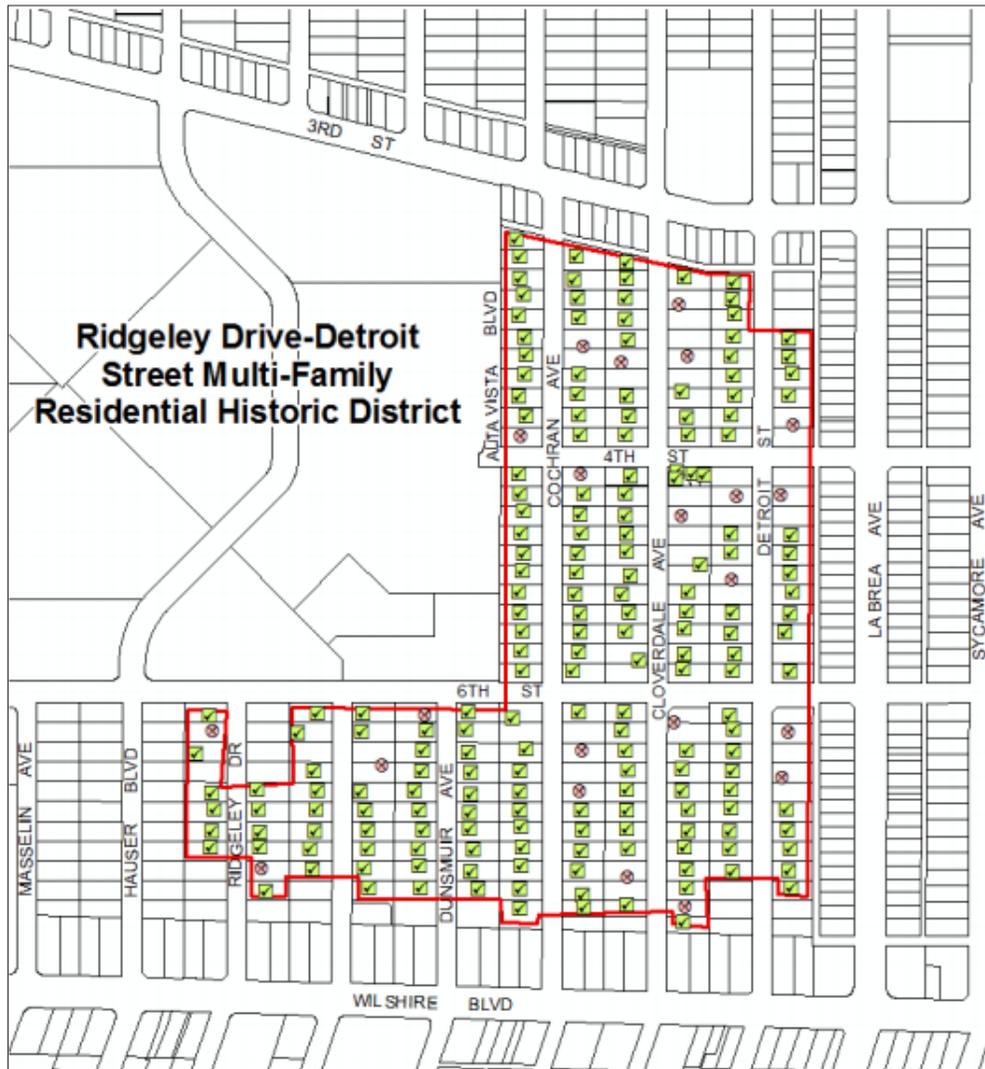


Image 56: Ridgeley Drive-Detroit Street Multi-Family Residential Historic District (Wilshire Community Plan Area, SurveyLA, 2015), subject property is not within potential historic district.

6435 WILSHIRE BOULEVARD
 ATTACHMENT C: ADDITIONAL RESEARCH



Image 57: National Register Beverly Fairfax Historic District (www.savebeverlyfairfax.com, 2018), subject property is not within National Register Historic District.

6435 WILSHIRE BOULEVARD
ATTACHMENT C: ADDITIONAL RESEARCH



Image 58: HPOZs proximate to subject property; subject property general location denoted in blue, subject property is not within a HPOZ (City of Los Angeles, Office of Historic Resources, 2020)

6435 WILSHIRE BOULEVARD
ATTACHMENT C: ADDITIONAL RESEARCH

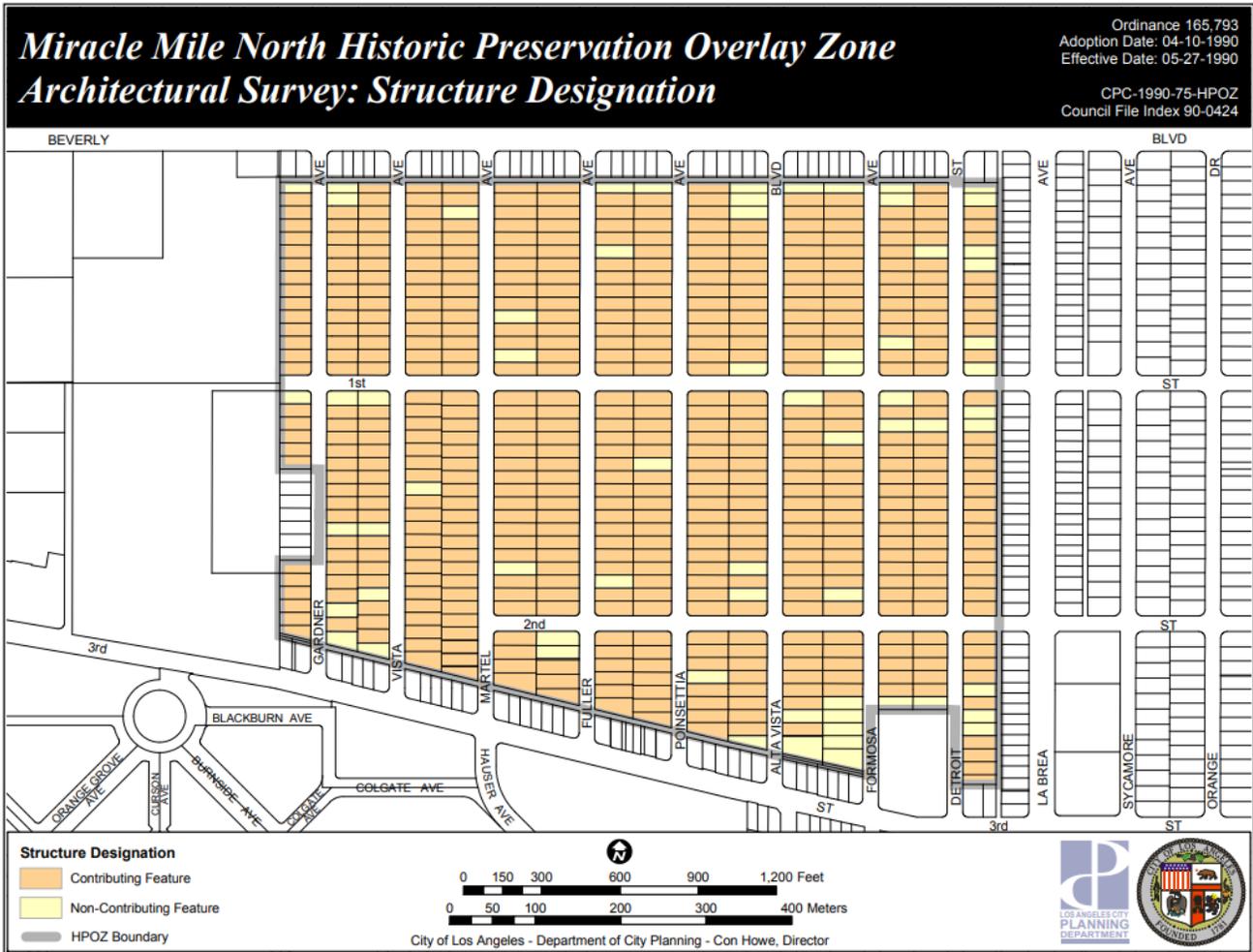


Image 59: Miracle Mile North HPOZ, subject property is not within HPOZ (City of Los Angeles, Office of Historic Resources, 2010)

6435 WILSHIRE BOULEVARD
ATTACHMENT C: ADDITIONAL RESEARCH

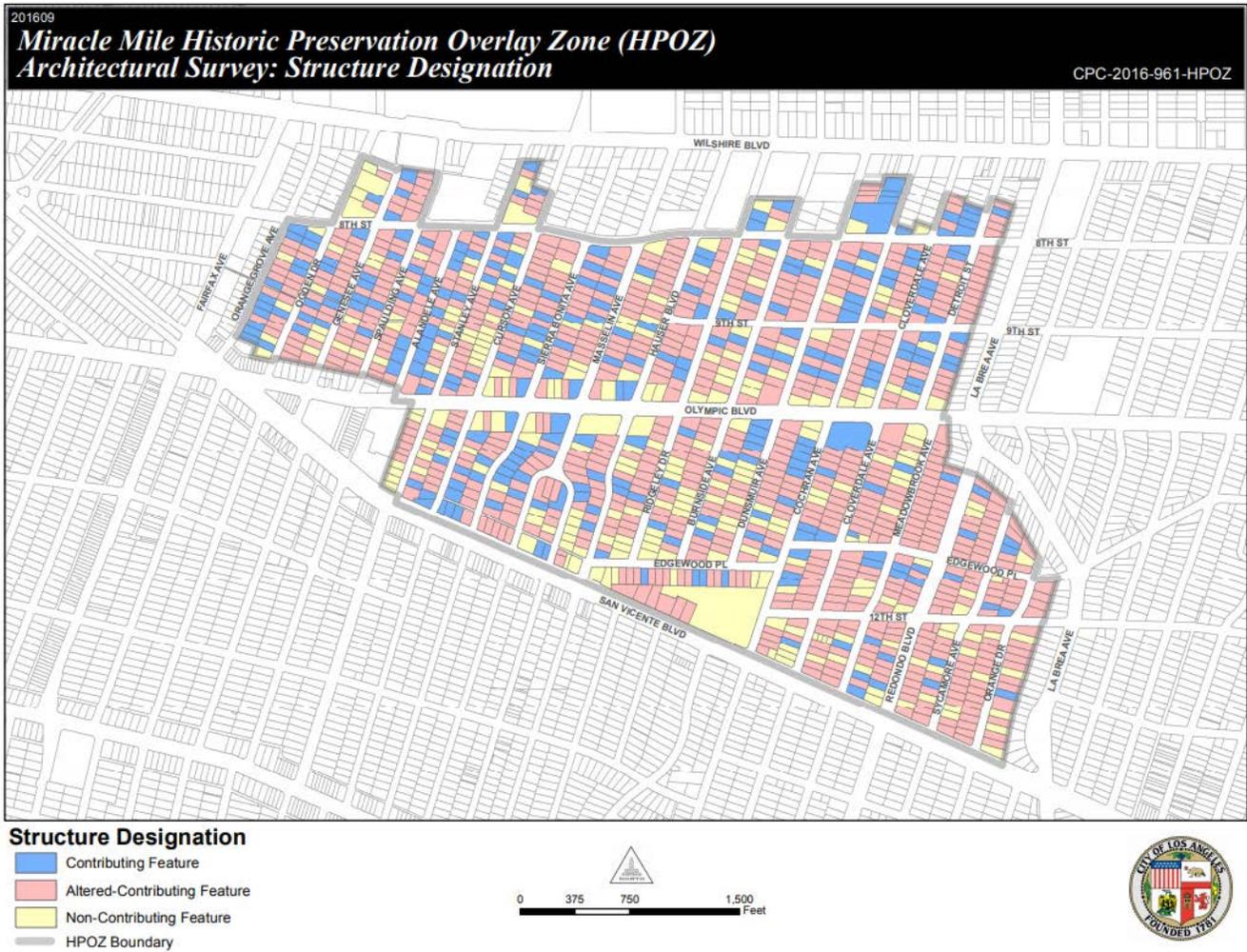


Image 60: Miracle Mile HPOZ. Subject property is not within HPOZ (City of Los Angeles, Office of Historic Resources, 2016)

