DEPARTMENT OF CITY PLANNING

COMMISSION OFFICE (213) 978-1300

CITY PLANNING COMMISSION

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March 2, 2023

Los Angeles City Council c/o Office of the City Clerk City Hall, Room 395 Los Angeles, California 90012

Attention: PLUM Committee

Dear Honorable Members:

CALIFORNIA ENVIRONMENTAL QUALITY ACT ("CEQA") APPEAL OF CASE NO. ENV-2021-5597-CE, FOR PROPERTY LOCATED AT 2456-2460 SOUTH PURDUE AVENUE; CF 23-0017

The project proposes the construction of a six-story, 67-foot tall residential building comprised of 27 dwelling units (3 Extremely Low-Income units) with approximately 46,528 square feet in floor area with a Floor Area Ratio ("FAR") of 4.3:1, with 26 residential parking spaces in a subterranean parking level, involving the removal of seven (7) non-protected on-site trees, and involving the grading and export of approximately 6,475 cubic yards of soil.

On July 28, 2022, the Director of Planning approved Case No. DIR-2021-5596-TOC-HCA for a Transit Oriented Communities Affordable Housing Incentive Program Compliance Review for the construction of the Project ("Director's Determination"). The Director determined, under Environmental Case No. ENV-2021-5597-CE that the Project is exempt from the California Environmental Quality Act ("CEQA") pursuant to CEQA Guidelines, Section 15332 (Class 32), and that there is no substantial evidence demonstrating that an exception to a categorical exemption, pursuant to Section 15300.2, applies, and that the Project is within the scope of the Exposition Corridor Transit Neighborhood Plan Program EIR No. ENV-2013-622-EIR, SCH. No. 2013031038 (Program EIR), pursuant to CEQA Guidelines Sections 15168 and 15162.

On August 10, 2022, the Director's Determination was appealed to the City Planning Commission ("CPC") by one aggrieved party (Kathryn Schorr). On November 3, 2022, the City Planning Commission conducted a public hearing to consider the appeal under Case No. DIR-2021-5596-TOC-HCA-1A ("Staff Recommendation Report"). The City Planning Commission denied the appeal with an 8-0 vote. The Letter of Determination of the City Planning Commission was issued on November 29, 2022 ("City Planning Commission Determination").

On December 13, 2022, a CEQA appeal was filed by an aggrieved party (Kathryn Schorr) to the City Council (Case No. ENV-2021-5597-CE-1A, Council File No. 23-0017). Below is a summary of the appeal points with a staff response to each point.

Appeal Point No. 1: A recent Superior Court ruling "Fix the City, Inc. V. City of Los Angeles" found that a Community Plan supersedes city programs which contravenes the decision-maker's determination of the CEQA Exemption. Conflicts between CEQA exemption guidelines and Community Plan requirements should be resolved in favor of a Community Plan. The CEQA exemption as adopted is in conflict with the Palms-Mar-Vista-Del Rey Community Plan and therefore should not be granted.

The Appellant identifies a court case related to a different case that is not applicable to this Project because it considered the applicability of the TOC Guidelines in relation to conflicting provisions in a Specific Plan, neither of which are being argued as relevant to the present appeal. This Project and the details of the applicable requirements and administrative record were not reviewed nor part of the ruling. The Appellant has failed to provide substantial evidence to indicate a conflict between the CEQA review and the Palms - Mar Vista - Del Rey Community Plan. The Palms - Mar Vista - Del Rey Community Plan, one of the Land Use Elements of the General Plan, provides the following:

Policy 1-1.1: Provide adequate multi-family residential development.

Policy 1-2.1: Locate higher residential densities near commercial centers and major bus routes where public service facilities and infrastructure will support this development. Objective 1-4: To promote the adequacy and affordability of multiple-family housing and increase its accessibility to more segments of the population.

The proposed project meets the above policies and objective by providing multi-family dwelling units in a new, safe, and secure building. The proposed project is located on a site designated for Medium Residential Land Uses, which includes multiple-family residential uses, and will be served by facilities and necessary infrastructure. Lastly, the subject site is located within a half-mile (2,640 feet) of the Los Angeles County Metropolitan Transportation Authority ("Metro") "E" (Expo) Light Rail Transit Line Expo/Sepulveda Station and is eligible as a Tier 3 development in the TOC Guidelines, as indicated on the TOC Referral Form dated January 12, 2021. The three affordable units will ensure that the proposed project is accessible to lower-income segments of the population.

In addition, the Exposition Corridor Transit Neighborhood Plan (Specific Plan) established by Ordinance 186,402 and effective December 26, 2019, established review procedures, design standards, and environmental standards for the subject site. The Specific Plan was enacted after and fully considered the Transit Oriented Communities Affordable Housing Incentive Program. As provided in Expo TNP Section 1.1.4.0:

Transit Oriented Communities Affordable Housing Incentive Program. Nothing in this Specific Plan is intended to override or conflict with the regulations set forth in LAMC Section 12.22 A.31 that provide bonuses, waivers, and incentives for certain affordable housing projects unless expressly stated to the contrary. The TNP Bonus system of this Specific Plan functions as an individual Transit Oriented Communities (TOC) Affordable Housing Incentive Area pursuant to LAMC Section 12.22 A.31(d) for the NI(EC), HJ(EC), HR(EC), MU(EC), and NMU(EC) zones (Subareas 1-10), with such projects utilizing these incentives herein referred to as a "TNP Bonus Project." Properties in all other zones within the Specific Plan boundaries shall be eligible for applicable provisions of the Citywide Transit Oriented Communities Affordable Housing Incentive Program Guidelines, with such projects utilizing these incentives herein referred to as a "TOC Project."

Therefore, the project is in substantial compliance with the Palms – Mar Vista – Del Rey Community Plan, and the development standards of the Exposition Corridor Transit Neighborhood Plan do not preclude the requirements and incentives available through the TOC Affordable Housing Incentive Program.

<u>Appeal Point No. 2</u>: The decision-maker fails to adhere to applicable standard of review. The determination fails to assert substantial evidence in support of an exception to CEQA Guidelines pursuant to Section 15300.2.

The categorical exemption for the proposed project was prepared in accordance with CEQA Statute and Guidelines. On July 28, 2022, the Department of City Planning determined based on the whole of the administrative record, that the Project is exempt from CEQA pursuant to CEQA Guidelines, Article 19, Section 15332 (Class 32), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies. The Notice of Exemption and Justification for Project Exemption for Environmental Case No. ENV-2021-5597-CE is provided as Exhibit C to the Staff Report (Attachment A).

The proposed project qualifies for the Class 32 categorical exemption given it is developed on an infill site and meets the following criteria: (a) consistency with the General Plan designation, policies, and zoning regulations; (b) occurrence within city limits on a project site of no more than 5 acres substantially surrounded by urban uses; (c) no value as a habitat for endangered, rare, or threatened species; (d) no significant effects related to traffic, noise, air quality, or water quality; and (e) service by all required utilities and public services. In addition, the project does not meet any of the exceptions to the use of Categorical Exemptions with regards to (i) cumulative impacts, (ii) significant effect due to unusual circumstances, (iii) scenic highways, (iv) hazardous waste sites, and (v) historical resources.

The City has provided the following substantial evidence to support its determination that no significant impacts would occur. The Categorical Exemption was prepared based on technical environmental studies and therefore supported with facts and substantial evidence in the administrative record. The environmental analysis indicated that there would be no significant impacts related to traffic, noise, air quality, hazardous materials, or cumulative impacts. In addition, the project will be subject to standard Regulatory Compliance Measures ("RCMs"), which regulate impacts related to air quality (RC-AC-1), noise (RC-NO-1), and geology (RC-GEO-1). The Exposition Corridor Transit Neighborhood Plan Specific Plan contains Environmental Standards in Appendix D which regulate impacts related to landscape and construction noise and vibration. These RCMs will ensure the project will not have significant impacts on noise, air quality, and water. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

No Evidence of Traffic Impacts: The Department of Transportation Referral Form dated April 25, 2022 and the VMT calculator indicated that the project will result in an increase of 130 daily vehicle trips, which is under the threshold of 250 or more daily vehicles trips to require VMT analysis. Therefore, the project does not exceed the threshold criteria established by LADOT for preparing a traffic study and will not have any significant impacts to traffic.

No Evidence of Parking Impacts: Furthermore, the project is required to provide 14 parking spaces under the TOC incentive and is providing 26 spaces, consistent with the requirements of Los Angeles Municipal Code 12.22-A.31. TOC Guidelines Section VI.2.c provides that parking may be sold or rented separately from the units, with the exception of all Restricted Affordable

Units which shall include any required parking in the base rent or sales price, as verified by LAHD. Therefore, the project is consistent with the parking requirements of the TOC Guidelines.

No Evidence of air quality impacts: Interim thresholds were developed by DCP staff based on CalEEMod model runs relying on reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds.

Per the Arborist Report (prepared by Brandon's Landscapes dated September 10, 2021), there are seven (7) non-protected trees on the subject site which will be removed, and one (1) non-protected (Victorian box) street tree located in the public-right-of-way which will remain. Therefore, the project site has no value as habitat for endangered, rare or threatened species.

The Appellant has failed to provide substantive evidence to support its allegations that the Project would create excessive traffic, noise, air quality, trees, or result in unusual circumstances or cumulative impacts. Pursuant to Section 15064 of the CEQA Guidelines, argument, speculation, unsubstantiated opinion or narrative, or evidence that is clearly inaccurate or erroneous, or evidence that is not credible, shall not constitute substantial evidence. Substantial evidence shall include facts, reasonable assumptions predicated upon facts and expert opinion supported by facts. The appellant has not submitted any evidence to support the claim that the project may have potentially significant impacts. CEQA Guidelines Section 15384 defines "substantial evidence" as:

- (a) "Substantial evidence" as used in these guidelines means enough relevant information and reasonable inferences from this information that a fair argument can be made to support a conclusion, even though other conclusions might also be reached. Whether a fair argument can be made that the project may have a significant effect on the environment is to be determined by examining the whole record before the lead agency. Argument, speculation, unsubstantiated opinion or narrative, evidence which is clearly erroneous or inaccurate, or evidence of social or economic impacts which do not contribute to or are not caused by physical impacts on the environment does not constitute substantial evidence.
- (b) Substantial evidence shall include facts, reasonable assumptions predicated upon facts, and expert opinion supported by facts

The environmental analysis referenced above constitute substantial evidence supported by facts based on expert opinion. The appellant has not provided substantial evidence to demonstrate the potential for a significant impact to the environment. Based on the above, the project qualifies for the Class 32 categorical exemption.

Appeal Point No. 3: The decision-maker's explanation of the CEQA exemption for the Project is erroneous, and contradictory to the Palms - Mar Vista - Del Rey Community Plan and the Westside Community Plan Guiding Principles. The Project does not conform to the Community Plans:

- 1. The height belies the need to maintain the low-density character of single-family neighborhoods, and the lack of transition in scale density and character of multiple housing and adjacent single-family homes.
- 2. Having 27 residential units with only 26 parking spaces is in direct opposition to providing adequate parking compared to 2 spaces per dwelling unit for other apartment buildings on the street.

- 3. The reduction of side yards from 9feet to 6 feet 4 inches, and the 25% open space reduction is counter to the Community Plan to provide usable open space. The project "open space" is in fact individualized private balconies and private patios there is absolutely no open space recreational areas.
- 4. Removal of seven (7) non-protected trees on the subject site, the project fails to improve the visual environment of the multifamily family dwelling through the development of appropriate design criteria and landscaping.

The appellant asserts that the project is subject to the Westside Community Plan Guiding Principles, however the Westside Community Plan is an ongoing effort to update the Community Plans in the westside, and have not yet been adopted or effective, and are therefore not applicable to the subject project. Furthermore, as provided under Appeal Point No. 1, the project is in substantial compliance with the applicable policies and objectives of the existing Palms – Mar Vista – Del Rey Community Plan which are in effect. The project is also consistent with the Exposition Corridor Transit Neighborhood Plan and is conditioned to further administrative review for compliance with the Specific Plan standards during the building permit review process, as provided in the Staff Report (Attachment A).

The appellant describes the neighborhood as a single-family neighborhood. However, the site and abutting properties to the north, south, east and west are zoned R3-1 and have a General Plan Land Use designation of Medium Residential. They are developed primarily with multi-family dwellings ranging from one to five stories in height. Properties further to the south (across Pearl Street) are zoned R1-1 and developed with single-family dwellings.

The project was reviewed for conformance with the Transit Oriented Communities Affordable Housing Incentive Program. The project qualifies for the Transit Oriented Communities ("TOC") Affordable Housing Incentive Program, which allows a variety of incentives for increased density, height, and floor area, among others, for Eligible Housing Projects. Measure JJJ was adopted by the Los Angeles City Council and established the TOC Affordable Housing Incentive Program. The measure required that the Department adopt a set of TOC Guidelines, which establish incentives for residential or mixed use projects located within ½ mile of a major transit stop, as defined under existing State law. The TOC Guidelines, adopted September 22, 2017 and amended on February 26, 2018, establish a tier-based system with varying development bonuses and incentives based on a project's distance from different types of transit. The largest bonuses are reserved for those areas in the closest proximity to significant rail stops or the intersection of major bus rapid transit lines. Required affordability levels are increased incrementally in each higher tier. The incentives provided in the TOC Guidelines describe the range of bonuses from particular zoning standards that applicants may select.

The TOC Height Incentive allows an additional 22 feet in height, over the base height, for a Tier 3 project, except that in those projects located on lots with a height limit of 45 feet or less, or located within a Specific Plan or overlay district that regulates height, any height increases over 11 feet must be stepped-back at least 15 feet from the exterior face of the Ground Floor of the building located along any street frontage. In the R3 Zone in Height District 1, the LAMC allows for a maximum building height of 45-feet and unlimited stories. The TOC incentive for height allows a 22-foot increase in the building height for a Tier 3 project, allowing a maximum 67-feet in lieu of the 45-feet otherwise allowed by the R3-1 Zone. The TOC height incentive also requires any height increases over 11-feet to be stepped-back at least 15-feet from the exterior face of the ground floor of the building located along the street frontage. The project is proposing a maximum height of 67-feet and is complying with the 15-foot step-back requirement along the Purdue Avenue façade, as provided in Sheets A2.06, A3.02, A3.04, and A4.02 through A4.04 of Exhibit

"A". Specifically, the 6th floor is stepped back 15 feet from the Purdue Avenue façade, and the stepback area is enhanced with common open space and landscaping.

As provided under Appeal Point No. 2, the project is required to provide 14 parking spaces under the TOC incentive and is providing 26 spaces, consistent with the requirements of Los Angeles Municipal Code 12.22-A.31. TOC Guidelines Section VI.2.c provides that parking maybe sold or rented separately from the units, with the exception of all Restricted Affordable Units which shall include any required parking in the base rent or sales price, as verified by LAHD. Therefore, the project is consistent with the parking requirements of the TOC Guidelines. Furthermore, state law under Assembly Bill 2097 ("AB" 2097) and Government Code Section 65863.2(a) prohibits public agencies or cities from imposing a minimum automobile parking requirement on most development projects located within a half-mile radius of a major transit stop. Therefore, the project is providing more parking than otherwise required by the TOC Guidelines, and AB 2097 prohibits the Commission from imposing parking requirements.

In Tier 3 areas, the TOC incentive for side and rear yard reductions allows up to a 30 percent reduction in the required width or depth of two individual yards or setbacks. In the R3 Zone, for a building more than two stories in height, the five-foot side yards are required to be increased by one foot for each additional story above the second story. The proposed project is six (6) stories and therefore has 9-foot required side yards. The project proposes a 6-foot 4-inch side yard on the northwest lot line consistent with TOC Guidelines and as shown in Exhibit "A". The property is not requesting a reduction in the front yard and will provide a 15-foot 6-inch front yard setback (10 feet 6 inches post-dedication), as required by the Exposition Corridor Transit Neighborhood Plan Section 4.3.1.A.2, the front yard setback shall be within 5-feet of the Prevailing Front Setback as defined in LAMC Section 12.08 C.1. The property is not requesting a reduction in the rear yard and will provide a 15-foot rear yard setback; this is consistent with the rear yard setback required by code. The property is not requesting a reduction to the southerly side yard and will maintain the 9-foot side yard; this is consistent with the side yard required by code.

In Tier 3 areas, the TOC Guidelines allow for an incentive of up to a 25 percent reduction in the required open space. Based on the number of habitable rooms in the project, a total of 4,275 square feet of open space is required by LAMC Section 12.21.G. The Additional Incentive allows for a maximum 25 percent reduction, which results in a minimum 3,206.25 square feet of open space. The project is providing 3,342 square feet of qualified open space, consistent with the TOC Guidelines open space incentive and as shown in Exhibit "A"; open space is provided in the form of a rear yard, courtyard, recreation room, and roof deck. As allowed by LAMC 12.21.G.2.(a)(v), common open space can be located above grade level "in developments built at an R3, RAS3, R4, RAS4, and/or R5 density regardless of the underlying zone." The project utilizes R3 density of 1 dwelling unit per 800 square feet of lot area, and is therefore allowed to locate common open space in a recreation room and roof deck above grade level. In addition, LAMC Section 12.21 G.2 does not prohibit open space along the rear yard. The rear yard is designed as usable open space that is enhanced with landscaping including trees, LID planters, enhanced paving, and built-in bench seating, as shown in Exhibit "A". Private open space is provided in the form of private balconies for individual units as allowed by LAMC Section 12.21.G.2(b).

As previously stated, the project will need to be reviewed for compliance with LAMC 12.21. G in relation to open space, trees, and landscaping. Furthermore, in exchange for the open space and yard incentives, the project is also conditioned to provide 10 percent more landscape points, as provided in Condition 13 in the Director's Determination, which reads in pertinent part.

"Revised landscape plans shall be submitted to show the size and location of all plants. The landscape plan shall indicate landscape points for the Project equivalent to 10% more than otherwise required by LAMC 12.40 and Landscape Ordinance Guidelines "O". All

open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be landscaped, including an automatic irrigation system, and maintained in accordance with a final landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning. The final landscape plan shall be in substantial conformance with the submitted Landscape Plan, Exhibit "A," and shall incorporate any modifications required as a result of this grant."

Lastly, the subject site is located within a half-mile (2,640 feet) of the Los Angeles County Metropolitan Transportation Authority ("Metro") "E" (Expo) Light Rail Transit Line Expo/Sepulveda Station and is eligible as a Tier 3 development in the TOC Guidelines, as indicated on the TOC Referral Form dated January 12, 2021 (Exhibit F1). Therefore, the site is within a Transit Priority Area as defined by Public Resources Code ("PRC") Section 21099. Senate Bill (SB) 743 sets forth guidelines for evaluating aesthetic impacts of a project located in a transit priority area (TPA) under CEQA as follows: "Aesthetic and parking impacts of a residential, mixed-use residential, or employment center project on an infill site within a transit priority area (TPA) shall not be considered significant impacts on the environment." Pursuant to Public Resources Code Section 21099(a)(7), a TPA is defined as an area within one-half mile of a major transit stop that is existing or planned, and a major transit stop is defined as a site containing an existing rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods. Pursuant to Public Resources Code Section 21099(a)(4), an infill site is a lot located within an urban area that has been previously developed, or on a vacant site where at least 75 percent of the perimeter of the site adjoins, or is separated only by an improved public right-of-way from, parcels that are developed with qualified urban uses. The City's Zoning Information ("ZI") No. 2452 provides further information regarding SB 743 and states that "visual resources, aesthetic character, shade and shadow, light and glare, and scenic vistas or any other aesthetic impact as defined in the City's CEQA Threshold Guide shall not be considered an impact for infill projects within TPAs pursuant to CEQA." Therefore, as the project is located in a transit priority area, the lead agency is precluded by SB 743 from finding that a project will result in aesthetic impacts, including those relating to shade and shadow.