6435 WILSHIRE BOULEVARD
 ATTACHMENT C: ADDITIONAL RESEARCH

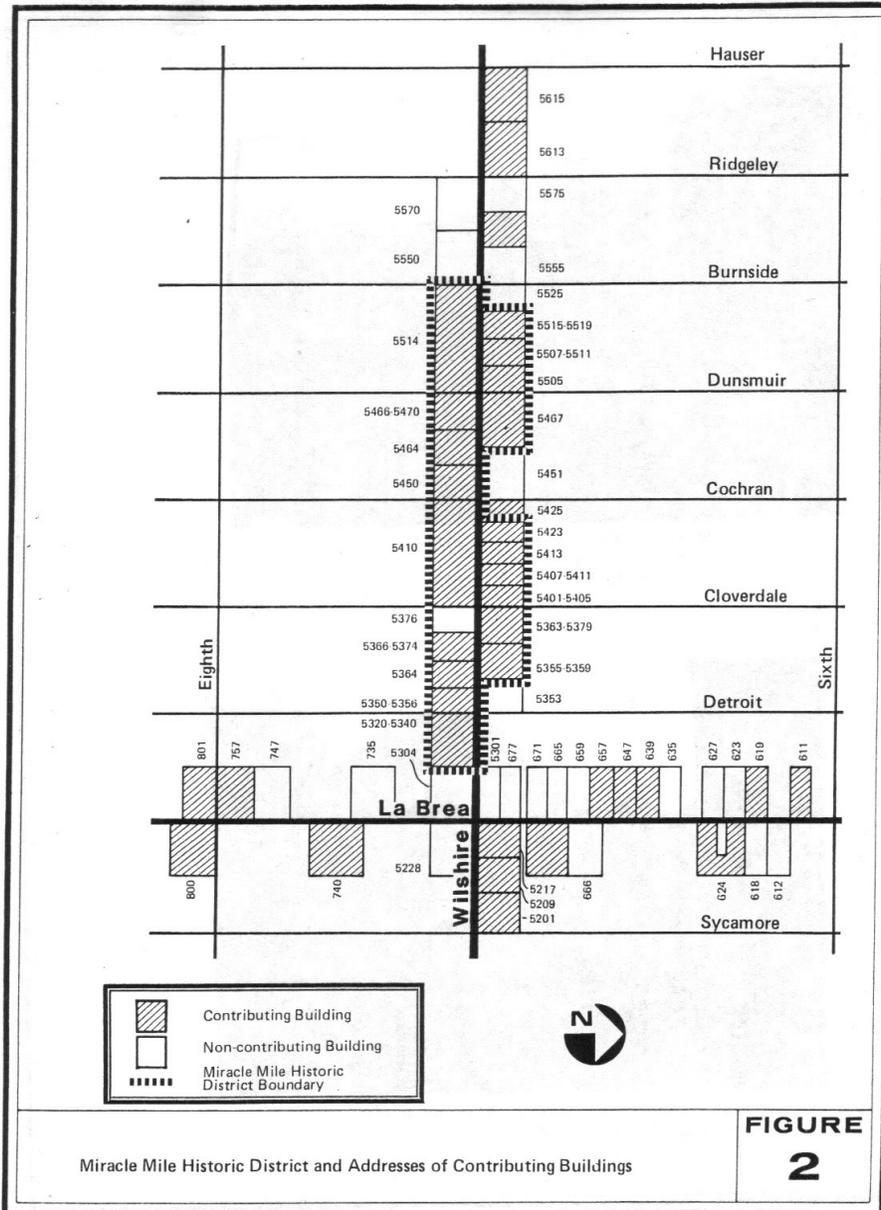


Image 61: Miracle Mile National Register determined eligible historic district, subject property is not within National Register determined eligible historic district (c1985).

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ATTACHMENT D:
EXCELLENT EXAMPLES OF LATE MODERNE
ARCHITECTURE IN THE LOS ANGELES REGION

6435 WILSHIRE BOULEVARD

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6435 WILSHIRE BOULEVARD

ATTACHMENT D: EXCELLENT EXAMPLES OF LATE MODERNE ARCHITECTURE IN THE LOS ANGELES REGION

Included in comparative analysis narrative within HRA:

<i>Address/Name</i>	<i>Year of Construction</i>	<i>Architect</i>	<i>Designated?</i>	<i>Photo</i>
General Petroleum Building 612 S. Flower St., Los Angeles	1949	Wurdeman & Becket	Yes, HCM and National Register of Historic Places	
Golden State Mutual Life Insurance Building 1999 W. Adams Blvd., Los Angeles	1949	Paul R. Williams	Yes, HCM and National Register of Historic Places	
Bob's Big Boy 4211 W. Riverside Dr., Burbank	1949	Wayne McAlister	Yes, California Point of Historic Interest	
Bullock's Pasadena Department Store 401 S. Lake St., Pasadena	1947	Wurdeman & Becket	Yes, National Register of Historic Places	
Sears Santa Monica Department Store 302 Colorado Blvd., Santa Monica	1947	Rowland Crawford	Yes, Santa Monica Landmark	

6435 WILSHIRE BOULEVARD

ATTACHMENT D: EXCELLENT EXAMPLES OF LATE MODERNE ARCHITECTURE IN THE LOS ANGELES REGION

Not included in comparative analysis narrative within HRA:

<i>Address/Name</i>	<i>Year of Construction</i>	<i>Architect</i>	<i>Designated?</i>	<i>Photo</i>
The Pickford Center for Motion Picture Study 1313 Vine St., Los Angeles	1948	Claud Beelman	No	
Burbank Water and Power 164 W. Magnolia Ave., Burbank	1949	Daniel A. Elliot	No	
Los Angeles Boys and Girls Club 2635 Pasadena Ave., Los Angeles	1949	Rowland H. Crawford	No	
Palms Middle School 10860 W. Woodbine St., Los Angeles	1949	Risley and Gould	No	
Beck Office Building 14542 Ventura Blvd., Los Angeles	1953	Leo P. Raffaelli	No	

6435 WILSHIRE BOULEVARD

ATTACHMENT D: EXCELLENT EXAMPLES OF LATE MODERNE ARCHITECTURE IN THE LOS ANGELES REGION

Address/Name	Year of Construction	Architect	Designated?	Photo
Kidney Center of Los Angeles 1125 W. 6 th St., Los Angeles	1955	Kistner, Wright & Wright	No	
Kenneth Hahn Hall of Administration 500 W. Temple St., Los Angeles	1960	Paul R. Williams. Austin, Field & Fry, Stanton & Stockwell, and Adrian Wilson	No	
J.C. Penney (Banana Republic) 1202 3 rd St., Santa Monica	1949	Milton L. Anderson	Yes, Santa Monica Landmark	
General Telephone Building 604 Arizona Ave., Santa Monica	1950	Albert C. Martin & Associates	No, determined eligible through survey as a Landmark, status code 5S3	

6435 WILSHIRE, LOS ANGELES, CALIFORNIA

ATTACHMENT D: EXCELLENT EXAMPLES OF LATE MODERNE ARCHITECTURE IN LOS ANGELES REGION

<i>Address/Name</i>	<i>Year of Construction</i>	<i>Architect</i>	<i>Designated?</i>	<i>Photo</i>
Broadway-Crenshaw Center 3650 W. Martin Luther King Jr Blvd., Los Angeles	1947	Albert B. Gardner	No	
Milliron's Department Store (Kohl's) 8739 Sepulveda Blvd., Los Angeles	1949	Gruen Associates	No	

ATTACHMENT E:
PREVIOUS HISTORICAL RESOURCES ASSESSMENT
REPORT
(SAPPHOS ENVIRONMENTAL, INC., 2019)

6435 WILSHIRE BOULEVARD

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**HISTORICAL RESOURCES ASSESSMENT REPORT FOR
6435 W. WILSHIRE BOULEVARD
LOS ANGELES, CALIFORNIA 90048**

PREPARED FOR:

**MS. NIKKI DE GUARDIOLA
BLACK EQUITIES GROUP, LTD.
433 NORTH CAMDEN DRIVE, SUITE 1070
BEVERLY HILLS, CA 90210
(310) 278-5333 x145**

PREPARED BY:

**SAPPHOS ENVIRONMENTAL, INC.
430 NORTH HALSTEAD STREET
PASADENA, CALIFORNIA 91107**

APRIL 26, 2019

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ATTACHMENTS

- A Resumes of Key Personnel
- B DPR 523 Series Forms

SECTION ES **EXECUTIVE SUMMARY**

This report presents the results of a Historical Resources Assessment Report for one parcel located at 6435 W. Wilshire Boulevard. Although the property is a single parcel, it has two parcel numbers (APNs 5510-023-050 and 5510-023-051). The property is located on a commercial street within the Wilshire Community Plan Area (CPA) of the City of Los Angeles (City). One commercial building and a paved surface parking lot are located at 6435 W. Wilshire Boulevard.

SurveyLA, the citywide historic resource survey of Los Angeles, completed the Historic Resources Survey Report of the Wilshire CPA in 2015.¹ The subject property was identified as eligible for listing in the National Register of Historic Places (National Register), California Register of Historical Resources (California Register), and for designation as a City Historic-Cultural Monument (HCM) as an example of a Late Moderne-style office building. The project would improve the parcel. Sapphos Environmental, Inc. (Ms. Alexandra Madsen and Ms. Carrie Chasteen; Attachment A, *Resumes of Key Personnel*) was retained to determine if the commercial building located on the project site may be a historical resource in accordance with the California Environmental Quality Act (CEQA). The building on this parcel was evaluated in this report using the eligibility criteria for listing in the National Register and California Register and for designation as an HCM. After careful research and evaluation, Sapphos Environmental, Inc. concluded that the building does not appear to be individually eligible for listing in the National Register, the California Register, or as an HCM and would not contribute to a potential Historic Preservation Overlay Zone (HPOZ). Therefore, the subject property does not meet the criteria to be considered a historical resource pursuant to Section 15064.5(a) of the CEQA Guidelines.

¹ City of Los Angeles Department of City Planning, Office of Historic Resources. January 2015. *Historic Resources Survey Report–Wilshire Community Plan Area*. Prepared by: Architectural Resources Group, Inc., Pasadena, CA. Available at: http://preservation.lacity.org/sites/default/files/ARG%20FINAL%20Wilshire%20Report_HPLAEdit.pdf

SECTION 1.0

PROJECT DESCRIPTION

1.1 PROJECT LOCATION AND CURRENT SETTING

The project site comprises one parcel with two parcel numbers located on the north side of Wilshire Boulevard just east of its intersection with San Vicente Boulevard in the Wilshire Community Plan Area (CPA) of the City of Los Angeles (City).² This is an area with dense commercial and single- and multi-family residential development with a wide range of development patterns (Figure 1, *Sketch Map, 6435 W. Wilshire Boulevard*; Figure 2, *Project Location Map, 6435 W. Wilshire Boulevard*).

1.2 PROJECT DESCRIPTION

The proposed project would improve the parcel.

² City of Los Angeles Department of City Planning, Office of Historic Resources. January 2015. *Historic Resources Survey Report–Wilshire Community Plan Area*. Prepared by: Architectural Resources Group, Inc., Pasadena, CA. Available at: http://preservation.lacity.org/sites/default/files/ARG%20FINAL%20Wilshire%20Report_HPLAEdit.pdf

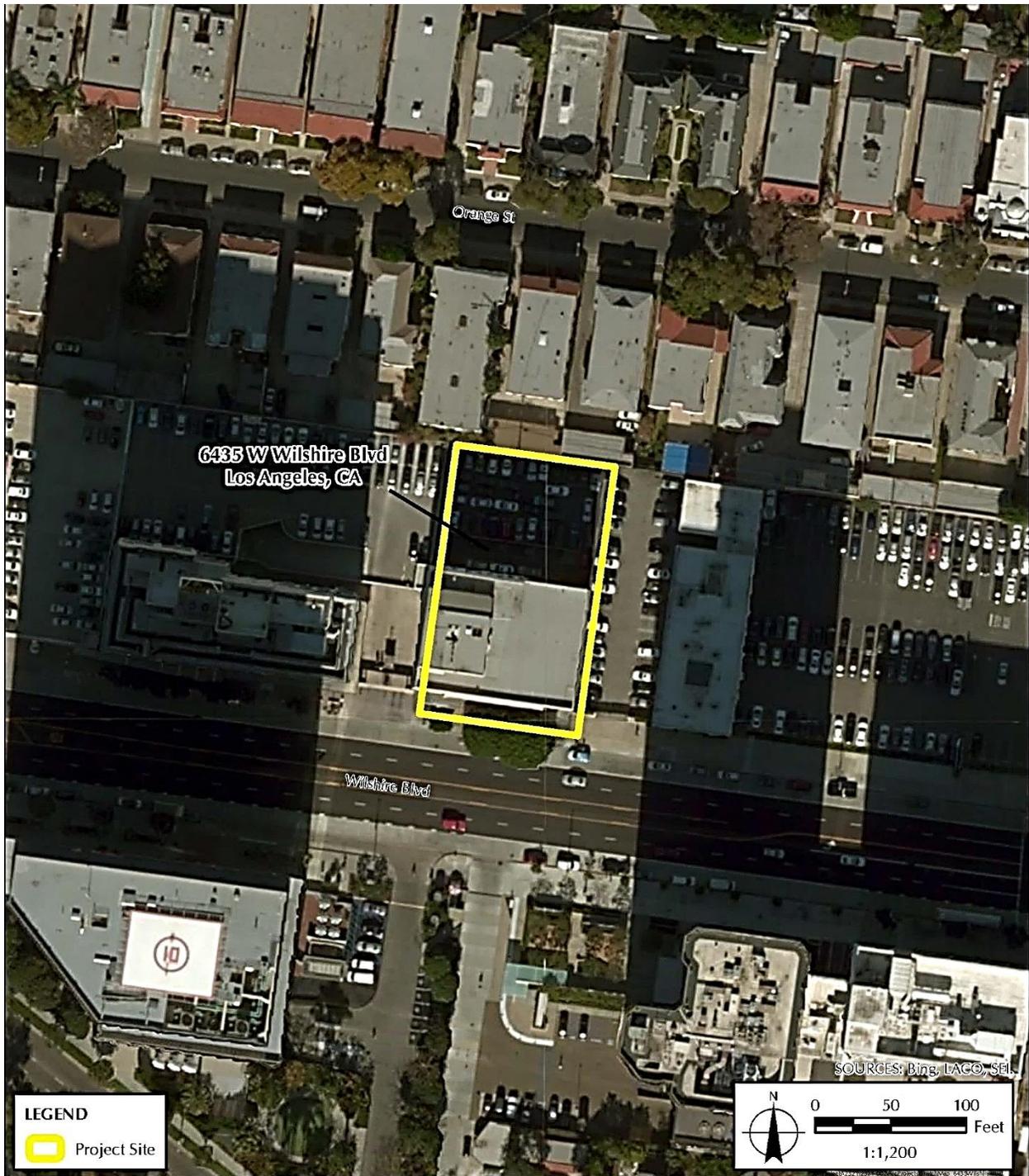


Figure 1. Sketch Map, 6435 Wilshire Boulevard
SOURCE: Sapphos Environmental, 2019

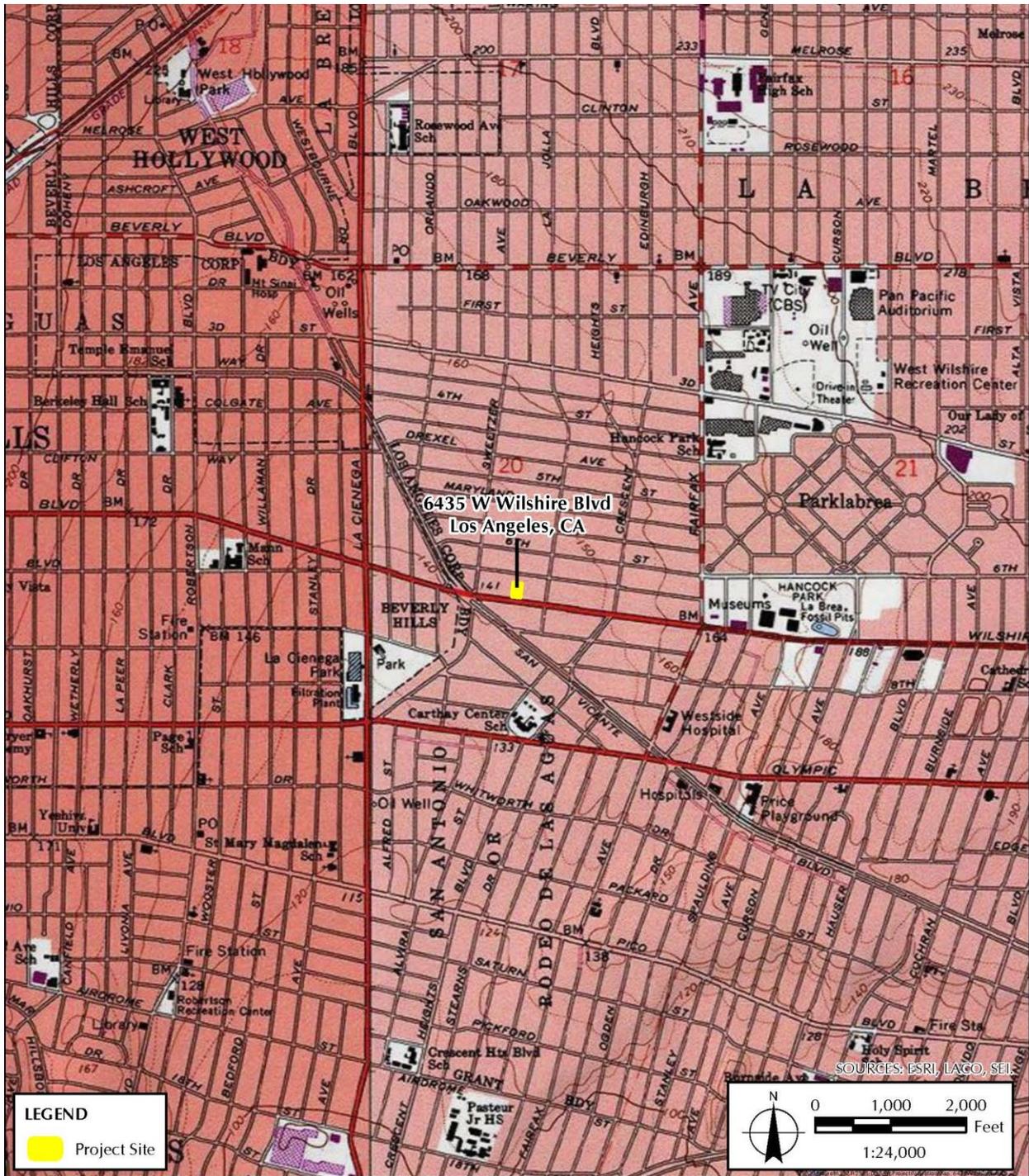


Figure 2. Project Location Map, 6435 Wilshire Boulevard
 SOURCE: U.S. Geological Survey, 1991

SECTION 2.0 METHODOLOGY

In preparing this report, the following tasks were completed:

1. Conducted a field inspection of the project site on April 17, 2019, to ascertain the general condition and physical integrity of the commercial building thereon. Digital photographs were taken during the site inspection, which included generally only the exterior and interior lobby of the building. Field notes were made.
2. It was concluded during the field inspection that the commercial building located at 6435 Wilshire Boulevard is not located in a potential HPOZ because surrounding buildings and structures do not evidence a cohesive development pattern or series of architectural styles. The parcel was evaluated individually as a potential historical resource and as a contributor to a potential HPOZ under federal, state, and local eligibility criteria according to the National Park Service, California Office of Historic Preservation, and Los Angeles Office of Historic Resources standards.
3. Obtained and reviewed the building permits for the parcel from the City Department of Building and Safety. Dates of construction and subsequent alterations were determined by the building permit record, as well as additional resources, such as the field inspection, Sanborn maps, and historic aerial photographs.
4. Researched the project site and surrounding area at local libraries and archives to establish the general history and context of the project site, including a review of the Historic Property Data File for Los Angeles County, newspapers, city directories, books, and articles.
5. Consulted the Context/Theme/Property Type (CTP) eligibility standards formulated for the Los Angeles Historic Context Statement to identify the appropriate CTP under which to evaluate the building on the project site. However, the L.A. Modernism Historic Context Statement, which includes Postwar Modernism, 1946-1976, is not available for review.
6. Reviewed and analyzed ordinances, statutes, regulations, bulletins, and technical materials relating to federal, state, and local historic preservation assessment processes and programs to evaluate the significance and integrity of the buildings on the project site.