Therefore, the project is consistent with the TOC Guidelines and is in substantial compliance with the existing Palms – Mar Vista – Del Rey Community Plan and is conditioned for further review of Expo TNP and landscape points requirements.

Appeal Point No. 4: The Project will have an adverse cumulative impact on the community including traffic, noise, air quality, water quality, construction noise and vibration, and public utilities. The project site is currently overburdened due to adjacent TOC projects. This would be the third TOC project within 100 feet of each other. The amount of developable land subject to the TOC Program is reduced to approximately 10 percent of the entire City of Los Angeles. The project will not be adequately served by all public utilities and services as sewer and sanitation services are currently overburdened. The Project is within 1000 feet from a freeway and subject to provide Minimum Efficiency Reporting Value (MERV) of 13 and the requirement is absent from the LOD. The project's height, density, and parking result in significant effects due to unusual circumstances.

As provided under Appeal Point No. 2, the project qualifies for the Class 32 categorical exemption, and the appellant has not submitted substantial evidence of impacts related to traffic, noise, air quality, or water quality. Moreover, the appellant has not submitted substantial evidence of cumulative impacts or unusual circumstances.

Staff have identified two (2) comparable projects that were granted approval for land use entitlements within a 500-foot radius of the subject site:

- Case No. DIR-2018-7647-TOC-CDO-SPR (11430 W. Exposition Blvd)
- Case No. DIR-2015-4086-DB-CDO-SPR (2425 S. Butler Avenue)

In conjunction with citywide RCMs and compliance with other applicable regulations, no foreseeable cumulative impacts are expected. The appellant has not provided substantial evidence to conclude that significant impacts will occur based on past project approvals or that the proposed Project's impacts are cumulatively considerable when evaluating any cumulative impacts associated with traffic, noise, air quality, and water quality in the surrounding area. As provided under Appeal Point No. 2, argument, speculation, unsubstantiated opinion, or narrative does not constitute substantial evidence, as provided in CEQA Guidelines Section 15384. Therefore, the project will result in less than significant cumulative impacts.

Contrary to Appellant's unsubstantiated claims, the City has determined the project site can be adequately served by all required utilities and public services as set forth in the staff report, the justification set forth in the ENV-2021-5597-CE and the remainder of the administrative record. In addition, the project is required to comply with all applicable regulations and requirements of the California Building Code, the Department of Building and Safety, and the Los Angeles Fire Department. The project will incorporate contemporary building safety standards, with a new building adhering to higher fire safety standards.

The Project would be adequately served by existing utilities. Utility system capacity must be demonstrated during the City review and approval process for each project and would be required to comply with State/City water and energy conservation requirements (e.g., Title 24, Green Building Code, etc.) to minimize water and energy use, and State/City SWPPP and LID requirements to minimize stormwater runoff. In addition, the City continues to monitor wastewater flows and update infrastructure, as necessary, to accommodate the growth within the City. Lastly, both LADWP's UWMP and the City's One Water LA 2040 Plan indicate that the City has adequate water supplies to serve projected growth through at least 2040. Furthermore, the County of Los Angeles conducts ongoing evaluations to ensure that landfill capacity is adequate to serve the forecasted disposal needs of the region.

The site is located within 1,000 feet of the I-405 and I-10 Freeways and is therefore subject to the Freeway Adjacent Advisory Notice (Zoning Information "ZI" File No. 2427). In regards to the Clean Up Green Up (CUGU) standards, per Section 13.18.C, the CUGU standards apply to all properties identified on the zoning map with a "CUGU" suffix on the zone classification. This site is not identified by the zoning map with ah CUGU suffix and therefore the ordinance does not apply. In addition, the project is subject to standard Building Code standards for MERV filtration requirements which is administered by LADBS during building permits. Furthermore, consistent with ZI-2427, the project locates the majority of open space areas as far from the freeway sources as possible by locating the roof deck along the westerly façade and courtyard at the interior of the building; the rear yard is screened with trees and landscaping to serve as a barrier along the westerly property line.

As mentioned, the project proposes a multi-family residential building in an area zoned and designated for such development. Adjacent lots are developed with multi-family residential. The subject site is of a similar size and slope to nearby residential properties. The Floor Area, Density, Height, Yards, and Open Space of the proposed project are consistent with the Zone and Transit Oriented Communities Guidelines, pursuant to LAMC Section 12.22 A.31. The site is not located within a designated hillside area, a Special Grading Area (BOE Basic Grid Map A-13372), very

high fire hazard severity zone, flood zone, landslide, tsunami inundation zone, or liquefaction zone. There are no designated historic resources or cultural monuments on the subject site. The project's height, density, and parking are allowed by the TOC Guidelines. The project proposes a type of construction and use – multi-family residential in a multi-family residential neighborhood – that is very common and typical in the Specific Plan, TOC Affordable Housing Incentive Areas which is a citywide program, and throughout the City. Thus, there are no unusual circumstances which may lead to a significant effect on the environment, and this exception does not apply.

The current project is in an urbanized area and characterized as in-fill development, which qualifies for the Class 32 Categorical Exemption. As shown in the case file, the project will result in less than significant cumulative impacts, and there are no unusual circumstances which may lead to a significant effect on the environment.

Conclusion

Planning Staff recommends the PLUM Committee recommend for City Council to deny the appeal and determine, based on the whole of administrative record, as supported by the justification prepared and found in the environmental case file, ENV-2021-5597-CE, and based on above, the project is exempt from CEQA pursuant to CEQA Guidelines, Section 15332 (Class 32), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 153000.2 applies.

Sincerely,

VINCENT P. BERTONI, AICP Director of Planning

MICHELLE SINGH Senior City Planner

Michelle Singh

VPB:TLI:MS:CC:NM

Enclosures:

Attachment 1: Staff Recommendation Report to City Planning Commission, dated November 29, 2022

Attachment 2: Technical Modification to the Staff Recommendation Report, dated October 31, 2022



DEPARTMENT OF CITY PLANNING APPEAL RECOMMENDATION REPORT

City Planning Commission

Date: November 03, 2022 Time: after 8:30 a.m.*

Place: Due to concerns over COVID-19, the

CPC meeting will be conducted entirely

telephonically by Zoom

[https://zoom.us/] and will allow for

remote public comment.

The meeting's telephone number and access code number will be provided no later than 72 hours before the meeting on the meeting agenda published at https://planning.lacity.org/about/commis

sions-boards-hearings and/or by

contacting cpc@lacity.org

Public Hearing: Required

Appeal Status: Not further appealable

Expiration Date: November 30, 2022, subject

to tolling

Multiple Approval: No

PROJECT LOCATION: 2456-2460 South Purdue Avenue

PROPOSED PROJECT:

The Project is for the construction of a new six-story, 67-foot tall, 27-unit residential building (including 3 units reserved for Extremely Low-Income Households). The project will have a proposed Floor Area Ratio ("FAR") of approximately 4.3:1 with approximately 46,528 square feet of floor area. The project provides 26 parking spaces located at subterranean level. The existing two single-family dwellings and attached garages on-site are proposed to be demolished, along with seven (7) non-protected trees are proposed to be removed from the subject site. The project will involve grading and export approximately 6,475 cubic yards of soil.

APPEAL REQUESTS:

A partial appeal of the July 28, 2022 Planning Director's Determination which:

- 1. Determined, pursuant to California Environmental Quality Act ("CEQA") Guidelines, based on the whole of the administrative record, that the Project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Article 19, Section 15332 (Class 32), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.
- 2. Found, based on the independent judgement of the decision-maker, after consideration of the whole of the administrative record, that the project is within the scope of the Exposition Corridor Transit Neighborhood Plan Program EIR No. ENV-2013-622-EIR, SCH. No. 2013031038 ("Program EIR"), pursuant to CEQA Guidelines Sections 15168 and 15162; the environmental effects of the Project were covered in the Program EIR and no new environmental effects not identified in the Program EIR will occur and no new mitigation is required; and the City has incorporated all feasible mitigation measures from the Program EIR on the Project;

Case No.: DIR-2022-5596-TOC-HCA-1A CEQA No.: ENV-2021-5597-CE; ENV-2013-

622-EIR

Incidental Cases: None
Related Cases: None
Council No.: 11 – Bonin

Plan Area: Palms – Mar Vista – Del Rey

Plan Overlay: Exposition Corridor Transit

Neighborhood Plan, West Los

Angeles Transportation Improvement and Mitigation West Los Angeles Sawtelle

Certified NC: West Los Angeles Saw
GPLU: Medium Residential

Zone: R3-1

Applicant: Amir Mehdizadeh

Representative: Aaron Belliston, BMR Enterprises

Appellant: Kathryn Schorr

- 3. Approved, pursuant to Los Angeles Municipal Code ("LAMC") Section 12.22.A.31, a Transit Oriented Communities Affordable Housing Incentive Program Compliance Review for a qualifying Tier 3 project totaling 27 dwelling units, reserving three (3) units for Extremely Low Income Household occupancy for a period of 55 years, with the following requested Additional Incentives:
- a. Height. A 22-foot increase in the building height, allowing 67 feet in lieu of the maximum 45 feet per the R3-1 Zone;
- b. Side Yard/Setback. A 30 percent decrease in the required depth of the northwest side yard, allowing a 6-foot 4-inch northwest side yard setback in lieu of otherwise required 9-foot side yard setback per R3-1 Zone; and
- c. Open Space. A maximum 25 percent reduction in the required open space, allowing 3,342 square feet in lieu of the 4,275 square feet otherwise required.

RECOMMENDED ACTIONS:

- 1. **Deny** the appeal of DIR-2021-5596-TOC-HCA;
- 2. **Determine**, based on the whole of the administrative record, that the Project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Article 19, Section 15332 (Class 32), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies..
- 3. **FIND**, pursuant to CEQA Guidelines Sections 15168 and 15162, based on the independent judgement of the decision-maker, after consideration of the whole of the administrative record, that the project is within the scope of the Exposition Corridor Transit Neighborhood Plan Program EIR No. ENV-2013-622-EIR, SCH. No. 2013031038 ("Program EIR"), pursuant to CEQA Guidelines Sections 15168 and 15162; the environmental effects of the Project were covered in the Program EIR and no new environmental effects not identified in the Program EIR will occur and no new mitigation is required; and the City has incorporated all feasible mitigation measures from the Program EIR on the Project.
- 4. **Sustain** the Director of Planning's Determination to approve the TOC Affordable Housing Incentive Program for a Tier 3 project totaling 27 dwelling units, reserving three (3) units for Extremely Low Income occupancy for a period of 55 years, with Base Incentives and the following Additional Incentives:
 - a. **Height.** A 22-foot increase in the building height, allowing 67 feet in lieu of the maximum 45 feet per the R3-1 Zone;
 - b. **Side Yard/Setback.** A 30 percent reduction in the required depth of the northwest side yard, allowing a 6-foot 4-inch northwest side yard setback in lieu of otherwise required 9-foot side yard setback per the R3-1 Zone; and
 - c. **Open Space.** A maximum 25 percent reduction in the required open space, allowing 3,342 square feet in lieu of the 4,275 square feet otherwise required.
- 5. **Adopt** the Director of Planning's Conditions of Approval, Findings, and Exhibit "A."

VINCENT P. BERTONI, AICP Director of Planning

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ADVICE TO PUBLIC: *The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the *Commission Secretariat, Room 273, City Hall, 200 North Spring Street, Los Angeles, CA 90012* (Phone No. 213-978-1300). While all written communications are given to the Commission for consideration, the initial packets are sent to the week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to these programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request not later than three working days (72 hours) prior to the meeting by calling the Commission Secretariat at (213) 978-1300.

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PROJECT ANALYSIS

APPELLATE DECISION BODY

Pursuant to Section 12.22 A.31 and 12.22 A.25 of the Los Angeles Municipal Code ("LAMC"), appeals of Transit Oriented Communities (TOC) Affordable Housing Incentive Program cases are heard by the City Planning Commission. The decision of the City Planning Commission is not further appealable.

PROJECT SUMMARY

On July 28, 2022, the Director of Planning approved a Transit Oriented Communities Affordable Housing Incentive Program Compliance Review for a project totaling 27 dwelling units, reserving three (3) units for Very Low Income occupancy for a period of 55 years, with Base Incentives and three (3) Additional Incentives for an increase in height, decreased side yard setback, and a reduction of required open space.

The Project is for the construction of a new six-story, 67-foot tall, 27-unit residential building (including 3 units reserved for Extremely Low-Income Households). The project will have a proposed Floor Area Ratio ("FAR") of approximately 4.3:1 with approximately 46,528 square feet of floor area. The project provides 26 parking spaces located at subterranean level. The existing two single-family dwellings and attached garages on-site are proposed to be demolished, along with seven (7) non-protected trees are proposed to be removed from the subject site. The project will involve grading and export approximately 6,475 cubic yards of soil. The approved plans are provided in Exhibit "A"; the Director's Determination is provided in Exhibit "B"; and the environmental clearance under Case No. ENV-2022-5597-CE is provided in Exhibit "C" herein.

The appeal period ended on August 12, 2022. On August 10, 2022, an adjacent property owner filed a partial appeal of the determination, represented by this case.

BACKGROUND

Subject Property

The project site is located at 2456 South Purdue Avenue, approximately mid-block along Purdue Avenue between Exposition Boulevard and Pearl Street. The project site is comprised of two (2) flat, rectangular-shaped lots. In total, the lots cover approximately 15,000 square feet, with approximately 100 feet of frontage along the east side of Purdue Avenue and a lot depth of approximately 150 feet. The project site is located within 1.78 kilometers (1.1 miles) of the Santa Monica Fault. The site is not located within a designated hillside area, a Special Grading Area (BOE Basic Grid Map A-13372), very high fire hazard severity zone, flood zone, landslide, tsunami inundation zone, or liquefaction zone.

The property is currently developed with two single-family dwellings with detached garages, which will be demolished to clear the site. There are no known designated historic resources or cultural monuments on the subject site. Per the Arborist Report (prepared by Brandon's Landscapes dated September 10, 2021), there are seven (7) non-protected trees on the subject site which will be removed, and one (1) non-protected (Victorian box) street tree located in the public-right-of-way which will remain.

Zoning and Land Use Designation

The site is zoned R3-1 and has a General Plan Land Use designation of Medium Residential, which has corresponding zones of R3 and R3(PV). The R3 Zone allows for a base residential density at a rate of the one unit per 800 square feet of lot area. Height District No. 1 in the R3 Zone allows for a height of 45 feet and the site is limited to a Floor Area Ratio (FAR) of 3:1. The project site is located in the Palms – Mar Vista – Del Rey Community Plan area. The Exposition Corridor Transit Neighborhood Plan (Specific Plan) established by Ordinance 186,402 and effective December 26, 2019, established review procedures, design standards, and environmental standards for the subject site. The project site is in the West Los Angeles Transportation Improvement and Mitigation Specific Plan (WLA TIMP, Ordinance 186,105 and 186,108). The project is subject to Department of Transportation clearance of the WLA TIMP. In addition, the project is within a Tier 3 designation of the Transit Oriented Communities Program. Pursuant to LAMC Section 12.22 A.31 and the TOC Guidelines, the applicant requests a Transit Oriented Communities Compliance Review.

Surrounding Uses

Abutting properties to the north, south, east and west are zoned R3-1 and are developed primarily with multi-family dwellings ranging from one to six stories in height. Properties further to the south (across Pearl Street) are zoned R1-1 and developed with single-family dwellings.

Transit Oriented Communities

Pursuant to the voter-approved Measure JJJ, Los Angeles Municipal Code (LAMC) 12.22-A.31 was added to create the Transit Oriented Communities (TOC) Affordable Housing Incentive Program (TOC Program). The Measure requires the Department of City Planning to create TOC Affordable Housing Incentive Program Guidelines (TOC Guideline) for all Housing Developments located within a ½-mile (or, 2,640-foot) radius of a Major Transit Stop. These Guidelines provide the eligibility standards, incentives, and other necessary components of the TOC Program consistent with LAMC 12.22-A.31.

A qualifying TOC Project shall be granted Base Incentives with regard to increased residential density, increased floor area ratio, and reduced automobile parking requirements. In addition to these Base Incentives, and eligible project may be granted Additional Incentives with regard to yards and setbacks, open space, lot coverage, lot width, averaging, density calculation, height, and developments in public facility zones. Up to three (3) Additional Incentives may be granted in exchange for providing the requisite set aside of affordable housing as enumerated in the TOC Guidelines.

The subject site is located within a half-mile (2,640 feet) of the Los Angeles County Metropolitan Transportation Authority ("Metro") "E" (Expo) Light Rail Transit Line Bundy Station and is eligible as a Tier 3 development in the TOC Guidelines, as indicated on the TOC Referral Form dated January 12, 2021. Tier 3 Base Incentives require On-Site Restricted Affordable Units at the rate of 10% for Extremely Low Income, 14% for Very Low Income, or 23% for Lower Income, of the total number of units. Three Additional Incentives may be granted for projects that include at least 11% for Extremely Low Income, 15% for Very Low Income, or 30% for Lower Income, of the base density of units. The Project is proposing three (3) Extremely Low Income units, consistent with the Base Incentive requirements (which requires 10 percent of the 27 total units, or 2.7 units), and which make the project eligible for three Additional Incentives (which requires 11 percent of the 19 base units, or 2.09 units).

Tier 3 Base Incentives:

- a. **Residential Density.** The R3-1 Zone allows for a base density of one dwelling unit per 800 square feet of lot area. As an Eligible Housing Development in TOC Tier 3, the project is eligible for a 70 percent increase in the maximum density to permit a total of 27 dwelling units, in lieu of 19 units as otherwise permitted by the R3 base density.
- b. **Floor Area Ratio (FAR).** The R3-1 zone establishes a by-right FAR of 3.0:1. As an Eligible Housing Development in TOC Tier 3, the project is eligible for a 50 percent increase in FAR, up to 4.5:1. The Project proposes an FAR of 4.3:1, which is a 45 percent increase in FAR.
- c. **Parking.** As an Eligible Housing Development in Tier 3, the project shall not be required to exceed one-half space per unit. The project is required to provide 14 parking spaces under the TOC incentive and is providing 26 spaces.

Tier 3 Additional Incentives:

a. Height. In Tier 3 areas, the TOC incentive for height allows a 22-foot increase in the building height, except projects located on lots with a height limit 45-fet or less shall require any height increases over 11-feet to be stepped-back at least 15-feet from the exterior of the Ground Floor of the building located along any street frontage. In the R3 Zone in Height District 1, the LAMC allows for a maximum building height of 45-feet and unlimited stories. The TOC incentive for height allows a 22-foot increase in the building for a Tier 3 project, allowing a maximum 67-feet in lieu of the 45-feet otherwise allowed by the R3-1 Zone.