SECTION 3.0 REGULATORY FRAMEWORK

3.1 FEDERAL

The National Historic Preservation Act of 1966, as amended, defines the criteria to be considered eligible for listing in the National Register:

The quality of significance in American history, architecture, archeology, engineering, and culture is present in districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling, and association and

- A. *that are associated with events that have made a significant contribution to the broad patterns of our history; or*
- B. *that are associated with the lives of persons significant in our past; or*
- C. *that embody distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or*
- D. *that have yielded, or may be likely to yield, information important in prehistory or history (36 Code of Federal Regulations [CFR] Section part 63).*

According to *National Register Bulletin No. 15*, “to be eligible for listing in the National Register, a property must not only be shown to be significant under National Register criteria, but it also must have integrity.” Integrity is defined in *National Register Bulletin No. 15* as “the ability of a property to convey its significance.”³ Within the concept of integrity, the National Register recognizes the following seven aspects or qualities that in various combinations define integrity: location, design, setting, materials, workmanship, feeling, and association.

3.2 STATE OF CALIFORNIA

Section 5024.1(c), Title 14 CCR, Section 4852 of the California Public Resources Code defines the criteria to be considered eligible for listing in the California Register:

A resource may be listed as an historical resource in the California Register if it meets any of the following [National Register] criteria:

- 1. *Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;*
- 2. *Is associated with the lives of persons important in our past;*
- 3. *Embodies the distinctive characteristics of a type, period, region, or method of*

³ National Park Service, U.S. Department of the Interior. 2017. *National Register Bulletin, How to Apply the National Register Criteria for Evaluation*. Available at: <https://www.nps.gov/nr/publications/bulletins/nrb15/>

construction, or represents the work of an important creative individual, or possesses high artistic values; or

4. *Has yielded, or may be likely to yield, information important in prehistory or history.*

Section 4852(C) of the California Code of Regulations⁴ defines integrity as follows:

Integrity is the authenticity of an historical resource's physical identity evidenced by the survival of characteristics that existed during the resource's period of significance. Historical resources eligible for listing in the California Register must meet one of the criteria of significance described in section 4852(b) of this chapter and retain enough of their historic character or appearance to be recognizable as historical resources and to convey the reasons for their significance. Historical resources that have been rehabilitated or restored may be evaluated for listing.

Integrity is evaluated with regard to the retention of location, design, setting, materials, workmanship, feeling, and association. It must also be judged with reference to the particular criteria under which a resource is proposed for eligibility. Alterations over time to a resource or historic changes in its use may themselves have historical, cultural, or architectural significance.

3.3 CITY OF LOS ANGELES

Historic-Cultural Monument. Section 22.171.7 of the City Cultural Heritage Ordinance defines a HCM:

For purposes of this article, a Historic-Cultural Monument (HCM) is any site (including significant trees or other plant life located on the site), building or structure of particular historic or cultural significance to the City of Los Angeles. A proposed Monument may be designated by the City Council upon the recommendation of the Commission if it meets at least one of the following criteria:

1. *Is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic or social history of the nation, state, city or community;*
2. *Is associated with the lives of historic personages important to national, state, city, or local history; or*
3. *Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age.*⁵

Historic Preservation Overlay Zone. The City has established 36 HPOZs, or historic districts. City Ordinance No. 175891 amended Section 12.20.3 of the City's municipal code regarding HPOZs. The purpose of the ordinance was stated as:

⁴ California Office of Historic Preservation. 1999. *California State Law and Historic Preservation*, 4853 (c), p. 66.

⁵ City of Los Angeles. 2018. Ordinance No. 185472, Section 22.171.7. Available at: <https://preservation.lacity.org/sites/default/files/Cultural%20Heritage%20Ordinance%2C%20Revised%202018.pdf>

It is hereby declared as a matter of public policy that the recognition, preservation, enhancement, and use of buildings, structures, Landscaping, natural features, and areas within the City of Los Angeles having Historic, architectural, cultural, or aesthetic significance are required in the interest of the health, economic prosperity, cultural enrichment, and general welfare of the people.

Contributing elements are defined as any building, structure, landscape, or natural feature identified in a historic resource survey as contributing to the historic significance of the HPOZ, including a building or structure which has been altered, where the nature and extent of the alterations are determined reversible by the historic resources survey.

SECTION 4.0 RECORD SEARCH

4.1 RECORD SEARCH

A cultural resource record search was not conducted at the South Central Coastal Information Center (SCCIC), located at California State University, Fullerton due to time constraints. However, the Historic Resources Inventory (HRI) for Los Angeles County, available from the California Office of Historic Preservation, and historic U.S. Geological Survey (USGS) 7.5-minute series topographic maps and aerial photographs were reviewed for the project site and adjacent properties. In addition to official maps and records, the following sources of information were consulted as part of the record search:

- National Register of Historic Places – Listed (2019);
- California Register of Historical Resources – Listed (2019);
- California State Historical Landmarks (1996 and updates);
- California Points of Historical Interest (1992 and updates);
- HistoricPlacesLA (2019); and
- SurveyLA (2015).

4.2 PREVIOUS EVALUATIONS / DESIGNATIONS SUMMARY

The subject property is located in the Wilshire CPA of the City. The subject property was identified as a potential historical resource for SurveyLA as an excellent example of a Late Moderne office building on Wilshire's Miracle Mile.⁶

⁶ City of Los Angeles Department of City Planning, Office of Historic Resources. January 2015. *Historic Resources Survey Report–Wilshire Community Plan Area*. Prepared by: Architectural Resources Group, Inc., Pasadena, CA. Available at: http://preservation.lacity.org/sites/default/files/ARG%20FINAL%20Wilshire%20Report_HPLAEdit.pdf

SECTION 5.0

HISTORY AND DESCRIPTION OF THE SURROUNDING AREA

The following discussion of Wilshire is adopted from the Wilshire CPA Survey and is included to provide background relating to the development history of the area and the subject property.

5.1 WILSHIRE BOULEVARD IN THE 20TH CENTURY⁷

Wilshire's development was steady through the 1910s and 1920s, with large apartment buildings, resort hotels like the Ambassador Hotel (no longer extant), and commercial structures rising through the district. The Ambassador's 1921 establishment pre-dated anything else around it, with the large property announcing that Wilshire Boulevard was a place to watch.

The late 1920s commercial rezoning of 25 blocks of Wilshire, from Westlake Park to Western Avenue, spurred a new era of rapid development in the eastern part of the Wilshire district through the 1920s and 1930s.⁸ Farther west on Wilshire, a developer had foreseen a grand commercial destiny for the district earlier than anyone else. In the early 1920s, A.W. Ross began buying up land along Wilshire Boulevard in an area most thought of as laughably distant from Los Angeles, between La Brea Avenue and Fairfax Avenue. He envisioned a destination shopping district that would lure customers from Beverly Hills as well as Hollywood and downtown Los Angeles and encouraged the construction of architecturally distinctive commercial buildings. Ross's development would become known as Miracle Mile.

[...]

After steady growth through the 1930s on Miracle Mile and beyond, the Survey Area saw little commercial development during World War II. In the postwar years, however, Wilshire Boulevard's luxurious department stores, clubs and restaurants were joined by large office buildings housing high-profile corporations. New York developer Norman Tishman was the first to erect large office buildings along Wilshire, and many others followed. Wilshire Boulevard quickly gained a new reputation as a business center. The 1957 lifting of the city's 150-foot height limit restriction led to towering skyscrapers, bringing a fundamental change to the Survey Area's landscape. The postwar period saw a shift in the area's architectural identity, with many commercial and institutional buildings exhibiting sleek Modern styles rather than the more extravagant styles of previous decades. Prudential Tower (now Museum Square), designed by Welton Becket's firm in 1948 for Prudential Insurance, was the first Wilshire example of the International Style.

⁷ City of Los Angeles Department of City Planning, Office of Historic Resources. January 2015. *Historic Resources Survey Report–Wilshire Community Plan Area*. Prepared by: Architectural Resources Group, Inc., Pasadena, CA. Available at: http://preservation.lacity.org/sites/default/files/ARG%20FINAL%20Wilshire%20Report_HPLAEdit.pdf

⁸ Roderick, Kevin and J. Eric Lynxwiler. 1 April 2011. *Wilshire Boulevard: Grand Concourse of Los Angeles*. Los Angeles, CA: Angel City Press. p. 85.

Wilshire Boulevard also witnessed a major influx of new institutional buildings during the postwar period, most visibly in a new museum district in Miracle Mile. The La Brea Tar Pits had been open to the public there since the 1920s, but it was not until the 1965 completion of William L. Pereira's Los Angeles County Museum of Art complex that Miracle Mile gained its second identity as an institutional center.

Wilshire's reputation as a world-class business center continued through the 1970s, with the area seeing dozens of new high-rise corporate buildings. It began to wane in the 1980s, as corporations departed the area for the cheaper and less congested San Fernando Valley and Westside of Los Angeles. The district's prospects looked bleak until an infusion of capital from Korean investors arrived, resulting in a revival. Although parts of the Survey Area experienced periods of economic downturn in the 1980s and 1990s, the Wilshire CPA as a whole remains a strong and diverse commercial center in Los Angeles.⁹

5.2 HISTORY AND DESCRIPTION OF THE SURROUNDING AREA

Commercial development surrounding the project site is characterized by parcels with buildings dating from the 1950s through 1980s. These buildings are commercial or institutional in nature. They are surrounded to the north and south by single- and multi-family residences constructed in the 1920s and 1930s.

⁹ City of Los Angeles Department of City Planning, Office of Historic Resources. January 2015. *Historic Resources Survey Report—Wilshire Community Plan Area*. Prepared by: Architectural Resources Group, Inc., Pasadena, CA. Available at: http://preservation.lacity.org/sites/default/files/ARG%20FINAL%20Wilshire%20Report_HPLAEdit.pdf

SECTION 6.0

DESCRIPTION OF EVALUATED RESOURCES

6.1 6435 WILSHIRE BOULEVARD

The subject property located at 6435 Wilshire Boulevard is situated on the north side of the street near its intersection with San Vicente Boulevard. The 5-story commercial building has a standard setback from the street, rectangular footprint, and flat roof with a rectangular projection. Its primary façade is clad in stucco and brick and is partially obscured by three ficus trees at its southeastern corner. A detached parking structure is accessible to the west of the building.

Primary (Southern) Façade

The building's primary, southern façade is defined by its fenestration and beveled windows. Fenestration is comprised of five vertical rows of six aluminum windows that denote each story of the building. This horizontal grouping of windows is outlined and demarcated by large horizontal and vertical protruding, bezel-like flanges. These flanges are a pale-yellow color that contrasts sharply with the windows and brick veneer. To either side of this central feature are four thin aluminum windows with protruding stucco surrounds similar to the central flanges. These windows slightly protrude from the façade but not to the same extent as the central feature (Figure 3, *General View of Property, Primary [Southern] Façade, 6435 Wilshire Boulevard*).