The TOC height incentive also requires any height increases over 11-feet to be stepped-back at least 15-feet from the exterior face of the ground floor of the building located along the street frontage. The project is proposing a maximum height of 67-feet and is complying with the 15-foot step-back requirement along the Purdue Avenue façade, as provided in Sheets A2.06, A3.02 ,A3.04, and A4.02 through A4.04 of Exhibit "A". The project is consistent with the TOC Guideline's height incentive and step-back requirements.

b. **Yard/Setback.** In Tier 3 areas, the TOC incentive for side and rear yard reductions allows up to a 30 percent reduction in the required width or depth of two individual yards or setbacks.

In the R3 Zone, for a building more than two stories in height, the five-foot side yards are required to be increased by one foot for each additional story above the second story. The proposed project is six (6) stories and therefore has 9-foot required side yards. The project proposes a 6-foot 4-inch side yard on the northwest lot line consistent with TOC Guidelines and as shown in Exhibit "A".

c. **Open Space.** In Tier 3 areas, the TOC Guidelines allow for an incentive of up to a 25 percent reduction in the required open space.

Based on the number of habitable rooms in the project, a total of 4,275 square feet of open space is required by LAMC Section 12.21.G. The Additional Incentive allows for a maximum 25 percent reduction, which results in a minimum 3,206.25 square feet of open space. The project is providing 3,342 square feet of qualified open space, consistent with the TOC Guidelines open space incentive and as shown in Exhibit "A".

The tables below provide a summary of the relevant and underlying LAMC provisions for the subject property and requested TOC Base and Additional Incentives:

Incentives	Otherwise	TOC Guidelines	Proposed
	Allowed/Required		
Density	18 units	33 units	27 units
FAR	3:1	4.5:1	4.3:1
Parking Spaces	48 spaces	14 spaces	26 spaces
Height	45-feet	67-feet	67-feet
Side Yard/Setback	9-feet	6-feet 3.6-inches	6-feet 4 inches
Open Space	4,275 square feet	3,206.25 square feet	3,342 square feet

Housing Replacement

The Los Angeles Housing Department (LAHD) has determined, per the Housing Crisis Act of 2019 (SB 330) Replacement Unit Determination, dated October 19, 2020 (Exhibit F3), that two (2) units need to be replaced with equivalent type, with one (1) unit restricted to Extremely Low Income Households, and one (1) unit restricted to Very Low Income Households. The project satisfies the TOC Affordable Housing requirement by providing three (3) units restricted to Extremely Low-Income households. This is reflected in the Conditions of Approval.

Public Correspondence

A comment letter was received from the West Los Angeles Sawtelle Neighborhood Council, dated November 17, 2021, stating that, "the Board of Directors voted 9-0 to oppose the project as designed, and authorize the Chair to submit Community Impact Statements in the future."

Three (3) emails were received from neighbors expressing opposition to the development, with concerns related to the increased density, reduced parking, reduced setbacks, construction impacts including other construction in the neighborhood, and loss of landscaping. The comment letters are provided in Exhibit "G".

APPEAL ANALYSIS

One appeal was filed by Kathryn Schorr, an owner of a property across the street. The following is a summary of the appeal points and staff's response. The full appeal justifications are provided in Exhibit "E." Similar appeal points are grouped for staff response.

APPEAL POINT 1: TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM

- Appeal Point 1a (Tier 3 Designation): The Project was erroneously slated as a Tier 3 incentive area, but fails to comply with the one-half mile radius proximity requirement around a Major Transit Stop. The property is over 2645 feet from the Expo/Sepulveda Metro Station of the Metro Exposition Line. The project should be approved as a Tier 2.
- Appeal Point 1b (Open Space Incentive): The Determination erroneously identified the allowable open space reduction as "providing useable open space as intended by the code." The above-ground balconies and concrete slab in the back of the property should not count as "usable open space" as it conflicts with the LAMC.

- Appeal Point 1c (Height Incentive): The additional height for a 56-foot tall building and allowance for mechanical equipment and other unspecified structures located on the rooftop violates the Residential Citywide Design Guidelines. The building is not similar in scale or size to other dwellings, and will be taller than other buildings in the neighborhood, which will cast shade and block views. The southern end of Purdue Avenue is zoned R-1 but the three adjacent streets are entirely zoned R1; such designation to the west and south of Purdue Avenue would normally require a "step down" zoning designation of R2.
- Appeal Point 1d (Stepbacks): The Determination identifies measurements and photographs which are inconsistent with the appropriate setback requirements beginning at 56 feet. The additional eleven feet of height incentives are not in fact 'setback' per TOC Guidelines "Height incentives."
- Appeal Point 1e (Transitional height): The lack of upper story setbacks is in opposition to the TOC Guidelines which requires that building height limit shall be stepped-back at a 45-degree angle as measured from a horizontal plane originating 25 feet above grade at the property line of the adjoining lot in the RW1 Zone or more restrictive residential zone or Specific Plan subarea.

Appeal Point 1f (Setbacks): The project fails to provide appropriate front and side yard setbacks.

<u>Staff Response:</u> The project was reviewed for conformance with the Transit Oriented Communities Affordable Housing Incentive Program. The subject site is located within a half-mile (2,640 feet) of the Los Angeles County Metropolitan Transportation Authority ("Metro") "E" (Expo) Light Rail Transit Line Expo/Sepulveda Station and is eligible as a Tier 3 development in the TOC Guidelines, as indicated on the TOC Referral Form dated January 12, 2021 (Exhibit F1). The Metro E Line Expo/Sepulveda Station is located on the intersection of Sepulveda Boulevard and Exposition Boulevard. As stated on page 5 of the TOC Guidelines, "*Distance is measured from the closest point on any lot to the entrance(s) of a rail station*"; the ZIMAS radius map (Exhibit D) demonstrates that the site is well within the half-mile radius boundaries. Therefore, the site meets the half-mile proximity to qualify for Tier 3 of the TOC program.

In Tier 3 areas, the TOC Guidelines allow for an incentive of up to a 25 percent reduction in the required open space. Based on the number of habitable rooms in the project, a total of 4,275 square feet of open space is required by LAMC Section 12.21.G. The Additional Incentive allows for a maximum 25 percent reduction, which results in a minimum 3,206.25 square feet of open space. The project is providing 3,342 square feet of qualified open space, consistent with the TOC Guidelines open space incentive and as shown in Exhibit "A"; open space is provided in the form of a rear yard, courtyard, recreation room, and roof deck. As allowed by LAMC 12.21.G.2.(a)(v), common open space can be located above grade level "in developments built at an R3, RAS3, R4, RAS4, and/or R5 density regardless of the underlying zone." The project utilizes R3 density of 1 dwelling unit per 800 square feet of lot area, and is therefore allowed to locate common open space in a recreation room and roof deck above grade level. In addition, LAMC Section 12.21 G.2. does not prohibit open space along the rear yard. The rear yard is designed as usable open space that is enhanced with landscaping including trees, LID planters, enhanced paving, and built-in bench seating, as shown in Exhibit "A". Furthermore, the Director's Determination for the Transit Oriented Communities Affordable Housing Incentive Program (Exhibit B) is an entitlement for certain incentives provided in exchange for the provision of on-site affordable housing; the Director's Determination is not a building permit. As specified in Condition 9, "The common open space shall meet the requirements of LAMC Section 12.21 G per the satisfaction of the Department of Building and Safety."

The TOC Height Incentive allows an additional 22 feet in height, over the base height, for a Tier 3 project, except that in those projects located on lots with a height limit of 45 feet or less, or located within a Specific Plan or overlay district that regulates height, any height increases over 11 feet must be stepped-back at least 15 feet from the exterior face of the Ground Floor of the

building located along any street frontage. In the R3 Zone in Height District 1, the LAMC allows for a maximum building height of 45-feet and unlimited stories. The TOC incentive for height allows a 22-foot increase in the building height for a Tier 3 project, allowing a maximum 67-feet in lieu of the 45-feet otherwise allowed by the R3-1 Zone. The TOC height incentive also requires any height increases over 11-feet to be stepped-back at least 15-feet from the exterior face of the ground floor of the building located along the street frontage. The project is proposing a maximum height of 67-feet and is complying with the 15-foot step-back requirement along the Purdue Avenue façade, as provided in Sheets A2.06, A3.02, A3.04, and A4.02 through A4.04 of Exhibit "A". Specifically, the 6th floor is stepped back 15 feet from the Purdue Avenue façade, and the stepback area is enhanced with common open space and landscaping. While compliance with Citywide Design Guidelines is encouraged for the development of projects, they are not mandatory. As such the project demonstrates to be consistent with the TOC Guideline's height incentive and step-back requirements.

The appellant also contends that the project violates transitional height requirements of the TOC Guidelines, but the applicant is not requesting a transitional height incentive, as otherwise allowed under the TOC Guidelines. The TOC Guidelines include a height incentive that allows an applicant to use the TOC Guidelines transitional height provision in lieu of the transitional height requirements found in LAMC Section 12.21.1 A.10 or any applicable transitional height limits in a Specific Plan. The site is zoned R3-1 and is not subject to transitional height requirements of LAMC Section 12.21.1 A.10 which apply to C or M zoned lots. Furthermore, although the site is located Exposition Corridor Transit Neighborhood Plan (Expo TNP), it is not located with a subarea that is subject to transitional height requirements of the Expo TNP. Therefore, the project is not subject to transitional height requirements of the LAMC or Expo TNP, and therefore the transitional height incentive of the TOC Guidelines is not applicable nor necessary for this case. Lastly, abutting properties to the north, south, east and west are zoned R3-1 and are developed primarily with multi-family dwellings ranging from one to six stories in height; therefore the project will be compatible in height with surrounding buildings.

In Tier 3 areas, the TOC incentive for side and rear yard reductions allows up to a 30 percent reduction in the required width or depth of two individual yards or setbacks. In the R3 Zone, for a building more than two stories in height, the five-foot side yards are required to be increased by one foot for each additional story above the second story. The proposed project is six (6) stories and therefore has 9-foot required side yards. The project proposes a 6-foot 4-inch side yard on the northwest lot line consistent with TOC Guidelines and as shown in Exhibit "A".

The property is not requesting a reduction in the front yard and will provide a 15-foot 6-inch front yard setback (10 feet 6 inches post-dedication), as required by the Exposition Corridor Transit Neighborhood Plan Section 4.3.1.A.2, the front yard setback shall be within 5-feet of the Prevailing Front Setback as defined in LAMC Section 12.08 C.1. The property is not requesting a reduction in the rear yard and will provide a 15-foot rear yard setback; this is consistent with the rear yard setback required by code. The property is not requesting a reduction to the southerly side yard and will maintain the 9-foot side yard; this is consistent with the side yard required by code.

The list of on-menu incentives in the TOC Guidelines were pre-evaluated at the time the Transit Oriented Communities Affordable Housing Incentive Program Ordinance was adopted to include types of relief that minimize restrictions on the size of the project. As such, the Director will always arrive at the conclusion that the on-menu incentives are required to provide for affordable housing costs because the incentives by their nature increase the scale of the project. Therefore, the site and project qualify for the TOC Affordable Housing Incentive Program as an Eligible Housing Development, and is eligible for the incentives granted therein.

APPEAL POINT 2: ENVIRONMENTAL REVIEW

- Appeal Point 2a (Class 32 Categorical Exemption): The project should not be exempt from said environmental review due to the fact that it fails to meet relevant exemption criteria and would fail an appropriate environmental review as required by CEQA Guidelines Section 15300.2. This class is not intended for projects that would result in any significant traffic, noise, air quality, or water quality impacts. This exemption is not limited to any use type and may apply to residential, commercial, industrial, public facility, and/or mixed-use projects.
- **Appeal Point 2b (Cumulative Impacts):** The project and successive projects of the same type in the same place will result in cumulative impacts related to traffic, noise, and air quality.
- Appeal Point 2b (Unbundled Parking and Traffic): The Determination allowing unbundled parking sets a precedent which would create an adverse cumulative traffic impact adverse to CEQA Guidelines and City Traffic Mitigation plans. Monetizing parking in a residential community incentivizes traffic flow, and does not take into account the impact on other similarly situated unbundled parking projects which rent their parking spaces to commercial interested resulting in vastly increased trips throughout the day including 6:00pm peak hour trips. Additionally, the traffic diversion as a result of WAZE and other community-based traffic application devices currently sends peak hour traffic down Purdue to avoid gridlock on Sawtelle. This additional traffic continues to block driveways, create safety hazards for residents using sidewalks and creates a greater likelihood of delayed response times for emergency services.
- **Appeal Point 2c (Noise):** The added population density with the close proximity to adjacent dwellings would increase noise.
- Appeal Point 2d (Air Quality): The project should comply with Information File (ZI NO 2427)
 Freeway Adjacent Advisory Notice Air Quality which requires discretionary
 projects within 1,000 feet of a freeway to conform with the General Plan and
 Citywide Design Guidelines. The "Clean Up Green Up" Initiative requires all new
 mechanically ventilated buildings located within 1,000 feet of the freeway to
 install air filtration media that provides a Minimum Efficiency Reporting Value
 (MERV) of 13.
- Appeal Point 2e (Unusual circumstances): There are unusual circumstances which create a reasonable possibility of significant adverse effects related to the Tier 3 designation, failure to comply with Deign Conformance requirements, and failure to adhere to the West LA TIMP and LADOT Guidelines, usable open space criteria, front and side setbacks, side yard landscaping, height, and setback height requirements. The project may result in damage to scenic resources, including, but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within an officially designated scenic highway.

<u>Staff Response</u>: As detailed in the Director's Determination and the rest of the administrative record, the City has provided substantial evidence to supports its determination that the Project is exempt from CEQA pursuant to CEQA Guidelines, Section 15332 (Class 32), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

The Appellant has failed to provide substantive evidence to support its allegations that the Project would create excessive traffic, noise, air quality, trees, or result in unusual circumstances or cumulative impacts. Pursuant to Section 15064 of the CEQA Statue and Guidelines, argument, speculation, unsubstantiated opinion or narrative, or evidence that is clearly inaccurate or erroneous, or evidence that is not credible, shall not constitute substantial evidence. Substantial evidence shall include facts, reasonable assumptions predicated upon facts and expert opinion

supported by facts. The appellant has not submitted any evidence to support the claim that the project may have potentially significant impacts. Argument, speculation, unsubstantiated opinion, or narrative does not constitute substantial evidence, as provided in CEQA Guidelines Section 15384, which defines "substantial evidence" as:

- (a) "Substantial evidence" as used in these guidelines means enough relevant information and reasonable inferences from this information that a fair argument can be made to support a conclusion, even though other conclusions might also be reached. Whether a fair argument can be made that the project may have a significant effect on the environment is to be determined by examining the whole record before the lead agency. Argument, speculation, unsubstantiated opinion or narrative, evidence which is clearly erroneous or inaccurate, or evidence of social or economic impacts which do not contribute to or are not caused by physical impacts on the environment does not constitute substantial evidence.
- (b) Substantial evidence shall include facts, reasonable assumptions predicated upon facts, and expert opinion supported by facts.

Staff have identified two (2) comparable projects that were granted approval for land use entitlements within a 500-foot radius of the subject site:

- Case No. DIR-2018-7647-TOC-CDO-SPR (11430 W. Exposition Blvd)
- Case No. DIR-2015-4086-DB-CDO-SPR (2425 S. Butler Avenue)

In conjunction with citywide RCMs and compliance with other applicable regulations, no foreseeable cumulative impacts are expected.

The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. More specifically, RCMs include but are not limited to:

- Regulatory Compliance Measure RC-AQ-1 (Demolition, Grading and Construction Activities): Compliance with provisions of the SCAQMD District Rule 403. The project shall comply with all applicable standards of the Southern California Air Quality Management District, including the following provisions of District Rule 403:
 - All unpaved demolition and construction areas shall be wetted at least twice daily during excavation and construction, and temporary dust covers shall be used to reduce dust emissions and meet SCAQMD District Rule 403. Wetting could reduce fugitive dust by as much as 50 percent.
 - The construction area shall be kept sufficiently dampened to control dust caused by grading and hauling, and at all times provide reasonable control of dust caused by wind.
 - All clearing, earth moving, or excavation activities shall be discontinued during periods of high winds (i.e., greater than 15 mph), so as to prevent excessive amounts of dust.
 - All dirt/soil loads shall be secured by trimming, watering or other appropriate means to prevent spillage and dust.
 - All dirt/soil materials transported off-site shall be either sufficiently watered or securely covered to prevent excessive amount of dust.
 - General contractors shall maintain and operate construction equipment so as to minimize exhaust emissions.
 - o Trucks having no current hauling activity shall not idle but be turned off.

- Regulatory Compliance Measure RC-GEO-1 (Seismic): The design and construction of the project shall conform to the California Building Code seismic standards as approved by the Department of Building and Safety.
- Regulatory Compliance Measure RC-NO-1 (Demolition, Grading, and Construction Activities): The project shall comply with the City of Los Angeles Noise Ordinance and any subsequent ordinances, which prohibit the emission or creation of noise beyond certain levels at adjacent uses unless technically infeasible.

In addition, the project shall comply with the Environmental Standards in Appendix D of the Exposition Corridor Transit Neighborhood Plan Specific Plan, which include but are not limited to:

- Regulatory Compliance Measure (Landscape): The Project shall comply with Ordinance No. 170,978 (Water Management Ordinance), which imposes numerous water conservation measures in landscape, installation, and maintenance (e.g., use drip irrigation and soak hoses in lieu of sprinklers to lower the amount of water lost to evaporation and overspray, set automatic sprinkler systems to irrigate during the early morning or evening hours to minimize water loss due to evaporation, and water less in the cooler months and during the rainy season).
- Mitigation Measure (Construction Noise and Vibration):
 - o Construction Staging Areas. The construction contractor shall locate construction staging areas away from Sensitive Land Uses.
 - Construction Noise Barriers. When construction activities are located within 500 feet of Sensitive Land Uses, noise barriers (e.g., temporary walls or piles of excavated material) shall be constructed between activities and Sensitive Land Uses.

These RCMs will ensure the project will not have significant impacts on noise and water.

No Evidence of Traffic Impacts: The Department of Transportation Referral Form dated April 25, 2022 and the VMT calculator indicated that the project will result in an increase of 130 daily vehicle trips, which is under the threshold of 250 or more daily vehicles trips to require VMT analysis. Therefore, the project does not exceed the threshold criteria established by LADOT for preparing a traffic study and will not have any significant impacts to traffic.

No Evidence of Parking Impacts: Furthermore, the project is required to provide 14 parking spaces under the TOC incentive and is providing 26 spaces, consistent with the requirements of Los Angeles Municipal Code 12.22-A.31. TOC Guidelines Section VI.2.c provides that parking maybe sold or rented separately from the units, with the exception of all Restricted Affordable Units which shall include any required parking in the base rent or sales price, as verified by LAHD. Therefore, the project is consistent with the parking requirements of the TOC Guidelines.