Figure 3. General View of Property, Primary (Southern) Façade, 6435 Wilshire Boulevard
SOURCE: *Sapphos Environmental, Inc., 2019*

The property's primary entrance is defined by a protruding, flat eave that spans the length of the façade and provides shelter. A partially destroyed electric sign is situated above the eave. The first floor of the building is defined by its brick veneer, entrance, and a long row of floor-to-ceiling windows (Figure 4, *Detail of Primary [Southern] Façade, 6435 Wilshire Boulevard*; Figure 5, *Details of Primary [Southern] Façade, 6435 Wilshire Boulevard*).



Figure 4. Detail of Primary (Southern) Façade, 6435 Wilshire Boulevard
SOURCE: Sapphos Environmental, Inc., 2019



Figure 5. Details of Primary (Southern) Façade, 6435 Wilshire Boulevard
SOURCE: Sapphos Environmental, Inc., 2019

The recessed entrance features rectangular panels of glass with steel surrounds and two aluminum storefront doors. The repeating geometries of these windows allow light to enter the otherwise shaded interior. Two emergency lights are centered over the door on the stucco roof, the walls are clad in brick veneer, and the floor is tiled (Figure 6, *Entrance, Primary [Southern] Façade, 6435 Wilshire Boulevard*).



Figure 6. Entrance, Primary (Southern) Façade, 6435 Wilshire Boulevard
SOURCE: *Sapphos Environmental, Inc., 2019*

A ribbon of rectangular fixed-pane windows with steel frames expand into geometric transom windows that taper to triangular ends. Concrete pillars clad in brick veneer frame this central feature (Figure 7, *Windows, Primary [Southern] Façade, 6435 Wilshire Boulevard*).



Figure 7. Windows, Primary (Southern) Façade, 6435 Wilshire Boulevard
SOURCE: *Sapphos Environmental, Inc., 2019*

Western Façade

The western façade of the building features stucco panels, which gives the exterior the appearance of block construction and provides a repeating geometry (Figure 8, *Western Façade, 6435 Wilshire Boulevard*; Figure 9, *General View, Western Façade, 6435 Wilshire Boulevard*).



Figure 8. Western Façade, 6435 Wilshire Boulevard
SOURCE: *Sapphos Environmental, Inc., 2019*



Figure 9. General View, Western Façade, 6435 Wilshire Boulevard
SOURCE: *Sapphos Environmental, Inc., 2019*

Northern Façade

The northern façade of the property is not visible from public right-of-way and faces onto a single-family residence. However, this façade generally features similar materials and design as the eastern and western façades of the building.

Eastern Façade

The eastern façade of the building also features the stucco panels evident on the primary and western façades. A modern sign is situated on this façade. A belt course separating the first and second floors where the sign ends on the cornering southern façade wraps around this façade. Additional parking is located along the eastern façade (Figure 10, *Eastern Façade, 6435 Wilshire Boulevard*; Figure 11, *General View, Eastern Façade, 6435 Wilshire Boulevard*).



Figure 10. Eastern Façade, 6435 Wilshire Boulevard
SOURCE: *Sapphos Environmental, Inc., 2019*



Figure 11. General View, Eastern Façade, 6435 Wilshire Boulevard
 SOURCE: Sapphos Environmental, Inc., 2019

Setting

The surrounding area is mostly comprised of commercial buildings dating from the 1940s through 1960s. These buildings are typically larger in scale than the subject property, often 10–20 stories in height. Wilshire Boulevard is a busy thoroughfare with wide streets and uniform building setbacks (Figure 12, *Setting, Wilshire Boulevard*).



Figure 12. Setting, Wilshire Boulevard
 SOURCE: Sapphos Environmental, Inc., 2019

7.1 6435 WILSHIRE BOULEVARD

Construction History

In 1950, construction of the building commenced. The building permit identifies Leo Callahan as the architect and A.D. Callahan as the contractor of the building and rear garage.¹³ The building was constructed with concrete and featured brick on the exterior. Interior alterations to the fourth floor partitioning were completed by Edward Fickett in 1951 and 1952.^{14,15} A canopy roof was added in 1951.¹⁶ Partitions were completed for the five floors between 1953 and 1962.^{17,18,19,20,21} Total remodeling of the building's interior was completed in 1977.^{22,23,24} Additional remodeling occurred for the interior in 1978, 1980, 1984, 1986, 1987, 1989, 1992, 1993, 1994, 1997, and 1999.^{25,26,27,28,29,30,31,32,33,34,35,36,37,38}

¹³ City of Los Angeles. Issued 13 September 1950. Building Permit No. 24054.

¹⁴ City of Los Angeles. Issued 13 June 1951. Building Permit No. 14091.

¹⁵ City of Los Angeles. Issued 29 September 1952. Building Permit No. 42870.

¹⁶ City of Los Angeles. Issued 29 November 1951. Building Permit No. 20136.

¹⁷ City of Los Angeles. Issued 7 July 1953. Building Permit No. 63995.

¹⁸ City of Los Angeles. Issued 18 May 1955. Building Permit No. 15834.

¹⁹ City of Los Angeles. Issued 20 August 1956. Building Permit No. 51016.

²⁰ City of Los Angeles. Issued 14 May 1957. Building Permit No. 71475.

²¹ City of Los Angeles. Issued 6 July 1959. Building Permit No. 36602; City of Los Angeles. Issued 23 February 1962. Building Permit No. 03606.

²² City of Los Angeles. Issued 30 March 1977. Building Permit No. 42098; City of Los Angeles. Issued 14 April 1977. Building Permit No. 43057.

²³ City of Los Angeles. Issued 15 April 1977. Building Permit No. 43521; City of Los Angeles. Issued 22 April 1977. Building Permit No. 43521.

²⁴ City of Los Angeles. Issued 14 July 1977. Building Permit No. 48113; City of Los Angeles. Issued 14 October 1977. Building Permit No. 53129.

²⁵ City of Los Angeles. Issued 24 February 1987. Building Permit No. 59075.

²⁶ City of Los Angeles. Issued 16 May 1980. Building Permit No. 03433.

²⁷ City of Los Angeles. Issued 1 June 1984. Building Permit No. 89344.

²⁸ City of Los Angeles. Issued 13 December 1984. Building Permit No. 02475.

²⁹ City of Los Angeles. Issued 14 May 1986. Building Permit No. 36903.

³⁰ City of Los Angeles. Issued 20 January 1987. Building Permit No. 55308.

³¹ City of Los Angeles. Issued 29 September 1987. Building Permit No. 77027.

³² City of Los Angeles. Issued 30 October 1989. Building Permit No. 85661.

³³ City of Los Angeles. Issued 17 April 1992. Building Permit No. 90170.

³⁴ City of Los Angeles. Issued 4 August 1992. Building Permit No. 94640.

³⁵ City of Los Angeles. Issued 12 August 1993. Building Permit No 08687.

³⁶ City of Los Angeles. Issued 20 June 1994. Building Permit No. 29386.

³⁷ City of Los Angeles. Issued 21 March 1997. Building Permit No. 97016-10000-02195.

³⁸ City of Los Angeles. Issued 22 October 1999. Building Permit No. 99016-40000-20006.

The building was owned, designed, and constructed by Callahan Construction Co. Built with reinforced concrete construction with a stucco exterior and partial brick veneer, the building was occupied by divisions of General Motors including General Motors Acceptance Corp., Motor Insurance Corp., and Pontiac Motors division. The below sketch of the proposed building was included in an announcement of the building's construction in 1950 (Figure 13, *Sketch of Proposed Building*).³⁹

No information was available on Leo or A.D. Callahan or on Callahan Construction Co. The building therefore was not designed or constructed by a master architect or builder. Although master architects Edward Fickett and Culver Heaton completed alterations to the building, alterations were relatively minor and included altering partitioning in the building. These jobs were interior and dramatically altered by subsequent changes in the subsequent four decades of major renovation.



Figure 13. Sketch of Proposed Building
SOURCE: *Los Angeles Times*, September 3, 1950

In 1951, Charles W. Gunter and his real estate office relocated to the fifth floor of the building, dubbed the "General Motors Building," by the *Los Angeles Times*.⁴⁰

In 1970, the building was sold by A.D. Callahan to advertising agency Doyle Dane Bernbach Inc. (DDB) The building was described as having "approximately 4,500 square feet of gross office space and parking for 50 cars. It was opened in the mid-1950s."⁴¹ In 1973, the building was for sale and

³⁹ "Wilshire Blvd. Building Set." 3 September 1950. *Los Angeles Times*.

⁴⁰ "Wilshire Realtor Now in Larger Offices." 30 September 1951. *Los Angeles Times*.

⁴¹ "Ad Agency Acquires Wilshire Structure." 22 March 1970. *Los Angeles Times*.

was designed as a “Prestige Office Building... 5 stories.”⁴² The building does not make any additional significant appearances in newspapers after this date and did not win any awards for architectural style or design.

The building’s footprint was not included in the 1951 Sanborn Fire Insurance Map; instead, the empty lots that lined Wilshire Boulevard at that time are evidenced (Figure 14, *Wilshire Boulevard, Sanborn Fire Insurance Map*).

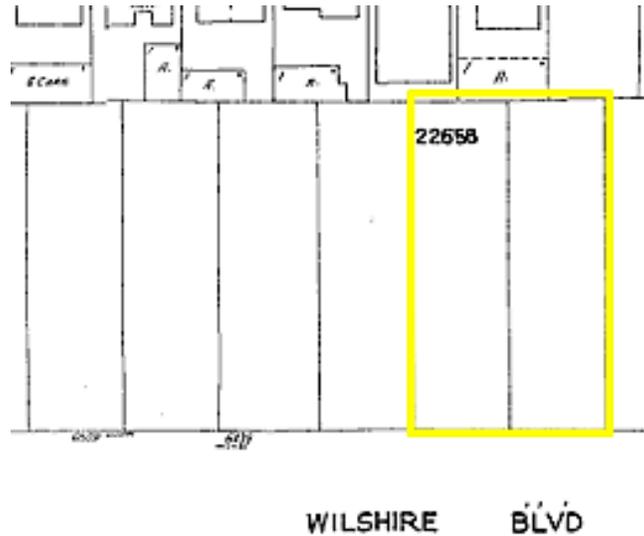


Figure 14. Wilshire Boulevard, Sanborn Fire Insurance Map
SOURCE: *Sanborn Fire Insurance Maps, 1951*⁴³

Although the original footprint was not recorded, no additions or alterations are apparent on the building; therefore, it appears that the current footprint of the primary residence is the same as the time of its construction (Figure 15, *Current Footprint, 6435 Wilshire Boulevard*).

⁴² “Prestige Office Building.” 7 January 1973. *Los Angeles Times*.

⁴³ Sanborn Fire Insurance Maps. Los Angeles. 1906–1951. Volume 22, Sheet 2240.



Figure 15. Current Footprint, 6435 Wilshire Boulevard

SOURCE: Los Angeles County Assessor, Property Assessment Information System, April 18, 2019

Ownership/Occupant History

Based upon a review of the Los Angeles County Assessor’s parcel data, the property changed ownership several times between 1930 and 2019 (Table 1, Assessor Data, APNs 5510-023-050 and 5510-023-051).