No Evidence of air quality impacts: Interim thresholds were developed by DCP staff based on CalEEMod model runs relying on reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds. These RCMs will ensure the project will not have significant impacts on noise, air quality, and water. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

The site is located within 1,000 feet of the I-405 and I-10 Freeways and is therefore subject to the Freeway Adjacent Advisory Notice (Zoning Information "ZI" File No. 2427). In regards to the Clean Up Green Up (CUGU) standards, per Section 13.18.C, the CUGU standards apply to all properties identified on the zoning map with a "CUGU" suffix on the zone classification. This site is not identified by the zoning map with ah CUGU suffix and therefore the ordinance does not apply. In addition, the project is subject to standard Building Code standards for MERV filtration requirements which is administered by LADBS during building permits. Furthermore, consistent with ZI-2427, the project locates the majority of open space areas as far from the freeway sources as possible by locating the roof deck along the westerly façade and courtyard at the interior of the building; the rear yard is screened with trees and landscaping to serve as a barrier along the westerly property line.

As mentioned, the project proposes a multi-family residential building in an area zoned and designated for such development. Adjacent lots are developed with multi-family residential. The subject site is of a similar size and slope to nearby residential properties. The Floor Area, Density, Height, Yards, and Open Space of the proposed project are consistent with the Zone and Transit Oriented Communities Guidelines, pursuant to LAMC Section 12.22 A.31. The site is not located within a designated hillside area, a Special Grading Area (BOE Basic Grid Map A-13372), very high fire hazard severity zone, flood zone, landslide, tsunami inundation zone, or liquefaction zone. Per the Arborist Report (prepared by Brandon's Landscapes dated September 10, 2021), there are seven (7) non-protected trees on the subject site which will be removed, and one (1) non-protected (Victorian box) street tree located in the public-right-of-way which will remain. There are no designated historic resources or cultural monuments on the subject site. Thus, there are no unusual circumstances which may lead to a significant effect on the environment, and this exception does not apply.

The current project is in an urbanized area and characterized as in-fill development, which qualifies for the Class 32 Categorical Exemption. As shown in the case file, the project is consistent with the applicable Palms – Mar Vista – Del Rey Community Plan designation and policies and all applicable zoning designations and regulations.

APPEAL POINT 3: WEST LOS ANGELES TRAFFIC IMPACT MITIGATION PLAN

Appeal Point 3a (WEST LA TIMP): The Determination made an erroneous finding when it determined that the project adheres to the West Los Angeles Traffic Impact Mitigation Plan and the Los Angeles Department of Transportation Guidelines. The West LA TIMP requires mitigation measures be undertaken or guaranteed to reduce the significant transportation impacts of a project to a level of insignificance.

<u>Staff Response:</u> The project site is in the West Los Angeles Transportation Improvement and Mitigation Specific Plan (WLA TIMP, Ordinance 186,105 and 186,108). The project is subject to Department of Transportation clearance of the WLA TIMP during the building permit process, consistent with ZI-2192.

APPEAL POINT 4: AFFORDABLE HOUSING

Appeal Point 4a (Managers Unit): The Determination fails to address the requirement of California Civil Code Title 25, Section 42 which requires a manager, janitor, housekeeper, or other responsible person to live on the premises and have charge of every apartment complex that has sixteen (16) or more apartments units on the property if the property owner does not live on the premises.

Appeal Point 4b (Enforceability): While this project and others of its kind apparently receive approvals and incentives for affordable housing, there is no oversight or compliance mechanism to ensure that such affordable housing is in fact provided by the builder. The City's Systemic Code Enforcement Program inspection and compliance oversight is inadequate.

<u>Staff Response:</u> A Director's Determination for the Transit Oriented Communities Affordable Housing Incentive Program (Exhibit B) is an entitlement for certain incentives provided in exchange for the provision of on-site affordable housing. The Conditions of Approval address the maximum density (Condition 2), affordable units (Condition 3), and housing requirements (Condition 5), and do not preclude the provision of a manager's unit. The project proposes one (1) Manager's Unit, as noted on the Transit Oriented Communities Referral Form (Exhibit F1), consistent with California Civil Code Title 25, Section 42.

In addition, the Los Angeles Housing Department (LAHD) has determined, per the Housing Crisis Act of 2019 (SB 330) Replacement Unit Determination, dated October 19, 2020(Exhibit F3), that two (2) units need to be replaced with equivalent type, with one (1) unit restricted to Extremely Low Income Households, and one (1) unit restricted to Very Low Income Households. The project satisfies the TOC Affordable Housing requirement by providing three (3) units restricted to Extremely Low-Income households. Section VIII of the TOC Guidelines requires a Covenant and agreement guaranteeing that affordability criteria will be observed for at least 55 years. This is further reflected in the Conditions of Approval. Specifically, LAHD is responsible for enforcing the affordability requirements for the project, as provided in Condition 5 in the Director's Determination, which reads in pertinent part:

"Prior to issuance of a building permit, the owner shall execute and record a covenant and agreement running with the land to the satisfaction of the Los Angeles Housing Department (LAHD) to make three (3) unit for Extremely Low Income Households for rental as determined to be affordable to such households by LAHD for a period of 55 years. In the event the applicant reduces the proposed density of the project, the number of required set aside affordable units may be adjusted, consistent with LAMC Section 12.22-A.25, to the satisfaction of LAHD, and in consideration of the project's SB 330 Determination. Enforcement of the terms of said covenant shall be the responsibility of LAHD. The Applicant will present a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and any monitoring requirements established by the LAHD".

APPEAL POINT 5: DESIGN CONFORMANCE

Appeal Point 5a (Citywide Design Guidelines Compliance): The project fails to comply with the Design Conformance requirements of the TOC Guidelines which includes the Citywide Design Guidelines. The applicant fails to comply with approximately 59 of 66 Citywide Design Guidelines and Community Plan Design Guidelines."

Appeal Point 5b (Neighborhood Context): The project violates Residential Citywide Design Guidelines to "provide a sensitive transition by maintaining a height compatible with adjacent buildings. Mitigate negative shade/shadow and privacy impacts." The project also violates Residential Citywide Design Guidelines that requires "new buildings are compatible in scale, massing, style, and/or architectural materials with existing structures in the surrounding neighborhood. In older neighborhoods, new developments should likewise respect the character of existing buildings with regards to height, scale, style, and architectural materials"

Appeal Point 5c (Landscaping): The project fails to provide side yard landscaping in opposition to Residential Citywide Design Guidelines.

<u>Staff Response:</u> Compliance with the Citywide Design Guidelines are encouraged yet not mandatory for developments. The applicant references Residential Citywide Design Guidelines for Neighborhood Context that are outdated and superseded by the current Citywide Design Guidelines that focus on Pedestrian First Design, 360 Degree Design, and Climate Adapted Design.

The proposed project was reviewed by the Department of City Planning's Urban Design Studio (UDS) on September 8, 2021. The resulting comments and suggestions focus primarily on the pedestrian experience, 360-degree design, and climate adaptive design. The following includes a discussion of UDS comments and suggestions and the applicant's response:

Pedestrian First Design

- Verify with LADWP if a transformer is required and, if so, where it will be placed.
- The driveway placement is good

360 Degree Design

- Verify how the 6th floor deck trees will be recessed and how will it affect the floor below.
- Consider ways to improve the side (north and south) elevations with additional windows or other treatments.
- Consider moving the gym to be adjacent the rear yard and provide roll-up doors to activate and interface with the rear yard space.

Climate Adapted Design

- Consider larger planters for the trees on the 6th floor deck and rear yard to ensure they
 will have the ability to grow and increase their canopy size per the Soil Depths resource
 guide.
- The open front stairwell is good.

The applicant responded that LADWP does not require a transformer for the site, and that the 6th floor deck trees are elevated and will not affect the floor below. The applicant responded that adding windows to the side yards is not feasible as they are structural walls, and that the gym is designed to activate the courtyard so that the rear yard will be a tranquil garden space.

As provided under Appeal Point 1, the project is requesting a TOC incentive for a reduced northwest side yard of 6 feet 4 inches in lieu of the 9 feet otherwise required. The project is not requesting a reduction in and is therefore consistent with the front, rear, or southerly side yard required by the Expo TNP and LAMC, respectively. The project has a 15 foot front yard setback, providing landscaping, ADA ramping, and wide steps for pedestrian accessibility. The driveway is located at the southerly edge of the building separate from the pedestrian access. As shown in Exhibit "A", the central courtyard, balconies, and stepback provide breaks in the building massing, and articulation is provided through window sizes and dimensions. Therefore, the project is organized and shaped to recognize and respect the surrounding context, consistent with the Citywide Design Guidelines.

Furthermore, the project site is subject to the Exposition Corridor Transit Neighborhood Plan established by Ordinance 186,402 and effective December 26, 2019, which established review procedures, design standards, and environmental standards for the subject site. Therefore, as conditioned and as required by the Expo TNP, the project is subject to administrative review for compliance with the Expo TNP standards during the building permit review process. Specifically, Condition 15 in the Director's Determination, reads in pertinent part:

"Specific Plan. Prior to the issuance of a building permit, the applicant shall demonstrate compliance with the Exposition Corridor Transit Neighborhood Plan Specific Plan ("Expo TNP") pursuant to Ordinance No. 186,402, including but not limited to:

- a. Street-fronting residential units on the ground floor shall each have a primary entrance facing the street per Expo TNP Section 4.3.2.A.1.
- b. Primary pedestrian entrances shall be prominent and distinguished through architectural features such as, but not limited to, front porches, overhead projections, columns, side windows, or recessed planes per Expo TNP Section 4.3.2.A.2.
- c. Visible exterior surfaces of the proposed structure, fencing, recreational equipment, or outdoor art installations shall be constructed of materials such as, but not limited to, high-performance and/ or non-reflective tinted glass (without mirror-like tints or films), pre-cast concrete, fabricated wall surfaces, composite materials, wood, coated metal, and stone to minimize glare and reflected heat per Expo TNP 4.3.3.B.2.
- d. At least 50% of hardscape areas shall include permeable paving, except where not feasible due to water table levels, contamination, or permeability of the soil per Expo TNP 4.3.4.A.2."

As previously stated, the project will need to be reviewed for compliance with LAMC 12.21. G in relation to open space, trees, and landscaping. Furthermore, in exchange for the open space and yard incentives, the project is also conditioned to provide 10 percent more landscape points, as provided in Condition 13 in the Director's Determination, which reads in pertinent part.

"Revised landscape plans shall be submitted to show the size and location of all plants. The landscape plan shall indicate landscape points for the Project equivalent to 10% more than otherwise required by LAMC 12.40 and Landscape Ordinance Guidelines "O". All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be landscaped, including an automatic irrigation system, and maintained in accordance with a final landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning. The final landscape plan shall be in substantial conformance with the submitted Landscape Plan, Exhibit "A," and shall incorporate any modifications required as a result of this grant."

Lastly, the subject site is located within a half-mile (2,640 feet) of the Los Angeles County Metropolitan Transportation Authority ("Metro") "E" (Expo) Light Rail Transit Line Expo/Sepulveda Station and is eligible as a Tier 3 development in the TOC Guidelines, as indicated on the TOC Referral Form dated January 12, 2021 (Exhibit F1). Therefore, the site is within a Transit Priority Area as defined by Public Resources Code ("PRC") Section 21099. Senate Bill (SB) 743 sets forth guidelines for evaluating aesthetic impacts of a project located in a transit priority area (TPA) under CEQA as follows: "Aesthetic and parking impacts of a residential, mixed-use residential, or employment center project on an infill site within a transit priority area (TPA) shall not be considered significant impacts on the environment." Pursuant to Public Resources Code Section 21099(a)(7), a TPA is defined as an area within one-half mile of a major transit stop that is existing or planned, and a major transit stop is defined as a site containing an existing rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods. Pursuant to Public Resources Code Section 21099(a)(4), an infill site is a lot located within an urban area that has been previously developed, or on a vacant site where at least 75 percent of the perimeter of the site adjoins, or is separated only by an improved public right-of-way from, parcels that are developed with qualified urban uses. The City's Zoning Information ("ZI") No. 2452 provides further information regarding SB 743 and states that "visual resources, aesthetic character, shade and shadow, light and glare, and scenic vistas or any other aesthetic impact as defined in the City's CEQA Threshold Guide shall not be considered

an impact for infill projects within TPAs pursuant to CEQA." Therefore, as the project is located in a transit priority area, the lead agency is precluded by SB 743 from finding that a project will result in aesthetic impacts, including those relating to shade and shadow.

Therefore, the project is in substantial compliance with the applicable Citywide Design Guidelines and is conditioned for further review of Expo TNP and landscape points requirements.

CONCLUSION

In consideration of the foregoing, it is submitted that the Director of Planning acted reasonably in approving Case Nos. DIR-2021-5596-TOC-HCA and ENV-2021-5597-CE. Upon in-depth review and analysis of the issues raised by the appellant for the proposed Project at 2456-2460 South Purdue Avenue, no errors by the Director of Planning or his/her designees were found in regards to the appeal points raised. For the reasons stated herein, and as provided in the Findings in the Director's Determination, the proposed Project does comply with the applicable provisions of the Transit Oriented Communities Housing Incentive Program, the Exposition Corridor Transit Neighborhood Plan, the California Environmental Quality Act and Los Angeles Municipal Code. The appeal of the Director's Determination cannot be substantiated and therefore should be denied.

Therefore, it is recommended that the City Planning Commission <u>Deny</u> the appeal; <u>Determine</u>, based on the whole of the administrative record, that the Project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Section 15332 (Class 32), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies; <u>Find</u> that the project is within the scope of the Exposition Corridor Transit Neighborhood Plan Program EIR; <u>Sustain</u> the Determination by the Director of Planning; and <u>Adopt</u> the Director of Planning's Conditions of Approval, Findings, and Exhibit "A."

PROJECT PLANS DIR-2021-5596-TOC-HCA-1A

PURDUE



CALCULATIONS

T.O.C. - TIER 3 - BASE INCENTIVES

T.O.C. - TIER 3 - ADDITIONAL INCENTIVES

PROPOSED HEIGHT

REQUIREMENTS:

TOTAL REQUIRED

PROVIDED

REC ROOM

ROOF DECK

REAR YARD

INCREASED MAX. HEIGHT

1 YARD REDUCTION USED

SIDE YARD SETBACK

OPEN SPACE: 25% REDUCTION

100 SF / UNIT < 3 HABITABLE ROOMS

125 SF / UNIT = 3 HABITABLE ROOMS

175 SF / UNIT > 3 HABITABLE ROOMS

COMMON OPEN SPACE (COURT YARD)

VICINITY MAP



DISTANCE: 0.5 miles from a major transit stop (Exposition/Sepulveda)



ZIMAS MAP

PROJECT INFORMATION

2456 - 2460 PURDUE AVE. LOS ANGELES, CA 90064

BASE BUILDABLE AREA: 10,800 SF

46,528 SF PROVIDED (FAR 4.3:1)

2020 LA CITY GREEN BLDG CODE

- FIRE ALARM SYSTEM & MONITORING

TCAC FACILTIY. 100% PRIVATELY FUNDED.

- SOLAR PHOTOVOLTAIC SYSTEMS

- EMERGENCY RESPONDER RADIO COVERAGE

10.800 SF X 3 (FAR FACTOR) = 32.400 SF ALLOWED

EXPOSITION CORRIDOR TRANSIT NEIGHBORHOOD PLAN

WEST LA TRANSPORTATION IMPROVEMENT AND MITIGATION

THIS IS NOT A PUBLIC HOUSING FACILITIES OWNED AND OR

OPERATED BY, FOR OR ON BEHALF OF A PUBLIC ENTITY AND

NO TAX CREDIT RECIEVED FROM STATE OR FEDERAL, NOT A

THIS BUILDING SHALL BE PROVIDED W/ A MANUAL ALARM

SYSTEM WITH THE CAPACITY TO SUPPORT VISIBLE ALARM

NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA-72

BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR

EMERGENCY RESPONDERS. SEE LOS ANGELES FIRE CODE

PROVIDE STANDBY POWER IN ACCORDANCE WITH CBC CH 27

TOC 50% INCREASE = 48,600 SF MAX. ALLOWED

FAR (3:1 REQ'D):

2020 LABC

2021 LAMC

SPECIFIC PLAN:

DEFERRED SUBMITTALS:

- EXISTING SITE DEMO

- FIRE SPRINKLERS

FIRE ALARM NOTE:

TWO-WAY RADIO NOTE:

AND CBC 3003 (1009.2.1).

ELEVATOR NOTE:

SECTION 510 FOR MORE DETAILS

- SITE WALL

- SHORING

- GRADING

APPLICABLE CODES:

ABBR	REVIATIONS	SYMBOL LE	EGEND
ARCH. A.F.F.	Architectural Above Finished Floor	REVISION	\triangle
B. O. BLDG. BLK.	Bottom of Building Block	DOOR	(xxx)
BM. CLR.	Beam Clear	WINDOW	(xxx)
CLG. COL. CONC. CONT.	Ceiling Column Concrete Continuous	EXTERIOR ELEVATION	DRAWING SHEET
D DIA. DIM DW	Dryer Diameter Dimension(s) Dishwasher	BUILDING SECTION	X
DWG ELEV EQ. (E)	Drawing Elevation Equal Existing	WALL SECTION	X AXXX N
EXT. FIN. F. F. F. G. FLR.	Exterior Finish Finish Floor Finish Grade Floor	INTERIOR ELEVATION	W X E
FT. FTG. GALV. GYP. BD. H. H.	Foot Footing Galvanized Gypsum wallboard Head height	SECTION DETAIL INDICATOR	AXXX
HDR. HT.	Header Height	WALL TYPE	X
INT. L.A.	Interior Landscape Architect	CEILING HEIGHT	● CLG. HT. X'-X"
LT. WT. MIN. MAX	Light Weight Minimum Maximum	FINISH MATERIAL	(xx-xx)
MECH. MFR. MICRO	Mechanical Manufacturer Microwave	ELEVATION DATUM LINE	X'-X" T.O. SLAB
MTL. NO.	Metal Number	KEY NOTE	←——xx
O. C. O/ PLYWD.	On center Over Plywood	GREEN BUILDING KEYNOTE	← GBXX
PR. PTD. R	Pair Painted Risers	SLOPE	\longrightarrow
R. O. R. R.	Rough Opening Research Report	ALIGN	

PLAN DETAIL

MAX. ELEVATION

FLOOR ELEVATIONS

& METER LOCATION

MAIN SERVICE ELEC. PANELW/ MIN.

RAIN SENSOR DEVICE SEE L1 & I1-I4 RSD

PROPERTY LINE -----

BUSBAR RATING OF 200 AMPS

FUTURE ELECTRICAL VEHICLE

IRRIGATION CONTROLLER

S.Z.

W.H.

_ - _ _ - _ _ - _ _ - _

_ _ _ _ _ _ _ _ _

SOLAR INVERTER

WATER HEATER

SEE L1 & I1-I4

SUPPLY EQUIP.

CENTERLINE

SETBACK LINE

LOCATION

TRANSITION

INDICATOR

SLOPE

	R AREA EXCLUDING EXTERIOR W. EA DEFINITION (LMC 12.03)	ALLO, OTAL TO, MECHANICAL, OTA	NO AND FARRING	Add Lo	Enter the	e Lot information after adding re	DWS::		
ZONING AR	EA CALCULATIONS			Lot	Frontage (ft)	Setback (ft)		Res	ults
LEVEL	AREA	OCCUPANCY		1	100	22.9 ×	Numbe	er of lots: 13	"Prevailing
				2	50	20.9 ×	Prévailin	g Setback: 19.60 ft	Setback:
GARAGE	233 SF	STORAGE GROUP	(S-2)	3	50	10.5 ×	Calculati	ori	19.60 ft"
LEVEL 1	7,846 SF	RESIDENTIAL GROUP	\ <i>\</i>	4	50	20.8 *	100000000000000000000000000000000000000	o of lots entere	0.72
LEVEL 2	8,215 SF 8,210 SF	RESIDENTIAL GROUP		,				rontage entered	
LEVEL 3 LEVEL 4	8,210 SF 8,208 SF	RESIDENTIAL GROUP RESIDENTIAL GROUP	\ <i>\</i>	5	50	20.8 *		om total frontag lots used in the	ge entered: 280.00 ft
LEVEL 5	8,110 SF	RESIDENTIAL GROUP	` ,	6	50	23.9 ×	0.00		12.60 ft - 22.20 ft
LEVEL 6	5,706 SF	RESIDENTIAL GROUP		7	50	22.2 ×	Access to the contract of the		the calculation: 300.00
TOTAL	46,528 SF			8	50	9.6 *	Lots U	sed	
				9	50	24.1 ×	Lot	Frontage (ft)	Setback (ft)
UNIT & BED	ROOM COUNT			10	50	22.7 *	200		
UNIT TYPE		UNIT COUNT	BEDROOM COUNT				2	50.00 50.00	20.90 20.80
OMIT TIFE		ONIT COOK!	BEDITOOM COURT	.11	50	20.3 *	5	50.00	20.80
1 BD / 1 BA		4	4	12	50	12.6		50.00	22.20
2 BD / 2 BA		2	4	13	50	25.7 ×	11	50.00	20.30
4 BD / 2 BA		1	4				12	50.00	12.60
4 BD / 3 BA		1	4	Clear		Calculate	1000	and the last of the last	and the same of th
5 BD / 1 STU		9	45				VIE	ew Calculation	Details
<u>5 BD / 1 STL</u> TOTAL	JDY / 5 BA	10 27	50 111	DREVAILING ED	ONT YARD SET B	ACK 19.6'			
TOTAL		<u> </u>			ONT YARD SETBA				
<u>BIKE PARK</u>	<u>ING</u>			*DED EVDOCITION	ON CORRIDOR O	DEOISIO DI ANI 404			
0N0 TEE:	4 (4 DED 113 UT)	07 DEOLUDED				PECIFIC PLAN 4.3.1. ACK IS WITHIN 5' OF		NG FRONT YAI	RD SETBACK
LONG TERN	(1 PER UNIT)	27 REQUIRED 30 PROVIDED		4.1' FROM PRE	VAILING SETBAC	CK		2211121111111111	- 32(2)2(1)
SHORT TEE	RM (1 PER 10 UNITS)	30 PROVIDED 3 REQUIRED		SEE PLANS A2.0	00-A2.07 FOR LO	CATION OF ALL SET	BACKS.		
JIIOINI IER	W (IFLICIOUNITS)	3 PROVIDED							

(45' + 22')

QTY REQUIRED AREA

1,451 SF

429 SF (MIN. 400 SF)

9'-0" REQUIRED (5' + 1' FOR EACH STORY OVER 2ND)

6'-4" REQUIRED WITH 30% T.O.C. TIER 3 DECREASE

6 600 SF

SET BACK REDUCTION: 30% REDUCTION OF TWO YARDS

G TERM (1 PER UNIT) 27 REQUI		LING SETBACK
30 PROVI		2.07 FOR LOCATION OF ALL SETBACKS.
RT TERM (1 PER 10 UNITS) 3 REQUIR		
3 PROVID	ED	
C TIER 3 - BASE INCENTIVES		
FAR: 50% INCREASE		
LOT AREA	15,000 SF	
BUILDABLE AREA	10,800 SF	
FAR RATIO	3:1 (REQUIRED)	2
BUILDABLE AREA x FAR FACTOR	32,400 SF (10,800 SF x 3)	
MAXIMUM ALLOWED	48,600 SF ALLOWED (32,400 SF + 50% T.O.C. INCREASE)	(J)
MAXIMUM FAR RATIO ALLOWED	4.5:1	
PROVIDED ZONING AREA	46,528 SF (SEE DIAGRAM OF CALCULATIONS ON A0.42)	Z
PROVIDED FAR RATIO	4.3 : 1	
DENSITY: 70% INCREASE		
MIN. LOT AREA PER D.U.	800 SF	
MAX. # OF UNITS	19 UNITS (15,000 SF / 800 SF, ROUNDED UP)	
MAX. # OF UNITS WITH 70% T.O.C. INCRE	<u> EASE </u>	<u>:D</u>
PROVIDED	27 D.U. OF WHICH, 10% (3 UNITS) ARE E.L.I. UNITS	
DECIDENTIAL DADIZINO, O E DADIZINO CO	AACEC DED LINIT	
RESIDENTIAL PARKING: 0.5 PARKING SP		
27 UNITS x 0.5 (T.O.C.) REQUIRED PROVIDED PARKING		
	26 SPACES (8 EV PROVIDED)	
PROVIDED PARKING BREAKDOWN	23 STANDARD (8 EV)	
	3 COMPACT	
	1 ACCESSIBLE VAN	
*PER GREEN CODE 30% OF PROVIDED I	PARKING SHALL BE EV, 10% OF PROVIDED PARKING	
SHALL BE EV CHARGING STATIONS. (SEE		
7 STANDARD EV, 1 ADA EV, 3 CHARGING	,	
		, o
C TIER 3 - ADDITIONAL INCENTIVES		
HEIGHT: 22' INCREASE IN MAXIMUM BUIL	LDING HEIGHT	
REQUIRED MAX. HEIGHT	45'	LOT NUMBER REFERENCE FOR
	0=1 (4=1 001)	

PREVAILING SETBACK CALCULATIONS ABOVE TREE COUNT PER LAMC 12.21.G.a.3 REQUIRED 1 TREE / 4 D.U. PROVIDED 7 TREES (27 D.U. / 4) SEE LANDSCAPE L1.00 FOR TREE LOCATIONS **T.O.C. TIER 3 DECREASE OF 25% = **3,206.25 SF OPEN SPACE REQ.**

ALLOWABLE AREA CALCULATION SEE A0.41
FOR BUILDING CODE FLOOR AREA SUMMARY 637 SF (MIN. 600 SF & MAX. 25 % OF REQUIRED 3,206.25 SF = 801.6 SF $A_a = [24,000 + (24,000 \times 0)] \times 2 = 48,000 \text{ SF}$ (TOTAL ALLOWABLE AREA OF THE 5-STORY TYPE III-A PORTION ABOVE THE TYPE I-A GROUND FLOOR) (HORIZONTAL BUILDING SEPARATION SHALL COMPLY WITH CBC 510.2)

PROJECT PARTICIPANTS

PURDUE MANAGEMENT

ONE:	R3-1				
CCUPANCY:	R-2 / S-2	ARCHITECT:	MARK BITTONI		
ONSTRUCTION TYPE:	LEVEL -1-1: TYPE I-A LEVEL 2-6: TYPE III-A	ARCHITECT.	BITTONI ARCHITECTS 4909 W JEFFERSON BLVD. LOS ANGELES, CA 90016		
UMBER OF STORIES:	6		T: 310-841-6857		
EIGHT: AXIMUM HEIGHT + TOC INCREASE: 45' + 22' = 67' ROPOSED HEIGHT: 67'		GENERAL CONTRACTOR:	TBD		
EGAL DESCRIPTION: PN: 4260038030 & 4260038 RACT: TR5842 LOCK: 6 DT: 29, 30	029	STRUCTURAL ENGINEER:	BEN JOHN WORKPOINT ENGINEERING 6007 WASHINGTON BLVD.		
ROJECT DESCRIPTION: EW 6-STORY MULTI FAMILY RESI UILDING (R-2) OVER 1 PARKING	GARAGE BELOW GRADE (S-		CULVER CITY, CA 90232 T: 424-208-4764		
i. WITH 27 DWELLING UNITS, 3 A .L.I. (10%). THIS PROJECT IS A TO ASE INCENTIVES AND 3 ADDITIO	OC TIER 3 PROJECT USING 3	SURVEYOR:	H.J. BURKE, INC. 830 S. DURANGO DR. SUITE 100 LAS VEGAS, NV 89145 T: 310-633-1213		
EQUIRED SETBACKS: SW) FRNT 5'-0" REQ'D HIGHWA' 15'-6" PROVIDED			1. 310-033-1213		
(10'-6" AFTER HIGHWA (4.1' FROM PREVAILIN IW) SIDE 9'-0" REQ'D (5' + 1' FO 30% TOC DECREASE 6'-4" PROVIDED	IG SETBACK OF 19.60') OR EACH STORY OVER 2ND)	SOILS ENGINEER:	APPLIED EARTH SCIENCES 4742 SAN FERNANDO RD. GLENDALE, CA 91204 T: 818-552-6000		
SE) SIDE 9'-0" REQ'D (5' + 1' FC 9'-0" PROVIDE					
IE) REAR 15'-0" REQ'D 15'-0" PROVIDED		CIVIL ENGINEER:	GASPAR OBANDO OBANDO AND ASSOCIATES, INC. 1453 14TH ST. SUITE A SANTA MONICA, CA 90404		
PRINKLERS: FPA 13, FULLY SPRINKLERED TH	ROUGHOUT		T: 310-821-7555		
OT SIZE : 15,0	000 SF	MEP ENGINEER:	JACOB CHAN		

LANDSCAPE CRAIG BIESECKER ENVIRONMENTAL DESIGN STUDIO ARCHITECT: 201 N. WESTMORELAND AVE. SUITE 126 LOS ANGELES, CA 90004 T: 213-302-2754

TPM COLLAB

T: 310-600-8172

*** THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR & UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE W/ IN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS &/OR ADDITIONAL EXPENSES. *** AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER & BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING." (PER ORDINANCE 170,158)(INCLUDES COMMERCIAL ADDITIONS & TI WORK OVER \$10,000.) SEPARATE PLUMBING PERMIT IS REQUIRED. ** PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL (N) CONSTRUCTION. USE OF WATER RESISTANT GYPSUM BACKING BOARD SHALL BE AS STATED IN SECTION 2509.3 *** WATER HEATERS MUST BE STRAPPED TO A WALL (SEC. 507.3, UPC) *** A COPY OF THE EVALUATION REPORT &/OR CONDITIONS OF

Case No. DIR-2021-5596-TOC-HCA

LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

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L3.60 IRRIGATION PLAN 6TH FLOOR L4.00 IRRIGATION DETAILS L4.10 IRRIGATION DETAILS

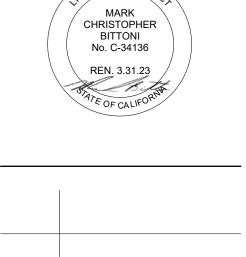
L5.00 PLANTING SCHEDULE AND NOTES L5.10 PLANTING PLAN 1ST FLOOR

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5.03.22	PLANNING SET

07.12.21 PC SUBMISSION 1

04.15.21 | PZA PC RESPONSE 2 03.04.21 | PZA PC RESPONSE 1

DATE DESCRIPTION

PROJECT NO: #Project Code

SHEET NAME

COVER SHEET

PUBLISHED: 5/10/2022

Refrigerator

Revision / Revised

Stainless Steel

To Be Determined

Tongue & groove

Unless noted otherwise

Structural

Treads

Top of

With

Wood

Typical

Verify in field

Required

REQ.

REV.

SHT.

STRUCT.

T&G

T. O.

TYP.

U. N. O.

V. I. F.

W/

WD.

SHEET 1 OF 152



CN-1

SAND BLASTED HIGH DENSITY **RUNNING BOND** CMU COLOR: GRAY

CN-2

STRIATED CONCRETE VERTICAL COLOR: BLACK PL-1

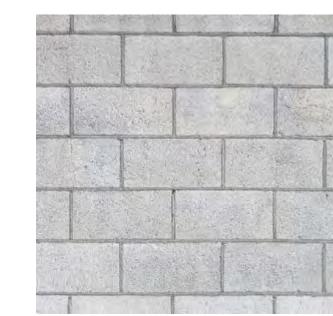
SAND FINISH PLASTER W/ INTEGRAL COLOR: 'MERLEX' P-100 **GLACIER WHITE** MT-1

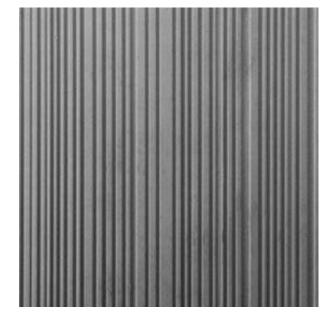
METAL PANEL COLOR: BLACK MT-2

PERFORATED METAL PANEL COLOR: BLACK **EXTERIOR** WOOD SIDING VERTICAL (SEE A7.32 FOR ESR)

GR-1

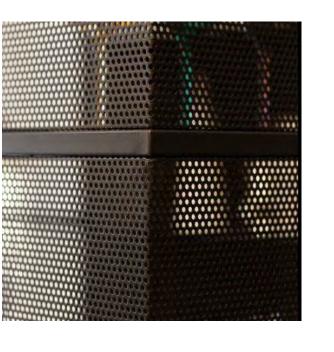
METAL PICKET GUARDRAIL VERTICAL COLOR: BLACK















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05.03.22 PLANNING SET

04.15.21 PZA PC RESPONSE 2

03.04.21 PZA PC RESPONSE 1 DATE DESCRIPTION

PROJECT NO: #Project Code

SHEET NAME

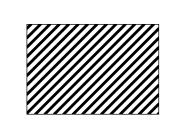
MATERIAL BOARDS & ELEVATION

PUBLISHED: 5/3/2022

A0.20

SHEET 17 OF 152

AREA DIAGRAM LEGEND



WINDOWS



FRONT BUILDING FACADE

AREA DIAGRAM CALCULATIONS

FRONT BUILDING FACADE AREA (ABOVE GROUND FLOOR)

4,389 SF

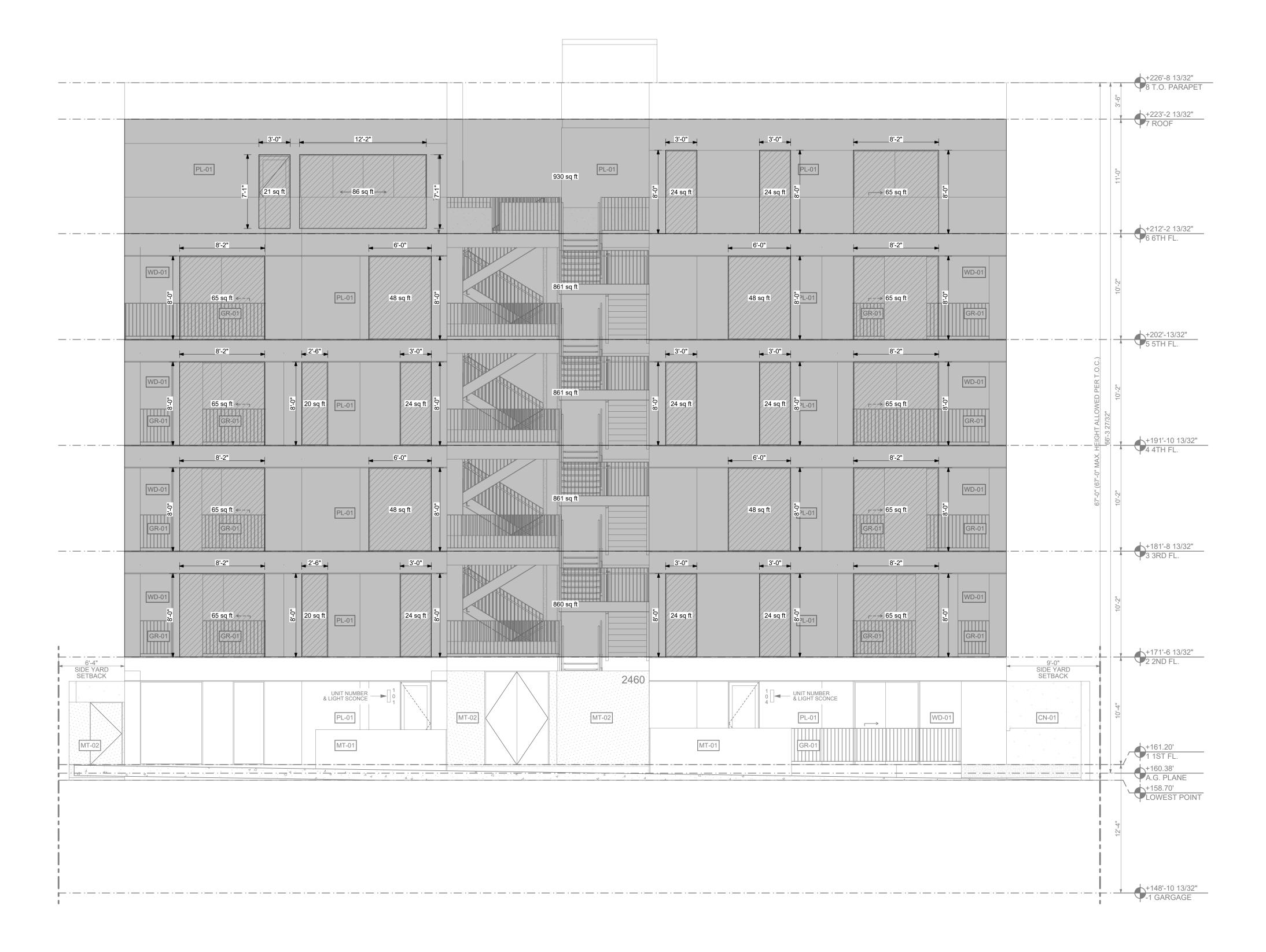
WINDOWS (ABOVE GROUND FLOOR)

SF 1,116

1,116 SF /4,389 SF = 0.25427 x 100 = **25.43** % > **15**%

25.43% OF THE BUILDING FACADE ABOVE THE GROUND FLOOR CONSISTS OF TRANSPARENT OPENINGS, MEASURED FROM THE TOP OF THE FINISHED FLOOR TO THE TOP OF THE WALL PLATE OF FINISHED FLOOR ABOVE, THEREFORE COMPLIES AS IT IS MORE THAN THE REQUIRED MINIMUM 15%*

*PER EXPO TNP SPECIFIC PLAN - SECTION 4.3.2.C2



Southwest Elevation

SCALE: 3/16" = 1'-0"