**TABLE 1
ASSESSOR DATA, APNs 5510-023-050 AND 5510-023-051**

Map Book No.	Page No.	Date	Owners
680	4	1946–1950	Forest W. Monroe
680	4	1951–1955	Forest W. Monroe A. D. Callahan
1597	4	1956	Aaron D. Callahan
5510	29	1961	Aaron D. Callahan Doyle D. Bernbach
N/A	N/A	1978	Allianz Ins. Co.
N/A	N/A	1995	Los Angeles Ort Murran D. Fischer
N/A	N/A	2019	Be Bh Adj. LLC c/o Zachary Zalben

Key: * denotes information obtained from the Los Angeles County Assessor’s public counter.

Aaron D. Callahan was the owner of the property as well as serving as its contractor. Aaron Callahan was born in Kentucky circa 1900 and was married to Helen Callahan. In 1930, he listed his

occupation as a contractor in the building industry.⁴⁴ As mentioned above, no information was available regarding Callahan Construction Co.

Doyle D. Bernbach owned DDB, an advertising company that purchased the subject building in 1970 and owned it until the mid- to late-1970s."⁴⁵

No information was available on Forest W. Monroe, Los Angeles Ort Murran D. Fischer, or Allianz Ins. Co. The current owner of the property is Be Bh Adj. LLC.

Use History

The building located at 6435 Wilshire Boulevard was constructed as an office and commercial building; the building is currently used for private education purposes.

⁴⁴ Ancestry.com. Year: 1930; Census Place: Los Angeles, Los Angeles, California; Page: 27A; Enumeration District: 0114; FHL microfilm: 2339871.

⁴⁵ "Ad Agency Acquires Wilshire Structure." 22 March 1970. *Los Angeles Times*.

SECTION 8.0

HISTORIC CONTEXT

The property was evaluated using the Citywide Historic Context Statement developed for SurveyLA. Although the building was constructed for the automobile service industry, it does not qualify as a building type under the theme's four sub-themes (the car and car services; motels; commercial drive-in/drive-thru; or programmatic/mimetic).

The City of Los Angeles' L.A. Modernism Historic Context Statement, which includes Late Moderne, 1936–1960, is not available for review. For this reason, the above architectural context regarding Late Moderne style was completed for consideration.^{46,47}

5.2 LATE MODERNE

The Late Modern style of architecture is a combination of the Streamline Moderne and International styles. The Late Moderne style is evidence in the City from the 1930s through 1960. Bullocks Pasadena (Wurdeman and Becket, 1947) and Millirons in Westchester (Victor Gruen Associates, 1949) are often recognized as hallmarks of the style. These automobile-centric department stores followed customers into the suburbs; other department stores in the style sprouted along major boulevards such as Wilshire's Miracle Mile.

Character-defining Features:

- Horizontal emphasis
- Concrete construction
- Exposed concrete or stucco cladding
- Flat rooflines
- Horizontal bands of bezeled windows, often with aluminum fin sunshades
- Operable steel-sash windows (casement, awning, hopper)
- Projecting window frames

Additionally, to better evaluate the property's potential significance as an example of Late Moderne-style architecture, other similarly styled buildings in the area were brought forth for comparison.

In the City of Los Angeles, excellent examples of Late Moderne-style architecture are extant. In the Hollywood CPA survey, notable examples of the style are identified as the fire station at 1601 N. Hillhurst Avenue and the hospital at 1510 N. Edgemont Street (Figure 16, *View of 1510 N. Edgemont Street*). In Burbank, another municipal building in this style is extant. The Burbank Water and Power Building located at 164 W. Magnolia Boulevard was designed by architect Daniel Elliott in 1949.

⁴⁶ City of Pasadena. 2007. *Cultural Resources of the Recent Past Historic Context Report*. Prepared by: Historic Resources Group, Inc, and Pasadena Heritage, Pasadena, CA. Available at: https://www.laconservancy.org/sites/default/files/community_documents/Recent%20Past%20context%20statement%20C%202007.pdf

⁴⁷ "1940–1950: The Modern Commercial City in War and Peace." Los Angeles Conservancy. Available at: <https://www.laconservancy.org/explore-la/curating-city/modern-architecture-la/history-la-modernism/1940-1950-modern-commercial>

Several commercial and office buildings in the style are also extant and serve as better examples of Late Moderne architecture. In downtown Los Angeles, the Gerry Building at 910 S. Los Angeles Street was built by Maurice Fleischman and served as a garment factory and fashion showroom since 1947. The Paul R. Williams-designed Golden State Mutual Life Insurance Building at 1999 W. Adams Boulevard served as an office building from 1949 to 2009.



Figure 16. View of 1510 N. Edgemont Street
SOURCE: HRG, SurveyLA, 2015

Within the Wilshire CPA survey, a number of other Late Moderne-style commercial buildings were found also eligible, including a property at 453 S. La Brea. Additionally, within less than a mile of the subject property is an excellent example of the style at 5828 Wilshire Boulevard which shares many characteristics with the subject property yet reflects a heightened architectural style. This Stiles O. Clements-designed Arthur Murray Dance Studio, which was completed in 1941 reflects an exemplary specimen of the Late Moderne variety (Figure 17, *View of 5828 Wilshire Boulevard*).



Figure 17. View of 5828 Wilshire Boulevard
SOURCE: Google Earth, 2019

SECTION 9.0 EVALUATION OF ELIGIBILITY

9.1 NATIONAL REGISTER OF HISTORIC PLACES

National Register Criterion A

Based upon a review of the Late Moderne style of architecture, previous ownership records, and the construction history of the building, the property is not associated with a significant period of growth and is not individually significant in the early development of the City. The property was developed as part of a commercial tract in the 1950s, and the property was initially developed circa 1950. The property retains integrity; however, the property is not significant in the commercial development of the City for these reasons. Therefore, 6435 Wilshire Boulevard is ineligible for listing in the National Register under Criterion A.

National Register Criterion B

No information was found to suggest that any of the previous owners or tenants were historic personages, or that any other individuals of historical significance were associated with the property. Therefore, the subject property is ineligible for listing in the National Register under Criterion B.

National Register Criterion C

The subject property is not an exemplary example of a Late Moderne-style building. Although representative of this style, other better examples of this style of architecture are evident across the City, including within a mile of the subject property. The property was not designed by a significant architect or builder. Although the property retains its character-defining features, they do not reflect a high level of craftsmanship or design. The property retains integrity; however, the property is not significant. Therefore, the subject property is ineligible for listing in the National Register under Criterion C.

National Register Criterion D

Criterion D was not considered in this report as it generally applies to archaeological resources. Additionally, there is no reason to believe the property has the potential to yield important information regarding prehistory or history.

9.2 CALIFORNIA REGISTER OF HISTORICAL RESOURCES

The California Register eligibility criteria mirror those of the National Register. Therefore, the subject property is not eligible for listing in the California Register for the same reasons outlined above.

9.3 CITY OF LOS ANGELES HISTORIC-CULTURAL MONUMENTS

Similarly, the HCM criteria are similar to the National Register and California Register criteria. Therefore, the subject property is not eligible for designation as an HCM for the same reasons outlined above. However, although the property is not eligible individually, it was also evaluated as a possible contributor to a potential historic district.

9.4 HPOZ

The subject property is not located within or immediately adjacent to an existing or potential HPOZ. The surrounding area is highly developed with buildings dating from the 1950s through 1980s. These buildings are commercial or institutional in nature. They are surrounded to the north and south by single- and multi-family residences constructed in the 1920s and 1930s. The surrounding buildings and structures do not evidence a cohesive development pattern or series of architectural styles. Therefore, the property is not a contributor to a potential or existing HPOZ.

9.5 RECOMMENDATIONS

Based upon research and analysis, the property located at 6435 Wilshire Boulevard does not appear to be individually eligible for listing in the National Register, California Register, or for designation as an HCM. Moreover, the property is not a contributor to a potential HPOZ. Therefore, the property is not a historical resource pursuant to Section 15064.5(a) of the CEQA Guidelines. Therefore, the proposed project would not result in a substantial adverse change to historical resources pursuant to Section 15064.5(b) of the CEQA Guidelines.

SECTION 10.0 SOURCES

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“Wilshire Blvd. Building Set.” 3 September 1950. *Los Angeles Times*.

“Wilshire Realtor Now in Larger Offices.” 30 September 1951. *Los Angeles Times*.

***ATTACHMENT A
RESUMES OF KEY PERSONNEL***

Alexandra I. Madsen, MA, BA

Senior Architectural Historian

MA, Art History, University of Texas at Austin, Austin, TX

BA (Magna Cum Laude), History, Saint Anselm College, Manchester, NH

- Cultural resources management and legal compliance
- Identification and evaluation of the built environment
- Archival documentation
- Historic preservation consultation
- Secretary of the Interior's Standards for the Treatment of Historic Properties
- CEQA cultural resources analysis
- Section 106

Years of Experience: 7+

Relevant Experience

- Los Angeles County Department of Parks and Recreation 523 Series Forms
- Los Angeles Unified School District Design Review Reports
- Design Review
- Mills Act Tax Abatement Program
- Historic American Buildings Survey Report and Pamphlet, Bakersfield, CA
- Board Member, Highland Park Heritage Trust

Ms. Alexandra Madsen, Senior Architectural Historian for Sapphos Environmental, Inc., has over six years of experience in the field of cultural resource management. Ms. Madsen has a Master's Degree in Art History from the University of Texas at Austin, where she focused on built environments, and a Bachelor's Degree in History from Saint Anselm College. She meets and exceeds the Secretary of the Interior's *Professional Qualification Standards* in History and Architectural History.

Ms. Madsen is experienced with Section 106 of the National Historic Preservation Act, California Environmental Quality Act (CEQA) compliance, and the Secretary of the Interior's *Standards for the Treatment of Historic Properties (Standards)*. She has extensive experience in archival research and field surveys, completing cultural resources reports, and in evaluating properties under federal, State, and local criteria. She has worked on historic projects located in Los Angeles, Orange, and Kern Counties in Southern California.

Ms. Madsen has served as the project manager for numerous historic resource assessments within Los Angeles County for CEQA compliance. She completed evaluations for properties located in Glendale, Huntington Beach, Los Angeles, Long Beach, Monrovia, Orange, Sierra Madre, South Pasadena, Tustin, and West Hollywood among others.

In addition to these assessments, Ms. Madsen considered over 20 Los Angeles County Parks and Golf Courses for inclusion in federal, State, and local registers. These evaluations were documented with Department of Parks and Recreation (DPR) 523 series forms and informed by site visits, historic context statements, and substantial archival research. She also has extensive survey experience, and completed a Historical Resources Evaluation Report (HRER) and Historic Property Survey Report (HPSR) for the California Department of Transportation (Caltrans) in support of the SR 55 improvement project in Orange County.