SHEET NAME

FRONT FACADE **TRANSPARENCY DIAGRAM**

04.15.21 PZA PC RESPONSE 2

03.04.21 PZA PC RESPONSE 1

DATE DESCRIPTION

PROJECT NO: #Project Code

PUBLISHED: 5/10/2022

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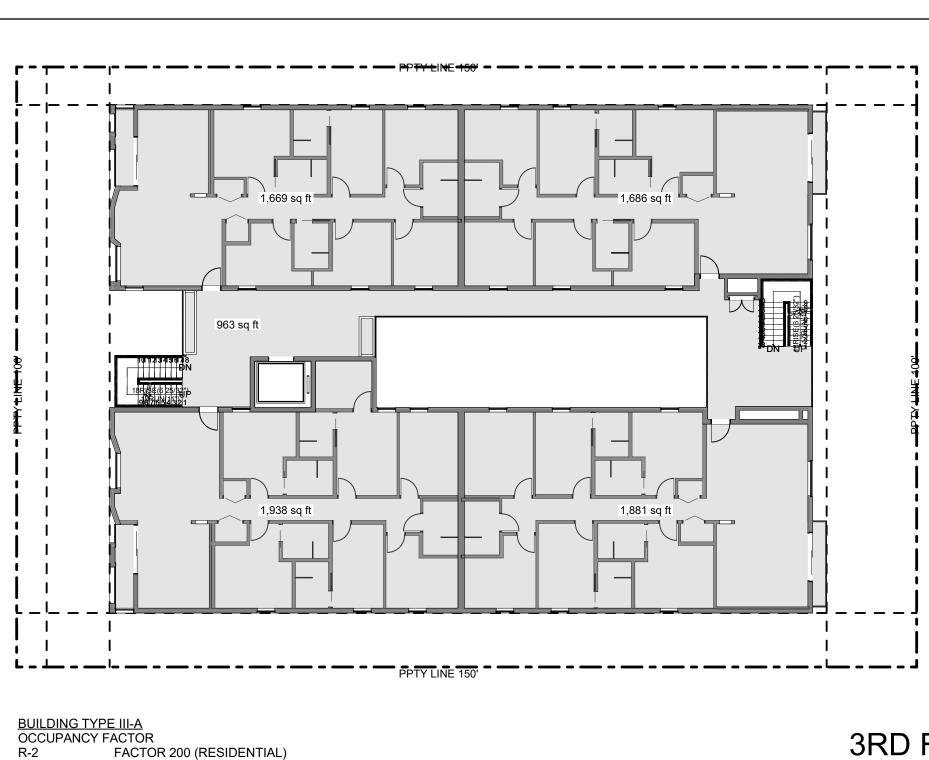
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460

A0.21

EXHIBIT "A" Case No. DIR-2021-5596-TOC-HCA



BUILDING TYPE III-A
OCCUPANCY FACTOR
R-2 FACTOR 200 (RESIDENTIAL)
OCCUPANCY LOAD, EXIT WIDTH
RESIDENTIAL 8,137 SF / 200 = 40.7 = 41 OCC LOAD
TOTAL AREA 8,137 SF = 41 OCC LOAD

EGRESS WIDTH. CBC 1005.3
EXIT COMP. 36 x 0.2 = 7.2
STAIR WIDTH 36 / (2 STAIRS) = 18 x 0.3 = 5.4" REQ
PROVIDED = 44" (44" MIN)

3RD FL.
SCALE: 1/16" = 1'-0"

963 sq ft

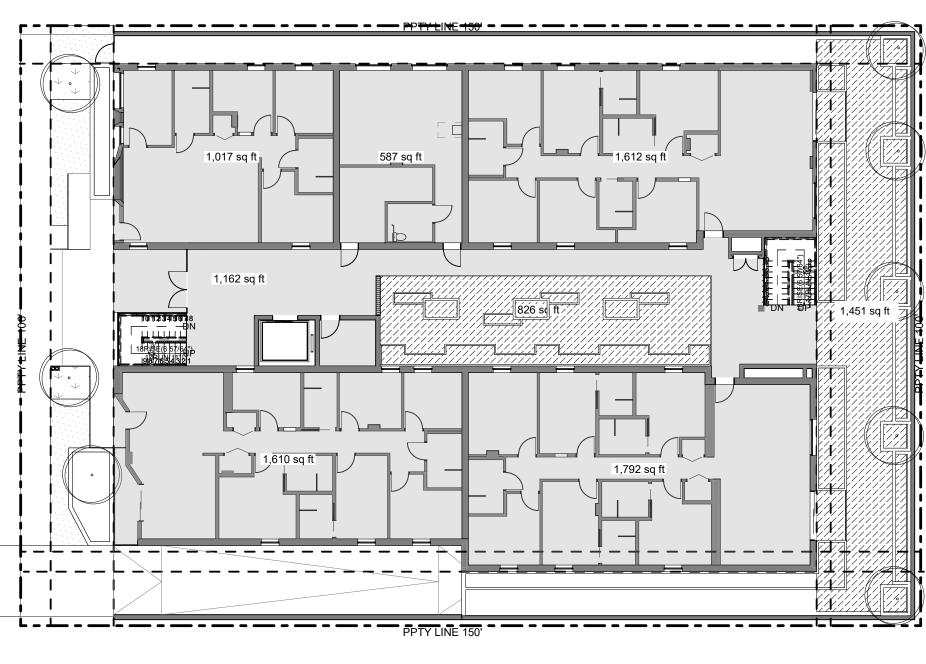
PPTY LINE 150'

BUILDING TYPE III-A
OCCUPANCY FACTOR
R-2 FACTOR 200 (RESIDENTIAL)
OCCUPANCY LOAD, EXIT WIDTH
RESIDENTIAL 8,141 SF / 200 = 40.7 = 41 OCC LOAD
TOTAL AREA 8,141 SF = 41 OCC LOAD

EGRESS WIDTH. CBC 1005.3
EXIT COMP. 36 x 0.2 = 7.2
STAIR WIDTH 36 / (2 STAIRS) = 18 x 0.3 = 5.4" REQ

PROVIDED = 44" (44" MIN)

2ND FL.
SCALE: 1/16" = 1'-0"



PROVIDED = 44" (44" MIN)

1ST FL.

SCALE: 1/16" = 1'-0"

GA
TO

BUILDING TYPE I-A
OCCUPANCY FACTOR
S-2 FACTOR 200 (GARAGE)
OCCUPANCY LOAD, EXIT WIDTH
GARAGE 9,485 SF / 200 = 47.43 OCC LOAD
TOTAL AREA 9,485 SF = 48 OCC LOAD

EGRESS WIDTH. CBC 1005.3
EXIT COMP. 58 x 0.2 = 11.6
STAIR WIDTH 58 / (2 STAIRS) = 29 x 0.3 = 8.7" REQ

PROVIDED = 44" (44" MIN)

BUILDING CODE FLOOR AREA SUMMARY

58,361 SF

9,485 SF OK (S-2, TYPE I-A = UNLIMITED)

9,485 sq ft

1ST FLOOR 10,057 SF OK (R-2, TYPE I-A = UNLIMITED)
2ND FLOOR 8,141 SF OK (R-2, TYPE III-A = 48,000 SF MAX.)
3RD FLOOR 8,137 SF OK (R-2, TYPE III-A = 48,000 SF MAX.)
4TH FLOOR 8,142 SF OK (R-2, TYPE III-A = 48,000 SF MAX.)
5TH FLOOR 8,032 SF OK (R-2, TYPE III-A = 48,000 SF MAX.)
6TH FLOOR 6,367 SF OK (R-2, TYPE III-A = 48,000 SF MAX.)

GARGAGE

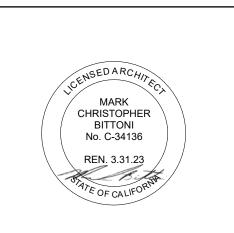
SCALE: 1/16" = 1'-0"

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05.03.22 PLANNING SET

07.12.21 PC SUBMISSION 1

04.15.21 PZA PC RESPONSE 2

03.04.21 PZA PC RESPONSE 1

PROJECT NO: #Project Code

DATE DESCRIPTION

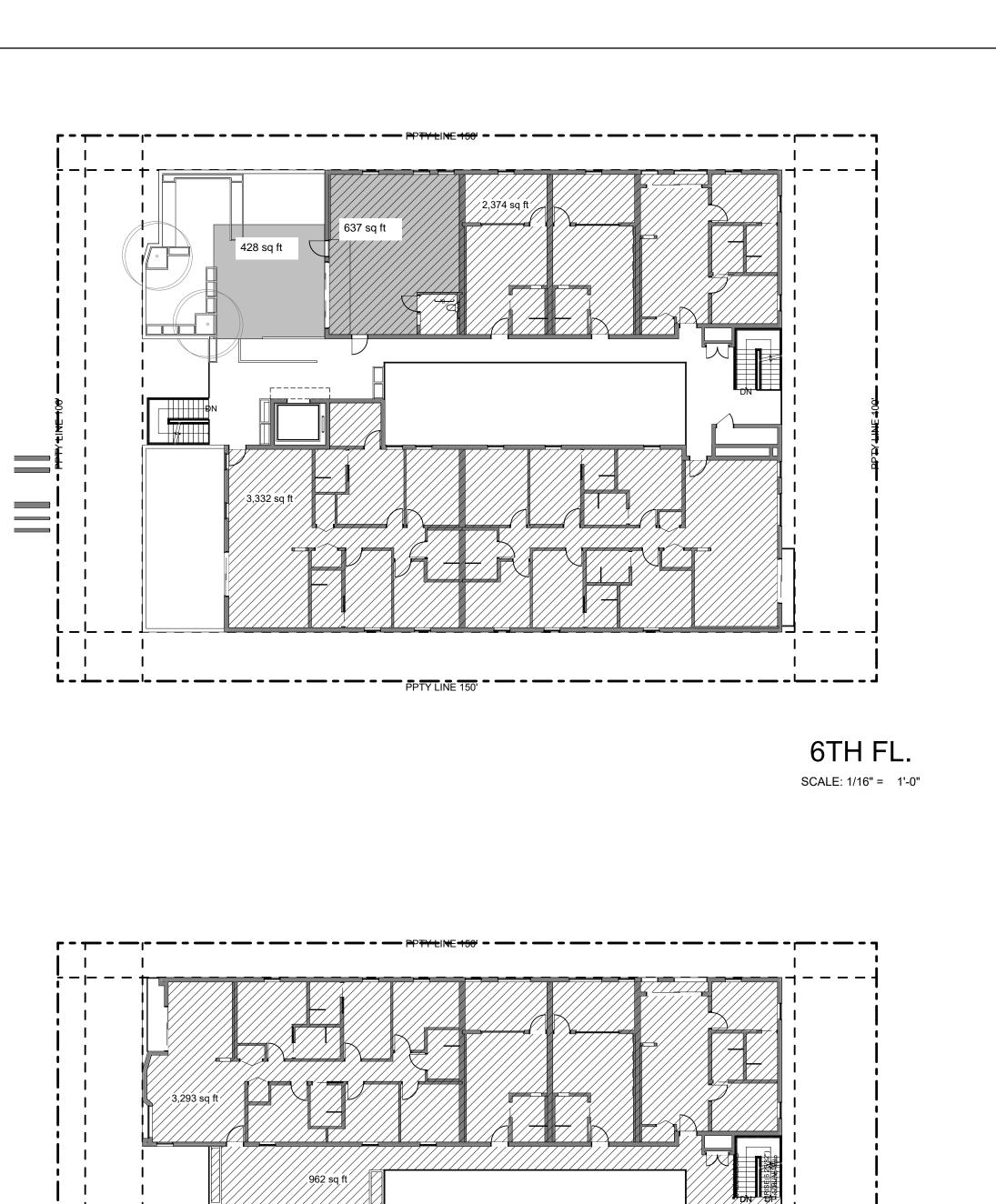
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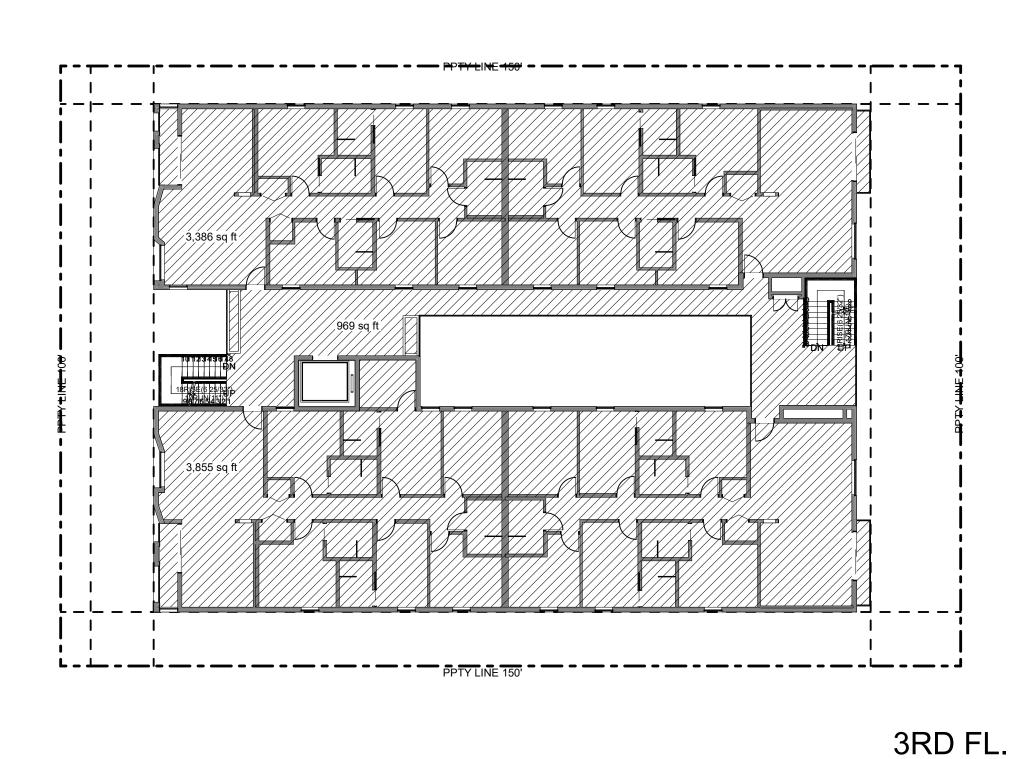
AREA + OCC. DIAGRAMS

PUBLISHED: 5/10/2022

A0.41

SHEET 25 OF 152

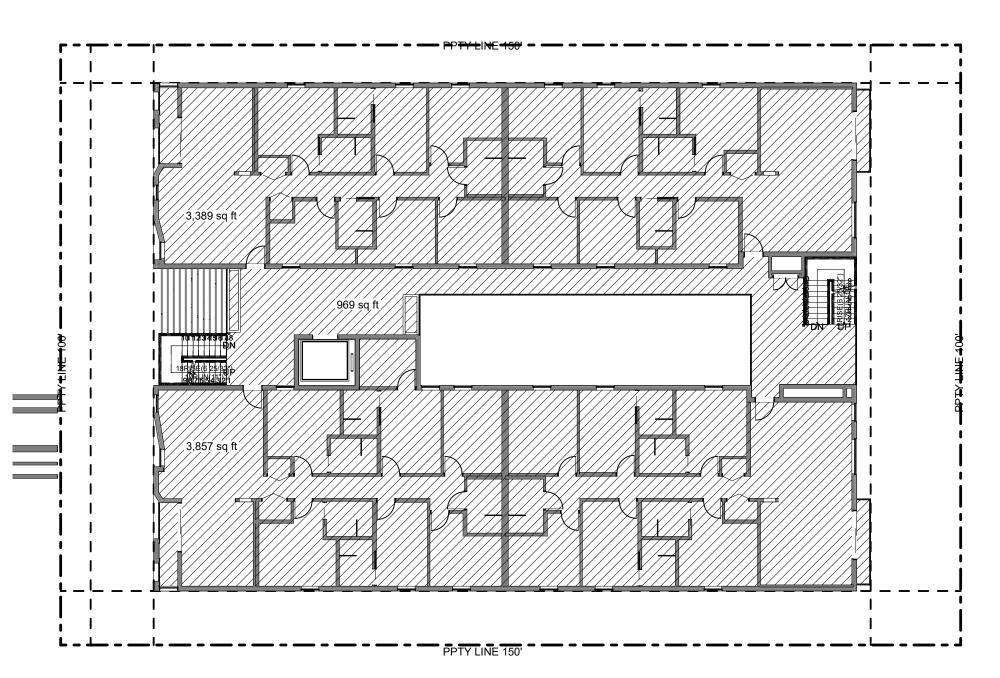


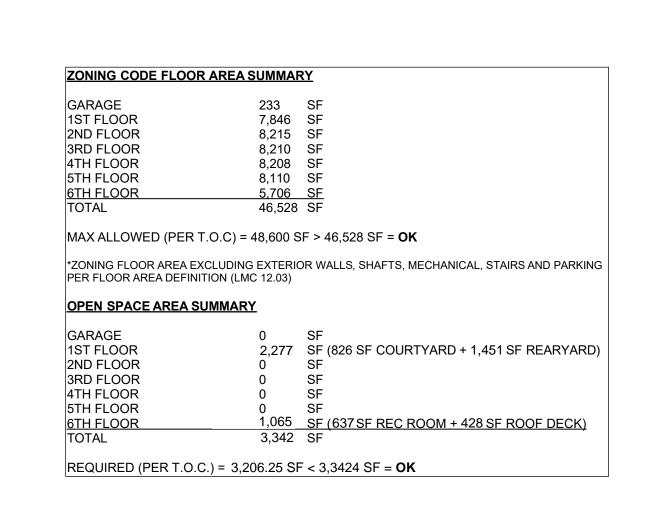


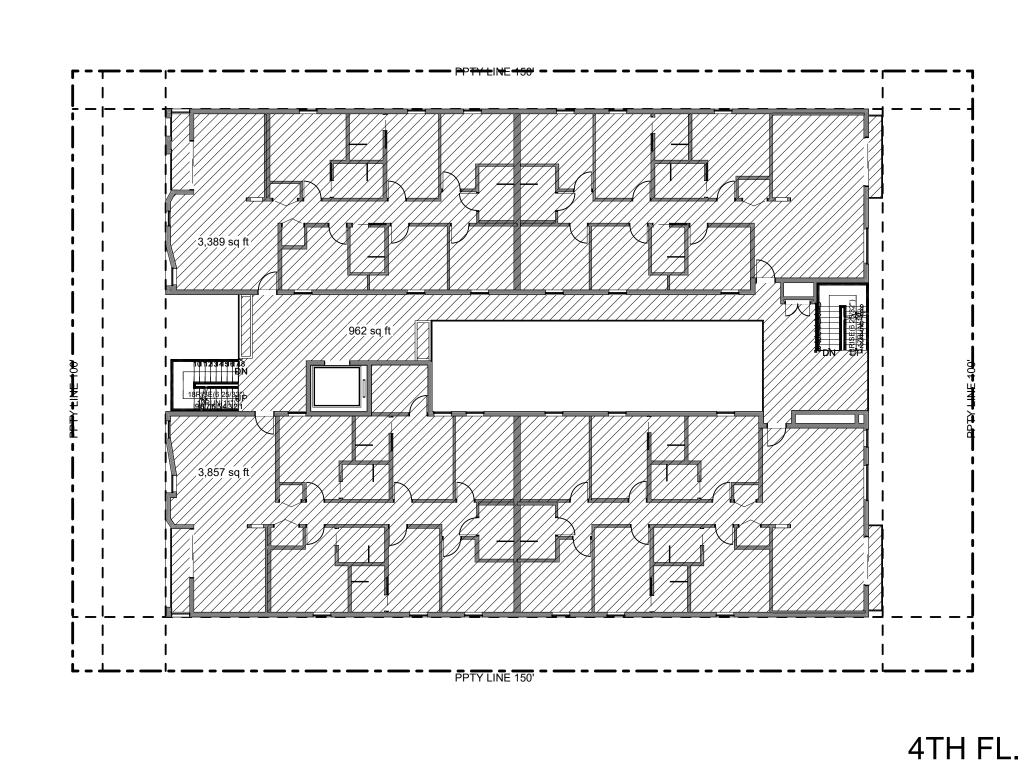
SCALE: 1/16" = 1'-0"

2ND FL.

SCALE: 1/16" = 1'-0"



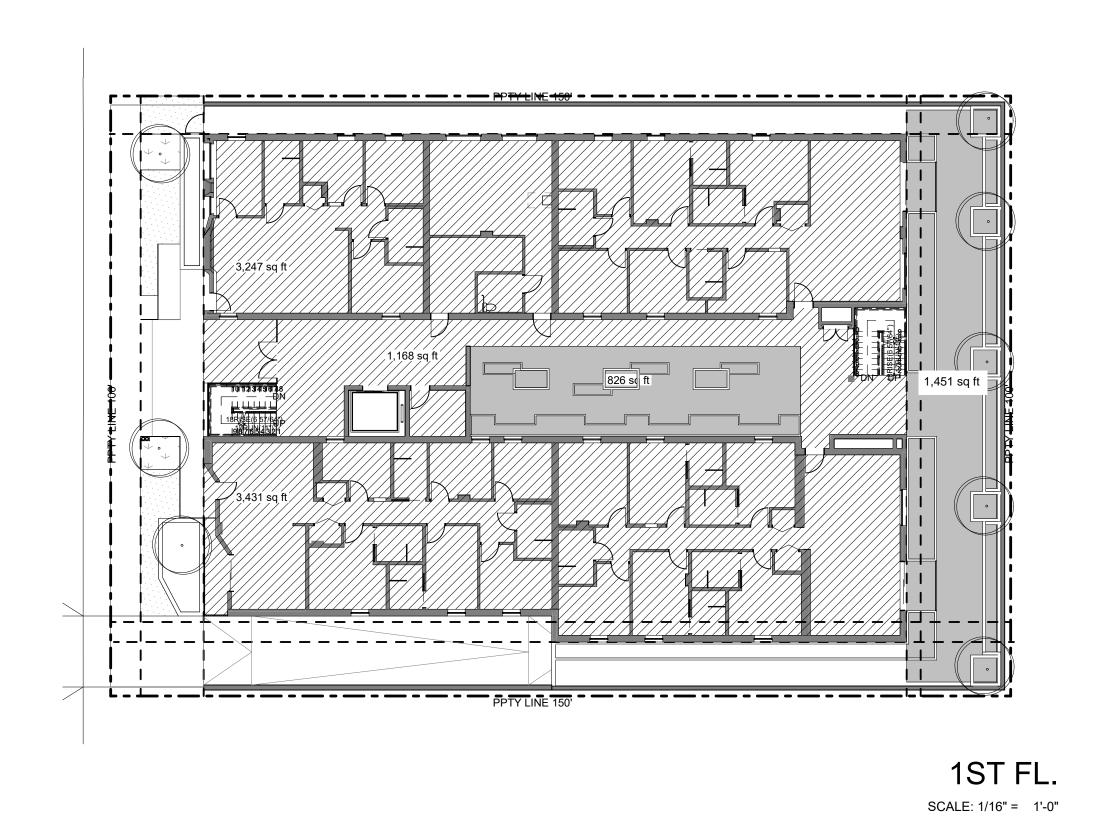


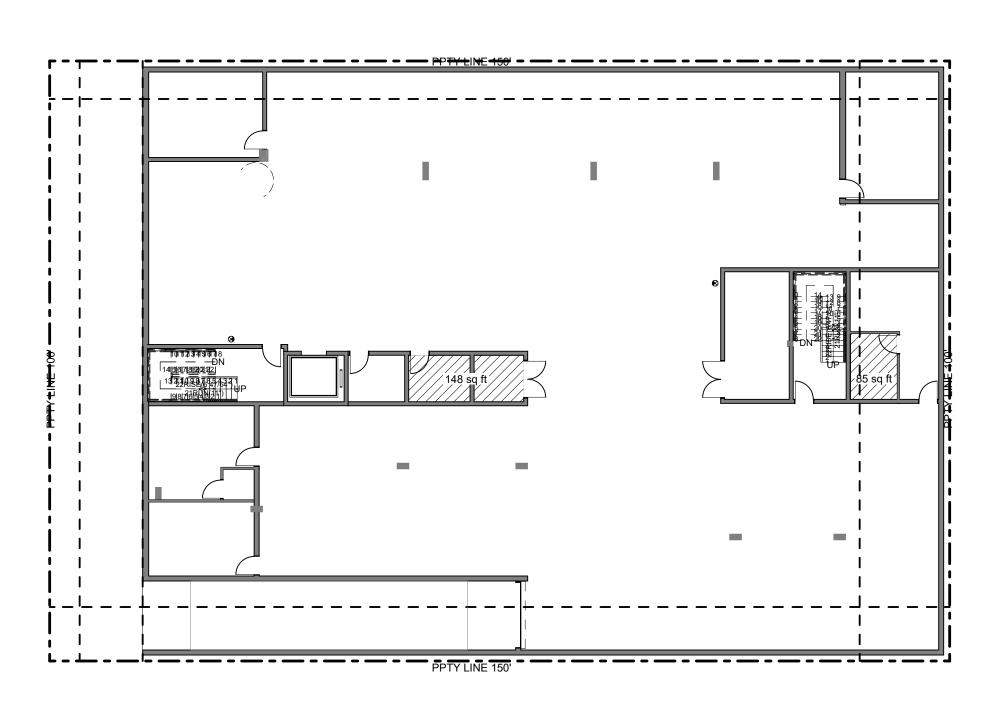


5TH FL.

SCALE: 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"





GARGAGE

SCALE: 1/16" = 1'-0"

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Case No. DIR-2021-5596-TOC-HCA

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2456 - 2460 PURDUE

CHRISTOPHER
BITTONI
No. C-34136
REN. 3.31.23

05.03.22 PLANNING SET

05.03.22 PLANNING SET

07.12.21 PC SUBMISSION 1

04.15.21 PZA PC RESPONSE 2

03.04.21 PZA PC RESPONSE 1

PROJECT NO: #Project Code

DATE DESCRIPTION

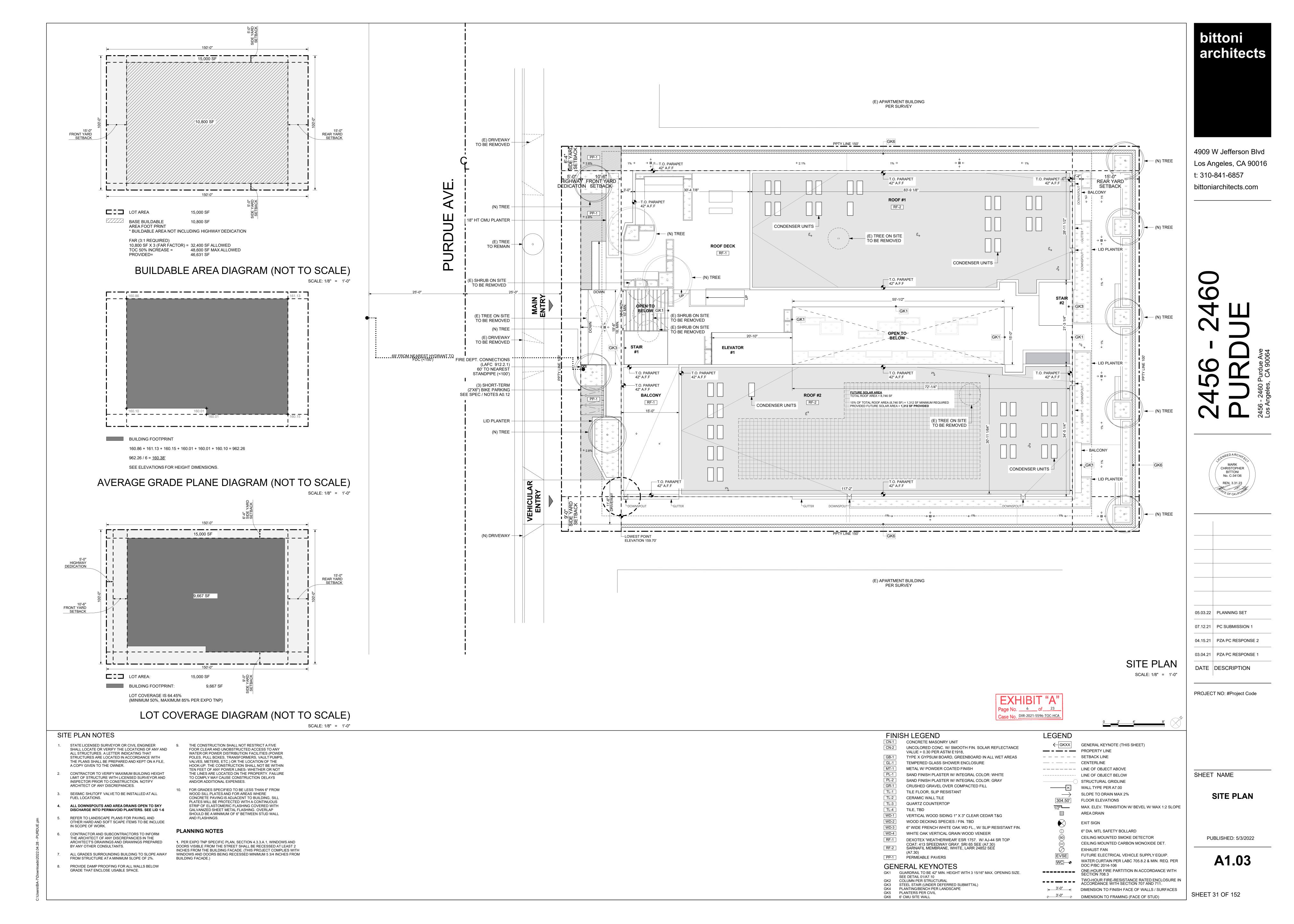
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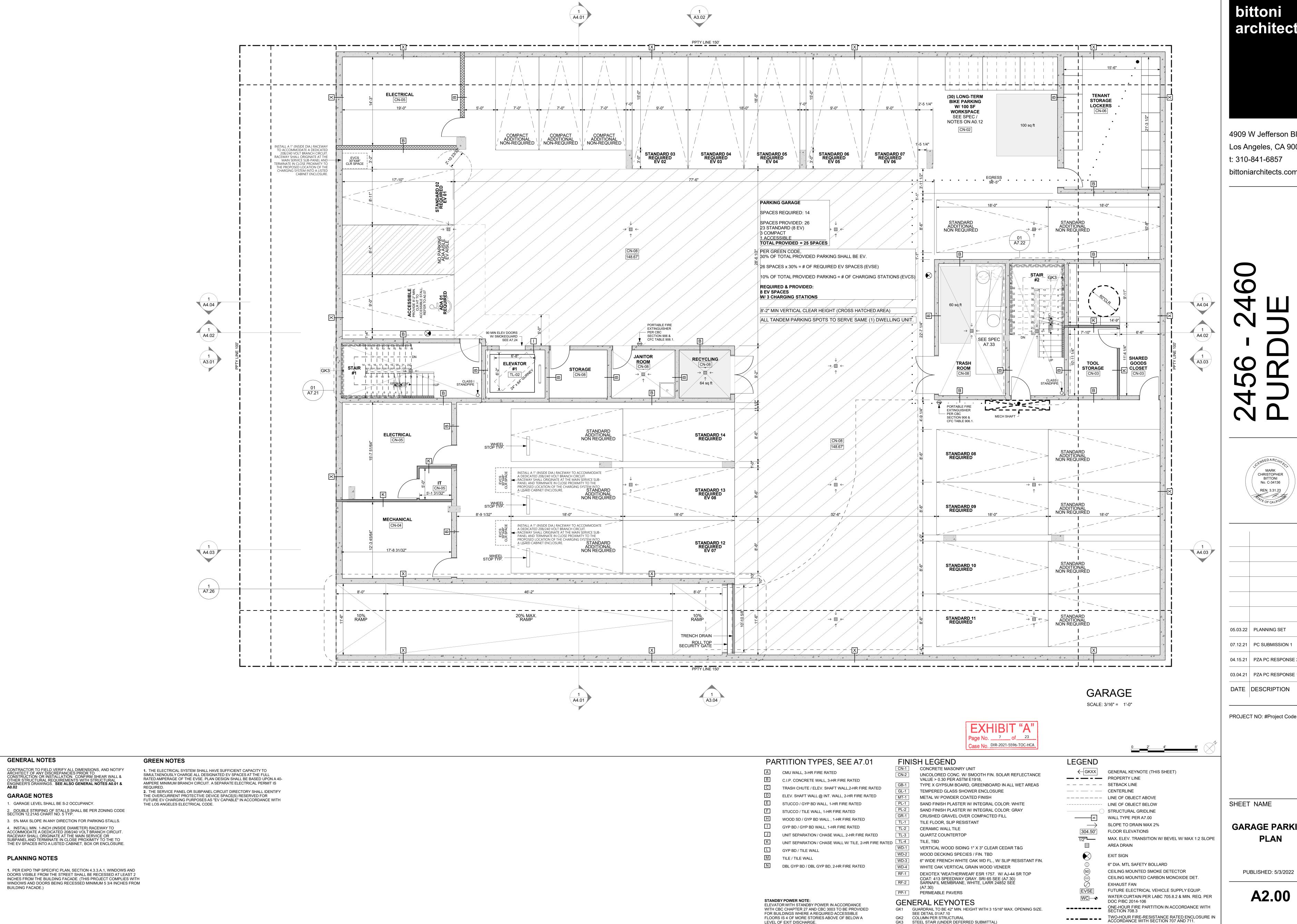
ZONING DIAGRAMS

PUBLISHED: 5/10/2022

A0.42

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05.03.22 PLANNING SET

04.15.21 | PZA PC RESPONSE 2 03.04.21 | PZA PC RESPONSE 1

GARAGE PARKING PLAN

PUBLISHED: 5/3/2022

A2.00

SHEET 32 OF 152

DIMENSION TO FINISH FACE OF WALLS / SURFACES

GK3 STEEL STAIR (UNDER DEFERRED SUBMITTAL)

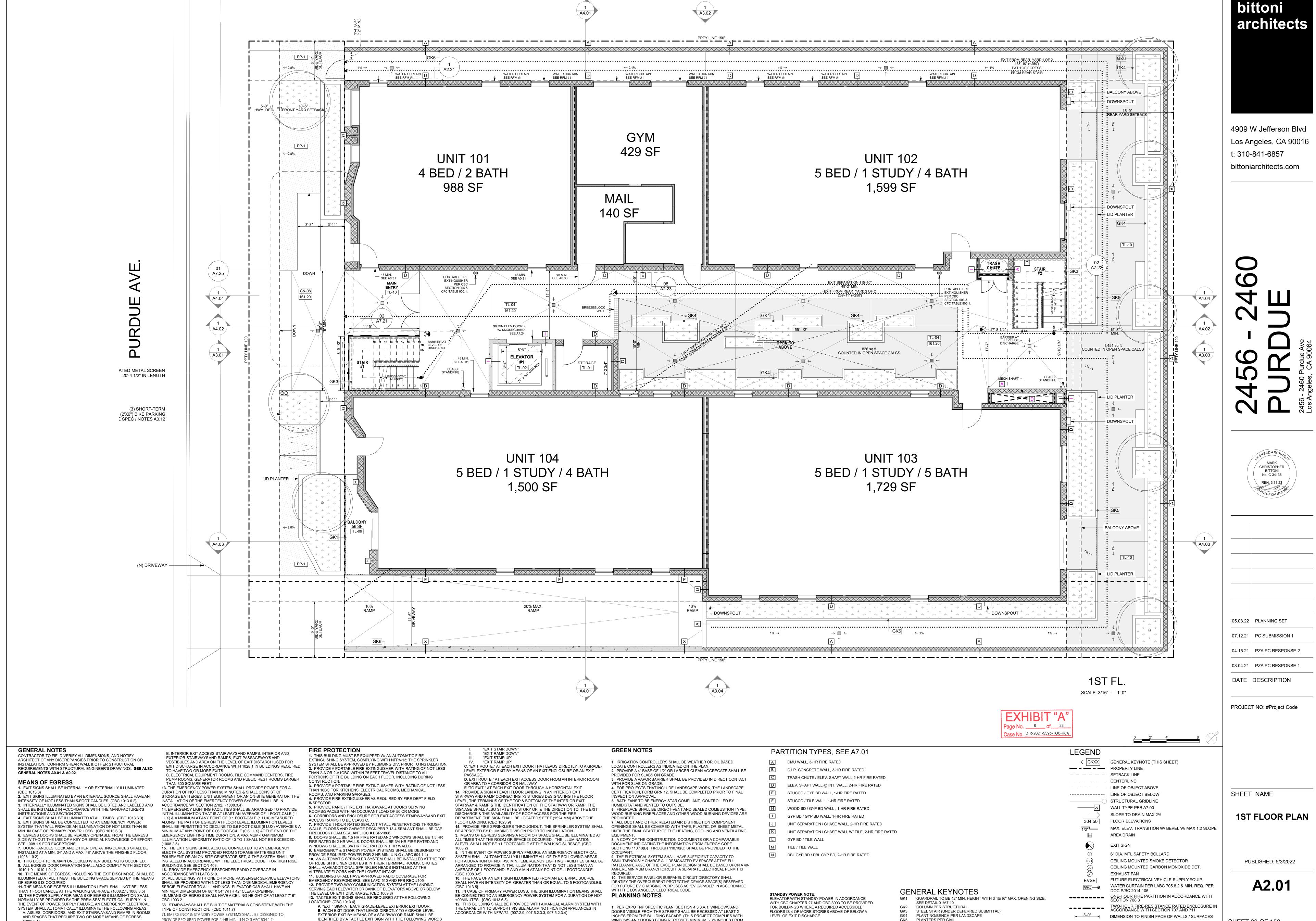
GK4 PLANTING/BENCH PER LANDSCAPE

GK5 PLANTERS PER CIVIL

GK6 6' CMU SITE WALL

LEVEL OF EXIT DISCHARGE.

TO BE PROVIDED ON ROOF.



WINDOWS AND DOORS BEING RECESSED MINIMUM 5 3/4 INCHES FROM

BUILDING FACADE.)

TO BE PROVIDED ON ROOF.