Moreover, Ms. Madsen evaluated several educational institutions for the Los Angeles Unified School District (LAUSD), including Canfield Avenue Elementary School, Canoga Park High School, and Locke High School, consistent with the requirements of CEQA. These reports documented the construction of the school campuses, their early history, and notable events, people, or architectural styles encompassed on the campuses.

Ms. Madsen has reviewed the design of proposed construction, alterations, and additions to ensure compliance with the *Standards* for residential, commercial, and municipal properties. Properties assessed for compliance include a proposed podium-style building on Melrose Avenue in Los Angeles, alterations to a Mid-Century Modern clubhouse at the Los Verdes Golf Course, and an addition to a private residence in Sierra Madre, among others.

Ms. Madsen completed Historic American Buildings Survey (HABS) documentation in support of the 24th Street Widening Project in the City of Bakersfield, consistent with the requirements of Section 106. For this project, she authored a Historic Context Statement exploring the history of Bakersfield and a pamphlet illustrating the subject historic district's character.

Ms. Madsen is a member of the National Trust for Historic Preservation, California Preservation Foundation, L.A. Conservancy, and Pasadena Heritage. She is a board member of the Highland Park Heritage Trust.

Carrie E. Chasteen, MS

Historic Resources Manager

Master of Science, (Historic Preservation), School of the Art Institute of Chicago, Chicago, Illinois

Bachelor of Arts (History and Political Science), University of South Florida, Tampa, Florida

- Cultural resource management and legal compliance
- History of California
- Architectural History
- Cultural History
- Identification and evaluation of the built environment
- Archival documentation
- Historic preservation consultation
- Certified Oregon Transportation Investment Act (OTIA) III CS3 Technical Lead
- Historic Preservation Commissioner, City of Pasadena
- Phi Alpha Theta National Honor Society

Years of Experience: 17+

Relevant Experience:

- *Historic Evaluation for 54 Parks, Golf Course, and Arboreta Project*
- *Historic Evaluation and Design Review for Fries Avenue Elementary School*
- *Los Angeles Union Station Forecourt and Esplanade Project*
- *Los Angeles Music Center*

Ms. Carrie Chasteen has more than 16 years of experience in the field of cultural resources management and the built environment, including project management, agency coordination, archival research, managing large surveys, preparation of Environmental Impact Statement/ Environmental Impact Report (EIS/EIR) sections, Mitigated Negative Declaration (MND) and Initial Study (IS) sections, peer review, and regulatory compliance. She has served as Principal Investigator / Principal Architectural Historian on projects throughout Los Angeles County. Ms. Chasteen meets and exceeds the Secretary of the Interior's *Professional Qualification Standards* in the fields of History and Architectural History. She has extensive experience with the City of Los Angeles Office of Historic Resources (OHR), California Office of Historic Preservation, California Department of Transportation (Caltrans), County of Los Angeles Department of Parks and Recreation, and various other state, county, and local government agencies.

On behalf of the County of Los Angeles (County) Department of Parks and Recreation, Ms. Chasteen is managing the documentation and evaluation of 54 parks, golf courses, and arboreta. The historic evaluations assess County facilities that were identified as priorities due to the age of the facility, architect of record, or affiliation with event of importance to the history of development of Los Angeles County. The historic evaluations consider eligibility for listing on the National Register of Historic Places, the California Register of Historical Resources, the standards provided in CEQA, and the County Register of Landmarks and Historic Districts. The results documented in the historic evaluations were used by the County to address future projects in the facilities, alter plans as needed, and to inform a Cultural Resources Treatment Plan (CRTP) and Worker Environmental Awareness Program (WEAP) training.

On behalf of the Los Angeles Unified School District (LAUSD), Ms. Chasteen prepared a historical evaluation of the Fries Avenue Elementary School. The evaluation tiered off the historic context and registration criteria developed for the award-winning LAUSD Historic Context Statement, 1870 to 1969. The property was determined to be a historical resource pursuant to CEQA. As a result, Ms. Chasteen also reviewed the design of the proposed campus revisions to determine if the proposed project complied with the Secretary of the Interior's *Standards for the Treatment of Historic Properties*.

On behalf of the County of Los Angeles, Ms. Chasteen reviewed plans for the proposed renovation of the plaza at the Los Angeles Music Center. Design refinements were suggested and implemented in order to reduce impacts to the plaza and its character-defining features.

Ms. Chasteen is a member of the Society of Architectural Historians, National Trust, California Preservation Foundation, Los Angeles Conservancy, Pasadena Heritage, and currently serves as a City of Pasadena Historic Preservation Commissioner.

ATTACHMENT B
DPR 523 SERIES FORMS

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code: 6Z

Other Listings
Review Code

Reviewer

Date

Page 1 of 10

*Resource Name or # (Assigned by recorder): 6435 Wilshire Boulevard

P1. Other Identifier: None

*P2. Location: Not for Publication Unrestricted

*a. County: Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Hollywood Date: 1991 T1S; R13W; ___ of ___ of Sec 7; ___ B.M.

c. Address: 6435 Wilshire Boulevard City: Los Angeles Zip: 90048

d. UTM (Give more than one for large and/or linear resources) Zone: ___, ___ mE/ ___ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): APNs 5510-023-050 and 5510-023-051

*P3a. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries):

The subject property located at 6435 Wilshire Boulevard is situated on the north side of the street near its intersection with San Vicente Boulevard. The 5-story commercial building has a standard setback from the street, rectangular footprint, and flat roof with a rectangular projection. Its primary façade is clad in stucco and brick and is partially obscured by three ficus trees at its southeastern corner. A detached parking structure is accessible to the west of the building. (See Continuation Sheet page 4)

*P3b. Resource Attributes (List attributes and codes): HP7 3+ story commercial building

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo (view, date, accession #): Facing northeast; April 17, 2019; 6.jpg

*P6. Date Constructed/Age and Source:
 Historic Prehistoric Both

*P7. Owner and Address:
N/A

*P8. Recorded by (Name, affiliation, and address): Alexandra Madsen
Sapphos Environmental, Inc.
430 N. Halstead Street
Pasadena, CA 91107

*P9. Date Recorded: April 26, 2019

*P10. Survey Type (Describe): Intensive

*P11. Report Citation (Cite survey report and

other sources, or enter "none"): Sapphos Environmental, Inc. 2018. Historic Resource Assessment Report for 6435 Wilshire Boulevard, Los Angeles, California, 90048.

Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or # (Assigned by recorder): 6435 Wilshire Boulevard
Page 2 of 10

*NRHP Status Code: 6Z

B1. Historic Name: 6435 Wilshire Boulevard
B2. Common Name: 6435 Wilshire Boulevard
B3. Original Use: Office

B4. Present Use: Educational Facility

*B5. Architectural Style: Late Moderne

*B6. Construction History: (Construction date, alterations, and date of alterations)

In 1950, construction of the building commenced. The building permit identifies Leo Callahan as the architect and A.D. Callahan as the contractor of the building and rear garage. The building was constructed with concrete and featured brick on the exterior. Interior alterations to the fourth-floor partitioning were completed by Edward Fickett in 1951 and 1952. A canopy roof was added in 1951. Partitions were completed for the five floors between 1953 and 1962. Total remodeling of the building's interior was completed in 1977. Additional remodeling occurred for the interior in 1978, 1980, 1984, 1986, 1987, 1989, 1992, 1993, 1994, 1997, and 1999. The building was owned, designed, and constructed by Callahan Construction Co. Built with reinforced concrete construction with a stucco exterior and partial brick veneer, the building was occupied by divisions of General Motors including General Motors Acceptance Corp., Motor Insurance Corp., and Pontiac Motors division. (See Continuation Sheet page 8)

*B7. Moved? No Yes Unknown Date: N/A

Original Location: N/A

*B8. Related Features: N/A

B9a. Architect: Leo Callahan

b. Builder: A.D. Callahan

*B10. Significance: Theme: Commercial Architecture

Area: Los Angeles

Period of Significance: 1950

Property Type: Commercial Applicable Criteria: N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

National Register Criterion A

Based upon a review of the Late Moderne style of architecture, previous ownership records, and the construction history of the building, the property is not associated with a significant period of growth and is not individually significant in the early development of the City. The property was developed as part of a commercial tract in the 1950s, and the property was initially developed circa 1950. The property retains integrity; however, the property is not significant in the commercial development of the City for these reasons. Therefore, 6435 Wilshire Boulevard is ineligible for listing in the National Register under Criterion A.

(See Continuation Sheet page 8)

B11. Additional Resource Attributes (List attributes and codes): N/A

*B12. References: See Continuation Sheet page 9.

*B13. Remarks: N/A

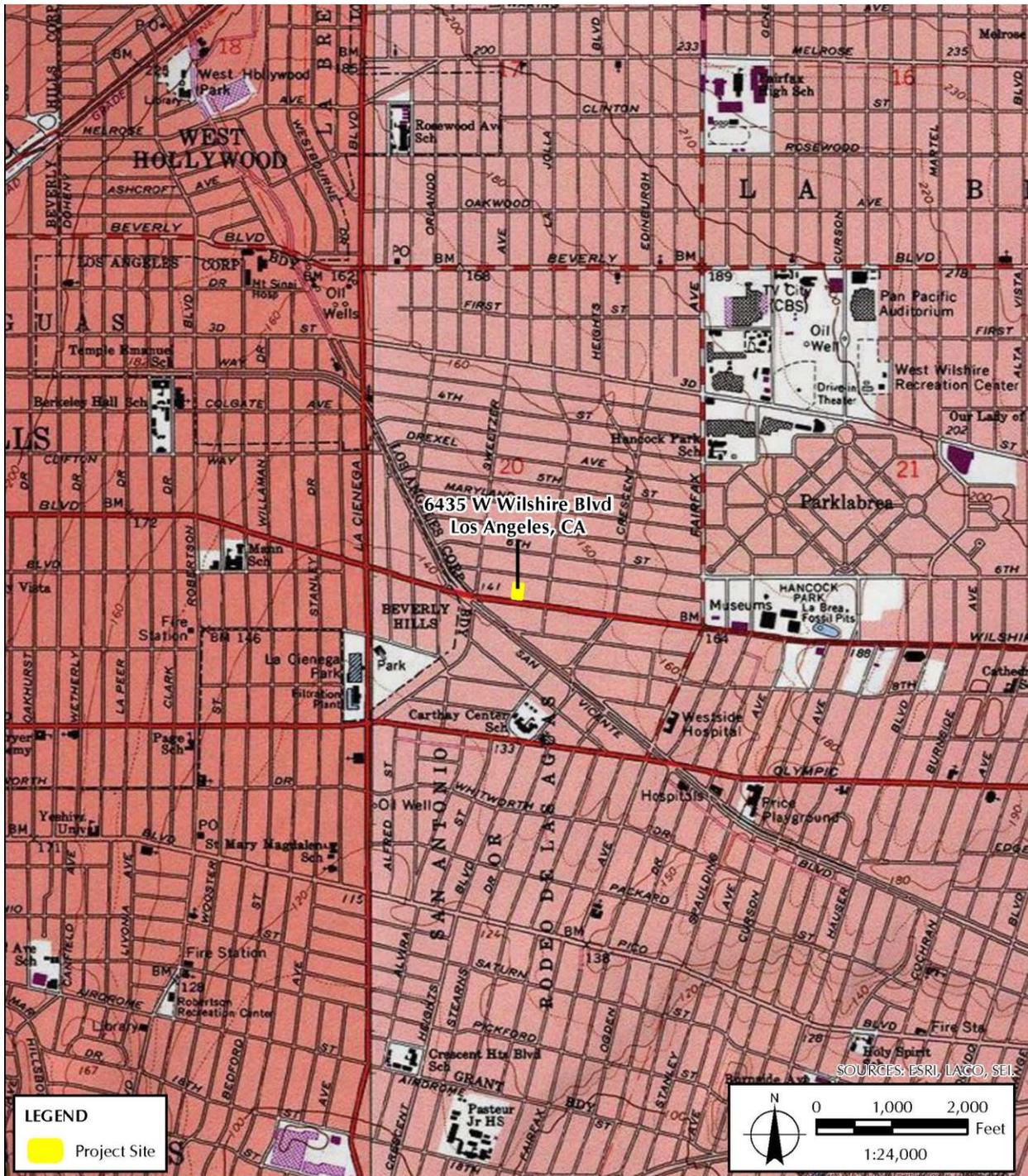
*B14. Evaluator:

Alexandra Madsen
Sapphos Environmental, Inc.
430 N. Halstead Street
Pasadena, CA 91107

*Date of Evaluation: April 26, 2019

(This space reserved for official comments.)





*P3a. Description: (Continued from Primary Record page 1)

Primary (Southern) Façade

The building's primary, southern façade is defined by its fenestration and bezeled windows. Fenestration is comprised of five vertical rows of six aluminum windows that denote each story of the building. This horizontal grouping of windows is outlined and demarcated by large horizontal and vertical protruding, bezel-like flanges. These flanges are a pale-yellow color that contrasts sharply with the windows and brick veneer.

To either side of this central feature are four thin aluminum windows with protruding stucco surrounds similar to the central flanges. These windows slightly protrude from the façade but not to the same extent as the central feature. The property's primary entrance is defined by a protruding, flat eave that spans the length of the façade and provides shelter. A partially destroyed electric sign is situated above the eave. The first floor of the building is defined by its brick veneer, entrance, and a long row of floor-to-ceiling windows.



Primary Façade, 6435 Wilshire Boulevard

The recessed entrance features rectangular panels of glass with steel surrounds and two aluminum storefront doors. The repeating geometries of these windows allow light to enter the otherwise shaded interior. Two emergency lights are centered over the door on the stucco roof, the walls are clad in brick veneer, and the floor is tiled. A ribbon of rectangular fixed-pane windows with steel frames expand into geometric transom windows that taper to triangular ends. Concrete pillars clad in brick veneer frame this central feature.

(See Continuation Sheet page 5)

*P3a. Description: (Continued from Continuation Sheet page 4)



Detail of Primary Façade, 6435 Wilshire Boulevard

Western Façade

The western façade of the building features stucco panels, which gives the exterior the appearance of block construction and provides a repeating geometry.



Western Façade, 6435 Wilshire Boulevard

(See Continuation Sheet page 6)

*P3a. Description: (Continued from Continuation Sheet page 5)

Northern Façade

The northern façade of the property is not visible from public right-of-way and faces onto a single-family residence. However, this façade generally features similar materials and design as the eastern and western façades of the building.

Eastern Façade

The eastern façade of the building also features the stucco panels evident on the primary and western façades. A modern sign is situated on this façade. A belt course separating the first and second floors where the sign ends on the cornering southern façade wraps around this façade. Additional parking is located along the eastern façade.



Eastern Façade, 6435 Wilshire Boulevard

(See Continuation Sheet page 7)

*P3a. Description: (Continued from Continuation Sheet page 6)



General View, Eastern Façade, 6435 Wilshire Boulevard

Setting

The surrounding area is mostly comprised of commercial buildings dating from the 1940s through 1960s. These buildings are typically larger in scale than the subject property, often 10-20 stories in height. Wilshire Boulevard is a busy thoroughfare with wide streets and uniform building setbacks.



Setting, Wilshire Boulevard

***B6. Construction History:** (Continued from Building, Structure, and Object Record page 2)

No information was available on Leo or A.D. Callahan or on Callahan Construction Co. The building therefore was not designed or constructed by a master architect or builder. Although master architects Edward Fickett and Culver Heaton completed alterations to the building, alterations were relatively minor and included altering partitioning in the building. These jobs were interior and dramatically altered by subsequent changes in the subsequent four decades of major renovation.

***B10. Significance:** (Continued from Building, Structure, and Object Record page 2)

National Register of Historic Places

National Register Criterion A

Based upon a review of the Late Moderne style of architecture, previous ownership records, and the construction history of the building, the property is not associated with a significant period of growth and is not individually significant in the early development of the City. The property was developed as part of a commercial tract in the 1950s, and the property was initially developed circa 1950. The property retains integrity; however, the property is not significant in the commercial development of the City for these reasons. Therefore, 6435 Wilshire Boulevard is ineligible for listing in the National Register under Criterion A.

National Register Criterion B

No information was found to suggest that any of the previous owners or tenants were historic personages, or that any other individuals of historical significance were associated with the property. Therefore, the subject property is ineligible for listing in the National Register under Criterion B.

National Register Criterion C

The subject property is not an exemplary example of a Late Moderne-style building. Although representative of this style, other better examples of this style of architecture are evident across the City, including within a mile of the subject property. The property was not designed by a significant architect or builder. Although the property retains its character-defining features, they do not reflect a high level of craftsmanship or design. The property retains integrity; however, the property is not significant. Therefore, the subject property is ineligible for listing in the National Register under Criterion C.

National Register Criterion D

Criterion D was not considered in this report as it generally applies to archaeological resources. Additionally, there is no reason to believe the property has the potential to yield important information regarding prehistory or history.

CALIFORNIA REGISTER OF HISTORICAL RESOURCES

The California Register eligibility criteria mirror those of the National Register. Therefore, the subject property is not eligible for listing in the California Register for the same reasons outlined above.

CITY OF LOS ANGELES HISTORIC-CULTURAL MONUMENTS

Similarly, the HCM criteria are similar to the National Register and California Register criteria. Therefore, the subject property is not eligible for designation as an HCM for the same reasons outlined above. However, although the property is not eligible individually, it was also evaluated as a possible contributor to a potential historic district.

(See Continuation Sheet page 9)

*B10. Significance: (Continued from Continuation Sheet page 8)

HPOZ

The subject property is not located within or immediately adjacent to an existing or potential HPOZ. The surrounding area is highly developed with buildings dating from the 1950s through 1980s. These buildings are commercial or institutional in nature. They are surrounded to the north and south by single- and multi-family residences constructed in the 1920s and 1930s. The surrounding buildings and structures do not evidence a cohesive development pattern or series of architectural styles. Therefore, the property is not a contributor to a potential or existing HPOZ.

*B12. References: (Continued from Building, Structure, and Object Record page 2)

"Ad Agency Acquires Wilshire Structure." 22 March 1970. *Los Angeles Times*.

Ancestry.com. Year: 1930; Census Place: Los Angeles, Los Angeles, California; Page: 27A; Enumeration District: 0114; FHL microfilm: 2339871.

California Office of Historic Preservation. 1999. *California State Law and Historic Preservation*, 4853 (c), p. 66.

City of Los Angeles. 2018. Ordinance No. 185472, Section 22.171.7. Available at: <https://preservation.lacity.org/sites/default/files/Cultural%20Heritage%20Ordinance%2C%20Revised%202018.pdf>

City of Los Angeles Department of City Planning, Office of Historic Resources. January 2015. *Historic Resources Survey Report-Wilshire Community Plan Area*. Prepared by: Architectural Resources Group, Inc., Pasadena, CA. Available at: http://preservation.lacity.org/sites/default/files/ARG%20FINAL%20Wilshire%20Report_HPLAEdit.pdf

City of Los Angeles. Issued 13 September 1950. Building Permit No. 24054.

City of Los Angeles. Issued 13 June 1951. Building Permit No. 14091.

City of Los Angeles. Issued 29 September 1952. Building Permit No. 42870.

City of Los Angeles. Issued 29 November 1951. Building Permit No. 20136.

City of Los Angeles. Issued 7 July 1953. Building Permit No. 63995.

City of Los Angeles. Issued 18 May 1955. Building Permit No. 15834.

City of Los Angeles. Issued 20 August 1956. Building Permit No. 51016.

City of Los Angeles. Issued 14 May 1957. Building Permit No. 71475.

City of Los Angeles. Issued 6 July 1959. Building Permit No. 36602.

City of Los Angeles. Issued 23 February 1962. Building Permit No. 03606.

City of Los Angeles. Issued 30 March 1977. Building Permit No. 42098.

City of Los Angeles. Issued 14 April 1977. Building Permit No. 43057.

City of Los Angeles. Issued 15 April 1977. Building Permit No. 43521.

City of Los Angeles. Issued 22 April 1977. Building Permit No. 43521.

City of Los Angeles. Issued 14 July 1977. Building Permit No. 48113.

City of Los Angeles. Issued 14 October 1977. Building Permit No. 53129.

***B12. References:** (Continued from Continuation Sheet page 9)

City of Los Angeles. Issued 24 February 1987. Building Permit No. 59075.
City of Los Angeles. Issued 16 May 1980. Building Permit No. 03433.
City of Los Angeles. Issued 1 June 1984. Building Permit No. 89344.
City of Los Angeles. Issued 13 December 1984. Building Permit No. 02475.
City of Los Angeles. Issued 14 May 1986. Building Permit No. 36903.
City of Los Angeles. Issued 20 January 1987. Building Permit No. 55308.
City of Los Angeles. Issued 29 September 1987. Building Permit No. 77027.
City of Los Angeles. Issued 30 October 1989. Building Permit No. 85661.
City of Los Angeles. Issued 17 April 1992. Building Permit No. 90170.
City of Los Angeles. Issued 4 August 1992. Building Permit No. 94640.
City of Los Angeles. Issued 12 August 1993. Building Permit No 08687.
City of Los Angeles. Issued 20 June 1994. Building Permit No. 29386.
City of Los Angeles. Issued 21 March 1997. Building Permit No. 97016-10000-02195.
City of Los Angeles. Issued 22 October 1999. Building Permit No. 99016-40000-20006.
"Prestige Office Building." 7 January 1973. *Los Angeles Times*.
Roderick, Kevin and J. Eric Lynxwiler. 1 April 2011. *Wilshire Boulevard: Grand Concourse of Los Angeles*. Los Angeles, CA: Angel City Press. p. 85.
Sanborn Fire Insurance Maps. Los Angeles. 1906-1951. Volume 22, Sheet 2240.
"Wilshire Blvd. Building Set." 3 September 1950. *Los Angeles Times*.
"Wilshire Realtor Now in Larger Offices." 30 September 1951. *Los Angeles Times*.