PROVIDE REQUIRED POWER FOR 2-HR MIN. U.N.O (LAFC 604.1.4)

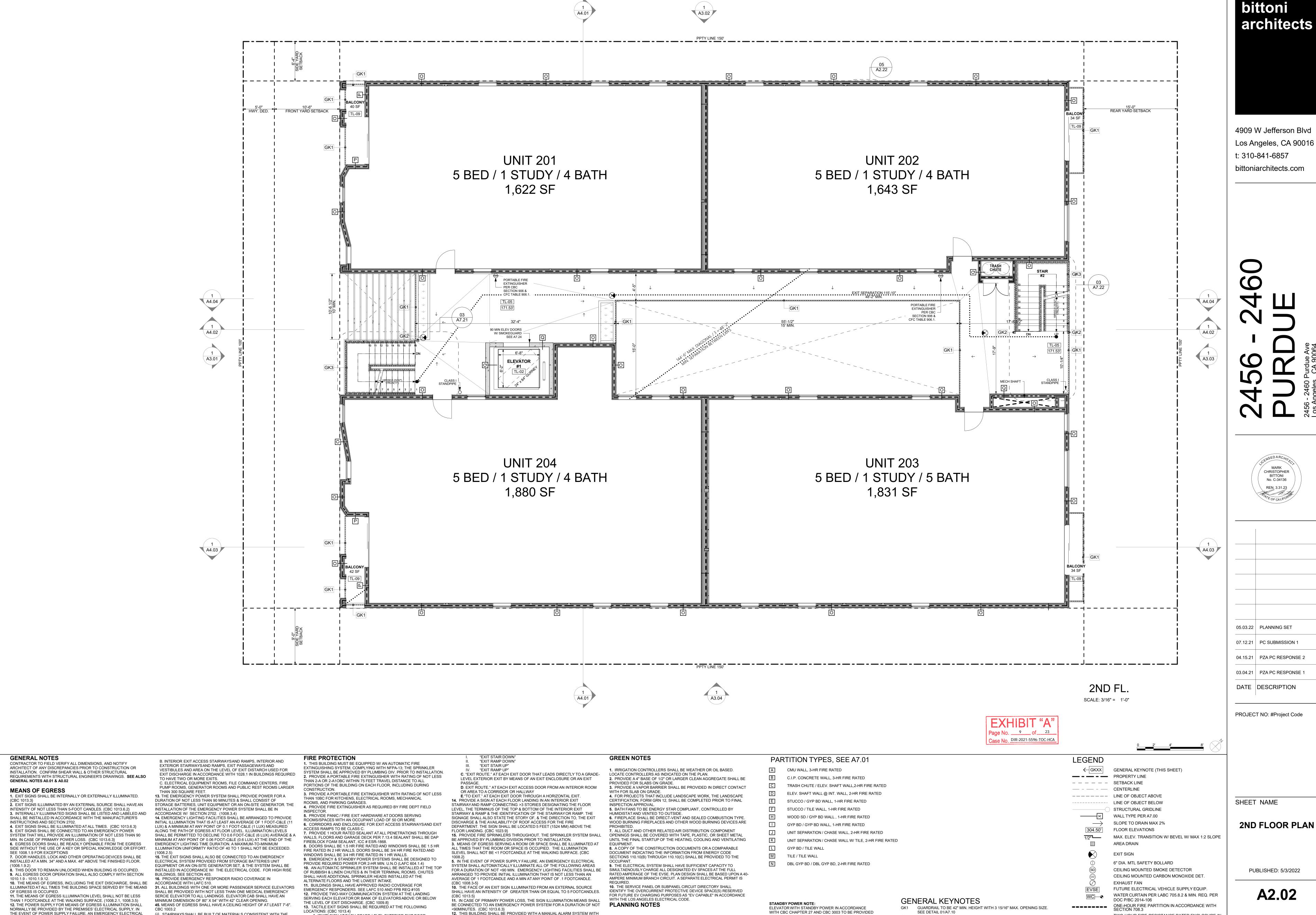
SHEET 33 OF 152

★ 3'-0"

DIMENSION TO FRAMING (FACE OF STUD)

GK5 PLANTERS PER CIVIL

GK6 6' CMU SITE WALL



1. PER EXPO TNP SPECIFIC PLAN, SECTION 4.3.3.A.1, WINDOWS AND

DOORS VISIBLE FROM THE STREET SHALL BE RECESSED AT LEAST 2

INCHES FROM THE BUILDING FACADE. (THIS PROJECT COMPLIES WITH

WINDOWS AND DOORS BEING RECESSED MINIMUM 5 3/4 INCHES FROM

BUILDING FACADE.)

FOR BUILDINGS WHERE A REQUIRED ACCESSIBLE

LEVEL OF EXIT DISCHARGE.

TO BE PROVIDED ON ROOF.

FLOORS IS 4 OF MORE STORIES ABOVE OF BELOW A

COLUMN PER STRUCTURAL

GK5 PLANTERS PER CIVIL

GK6 6' CMU SITE WALL

GK3 STEEL STAIR (UNDER DEFERRED SUBMITTAL)

PLANTING/BENCH PER LANDSCAPE

12. THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH

THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN

ACCORDANCE WITH NFPA 72. (907.2.9, 907.5.2.3.3, 907.5.2.3.4)

68. STAIRWAYS SHALL BE BUILT OF MATERIALS CONSISTENT WITH THE

71. EMERGENCY & STANDBY POWER SYSTEMS SHALL BE DESIGNED TO

PROVIDE REQUIRED POWER FOR 2-HR MIN. U.N.O (LAFC 604.1.4)

TYPE OF CONSTRUCTION. {CBC 1011.7}

SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS:

AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS.

A. AISLES, CORRIDORS, AND EXIT STAIRWAYS AND RAMPS IN ROOMS

A. "EXIT" SIGN AT EACH GRADE-LEVEL EXTERIOR EXIT DOOR.

B. EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL

EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE

IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS

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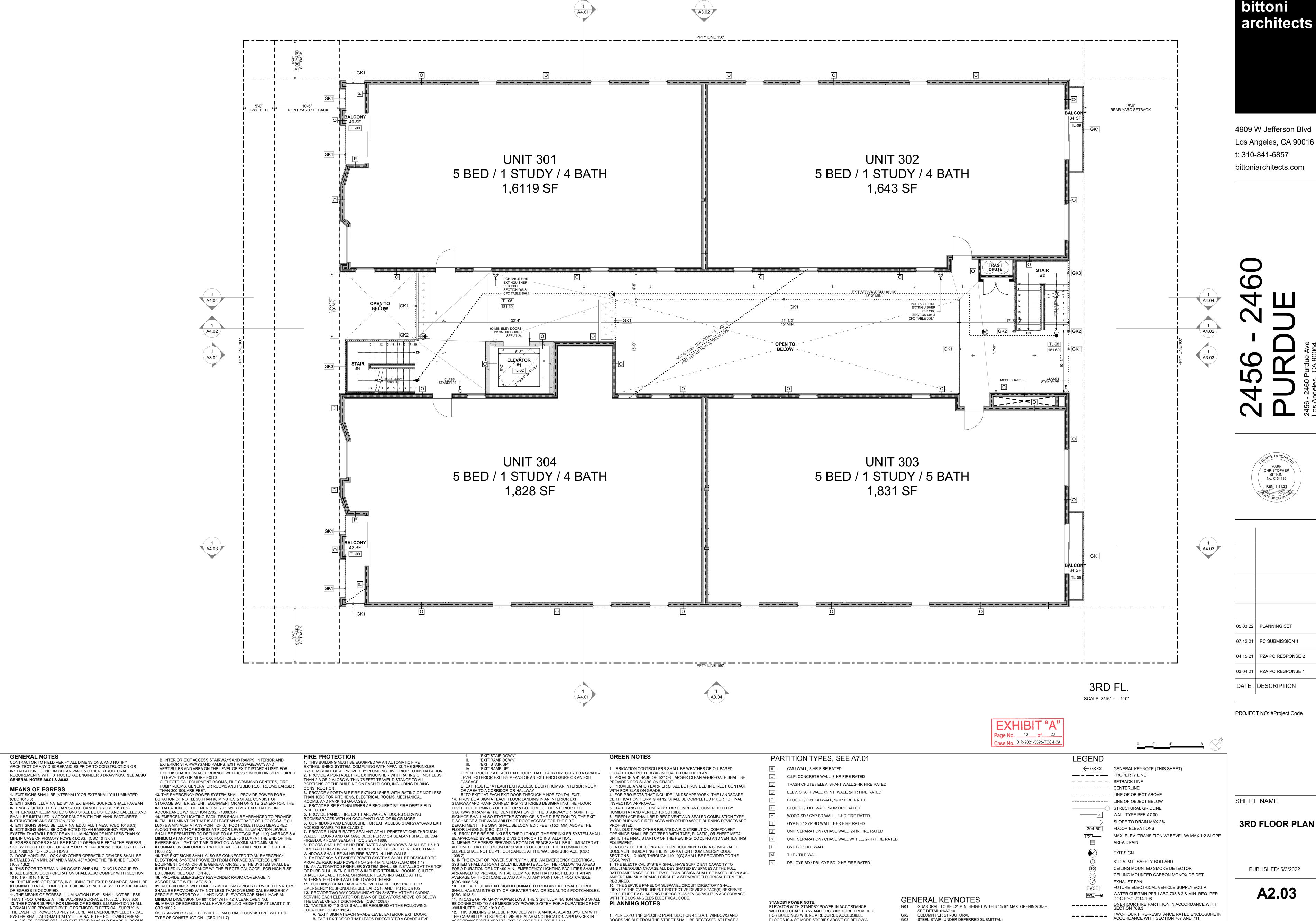
SHEET 34 OF 152

TWO-HOUR FIRE-RESISTANCE RATED ENCLOSURE IN ACCORDANCE WITH SECTION 707 AND 711.

DIMENSION TO FINISH FACE OF WALLS / SURFACES

★ 3'-0"

DIMENSION TO FRAMING (FACE OF STUD)



DOORS VISIBLE FROM THE STREET SHALL BE RECESSED AT LEAST 2

INCHES FROM THE BUILDING FACADE. (THIS PROJECT COMPLIES WITH

WINDOWS AND DOORS BEING RECESSED MINIMUM 5 3/4 INCHES FROM

BUILDING FACADE.)

TYPE OF CONSTRUCTION. {CBC 1011.7}

71. EMERGENCY & STANDBY POWER SYSTEMS SHALL BE DESIGNED TO

PROVIDE REQUIRED POWER FOR 2-HR MIN. U.N.O (LAFC 604.1.4)

A. AISLES, CORRIDORS, AND EXIT STAIRWAYS AND RAMPS IN ROOMS

AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS.

B. EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL

EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE

IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS

ACCORDANCE WITH NFPA 72. (907.2.9, 907.5.2.3.3, 907.5.2.3.4)

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SHEET 35 OF 152

DIMENSION TO FINISH FACE OF WALLS / SURFACES

★ 3'-0"

DIMENSION TO FRAMING (FACE OF STUD)

GK3 STEEL STAIR (UNDER DEFERRED SUBMITTAL)

PLANTING/BENCH PER LANDSCAPE

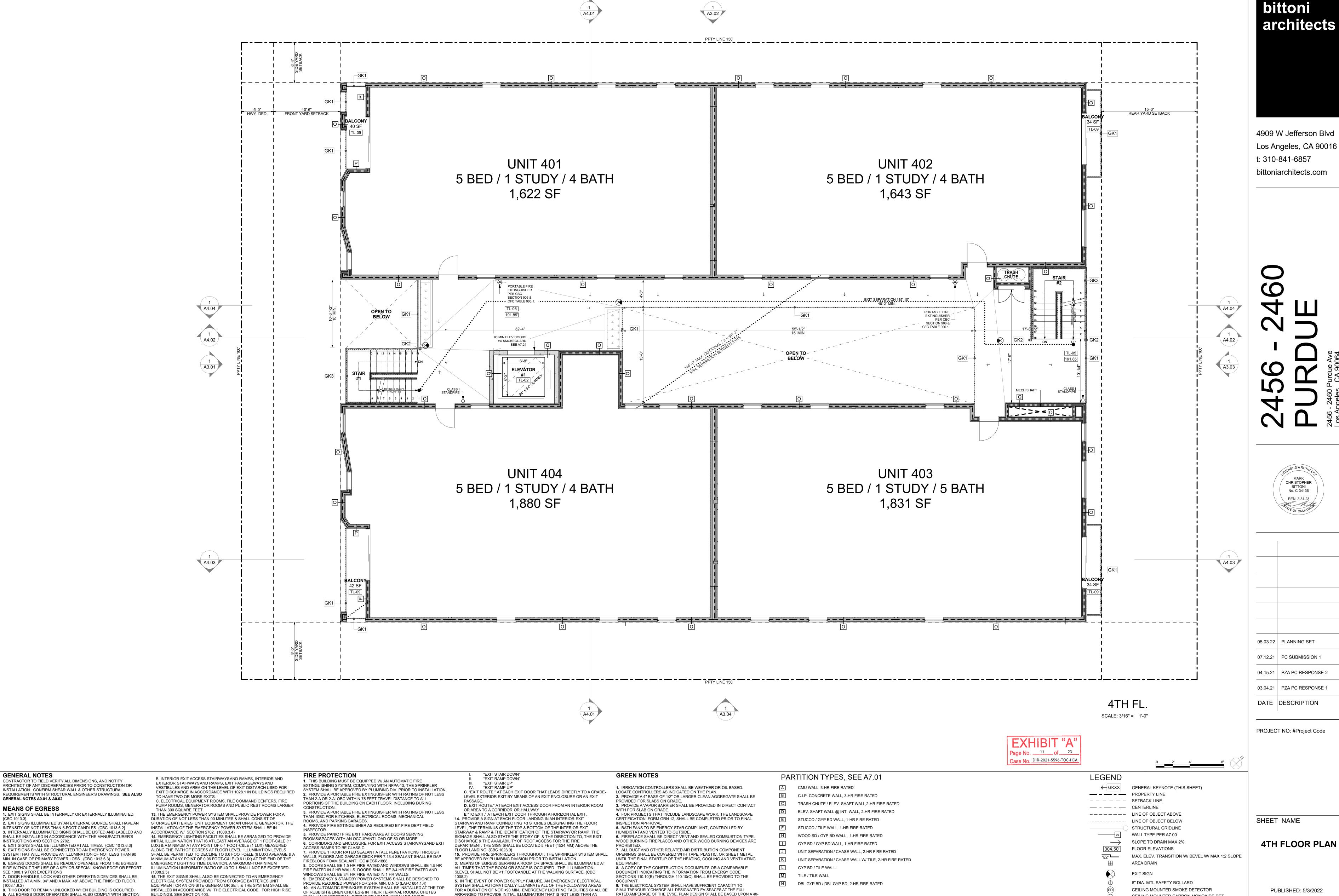
GK5 PLANTERS PER CIVIL

GK6 6' CMU SITE WALL

FLOORS IS 4 OF MORE STORIES ABOVE OF BELOW A

LEVEL OF EXIT DISCHARGE.

TO BE PROVIDED ON ROOF.



AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS

IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED

1. PER EXPO TNP SPECIFIC PLAN. SECTION 4.3.3.A.1. WINDOWS AND

DOORS VISIBLE FROM THE STREET SHALL BE RECESSED AT LEAST 2

INCHES FROM THE BUILDING FACADE. (THIS PROJECT COMPLIES WITH

WINDOWS AND DOORS BEING RECESSED MINIMUM 5 3/4 INCHES FROM

FOR FUTURE EV CHARGING PURPOSES AS "EV CAPABLE" IN ACCORDANCE

STANDBY POWER NOTE:

LEVEL OF EXIT DISCHARGE.

TO BE PROVIDED ON ROOF.

ELEVATOR WITH STANDBY POWER IN ACCORDANCE

FOR BUILDINGS WHERE A REQUIRED ACCESSIBLE

FLOORS IS 4 OF MORE STORIES ABOVE OF BELOW A

WITH CBC CHAPTER 27 AND CBC 3003 TO BE PROVIDED

10. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL

WITH THE LOS ANGELES ELECTRICAL CODE.

PLANNING NOTES

BUILDING FACADE.)

ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS NOT LESS THAN AN

10. THE FACE OF AN EXIT SIGN ILLUMINATED FROM AN EXTERNAL SOURCE

SHALL HAVE AN INTENSITY OF GREATER THAN OR EQUAL TO 5 FOOTCANDLES.

11. IN CASE OF PRIMARY POWER LOSS. THE SIGN ILLUMINATION MEANS SHALL

12. THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH

THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN

ACCORDANCE WITH NFPA 72. (907.2.9, 907.5.2.3.3, 907.5.2.3.4)

BE CONNECTED TO AN EMERGENCY POWER SYSTEM FOR A DURATION OF NOT

AVERAGE OF 1 FOOTCANDLE AND A MIN AT ANY POINT OF .1 FOOTCANDLE.

SHALL HAVE ADDITIONAL SPRINKLER HEADS INSTALLED AT THE

11. BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR

EMERGENCY RESPONDERS. SEE LAFC 510 AND FPB REQ #105

12. PROVIDE TWO-WAY COMMUNICATION SYSTEM AT THE LANDING

13. TACTILE EXIT SIGNS SHALL BÈ REQUIRED AT THE FOLLOWING

SERVING EACH ELEVATOR OR BANK OF ELEVATORS ABOVE OR BELOW

A. "EXIT" SIGN AT EACH GRADE-LEVEL EXTERIOR EXIT DOOR.

B. EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL

EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE

IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS

ALTERNATE FLOORS AND THE LOWEST INTAKE.

THE LEVEL OF EXIT DISCHARGE. {CBC 1009.8}

LOCATIONS: {CBC 1013.4}

9. ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION

11. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS

THAN 1 FOOTCANDLE AT THE WALKING SURFACE. (1008.2.1, 1008.3.5)

12. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL

NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN

SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS:

AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS.

THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL

A. AISLES, CORRIDORS, AND EXIT STAIRWAYS AND RAMPS IN ROOMS

OF EGRESS IS OCCUPIED.

10. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ACCORDANCE WITH LAFC 510.

BUILDINGS, SEE SECTION 403.

TYPE OF CONSTRUCTION. {CBC 1011.7}

ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS

31. ALL BUILDINGS WITH ONE OR MORE PASSENGER SERVICE ELEVATORS

16. PROVIDE EMERGENCY RESPONDER RADIO COVERAGE IN

MINIMUM DIMENSION OF 80" X 54" WITH 42" CLEAR OPENING.

SHALL BE PROVIDED WITH NOT LESS THAN ONE MEDICAL EMERGENCY

45. MEANS OF EGRESS SHALL HAVE A CEILING HEIGHT OF AT LEAST 7'-6".

68. STAIRWAYS SHALL BE BUILT OF MATERIALS CONSISTENT WITH THE

71. EMERGENCY & STANDBY POWER SYSTEMS SHALL BE DESIGNED TO

PROVIDE REQUIRED POWER FOR 2-HR MIN. U.N.O (LAFC 604.1.4)

SERCIE ELEVATOR TO ALL LANDINGS. ELEVATOR CAB SHALL HAVE AN

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05.03.22 PLANNING SET 07.12.21 | PC SUBMISSION 1

SHEET 36 OF 152

CEILING MOUNTED CARBON MONOXIDE DET.

FUTURE ELECTRICAL VEHICLE SUPPLY EQUIP.

WATER CURTAIN PER LABC 705.8.2 & MIN. REQ. PER

ONE-HOUR FIRE PARTITION IN ACCORDANCE WITH SECTION 708.3

TWO-HOUR FIRE-RESISTANCE RATED ENCLOSURE IN ACCORDANCE WITH SECTION 707 AND 711.

EXHAUST FAN

DOC P/BC 2014-106

★ 3'-0"

DIMENSION TO FRAMING (FACE OF STUD)

DIMENSION TO FINISH FACE OF WALLS / SURFACES

GENERAL KEYNOTES

COLUMN PER STRUCTURAL

GK3 STEEL STAIR (UNDER DEFERRED SUBMITTAL)

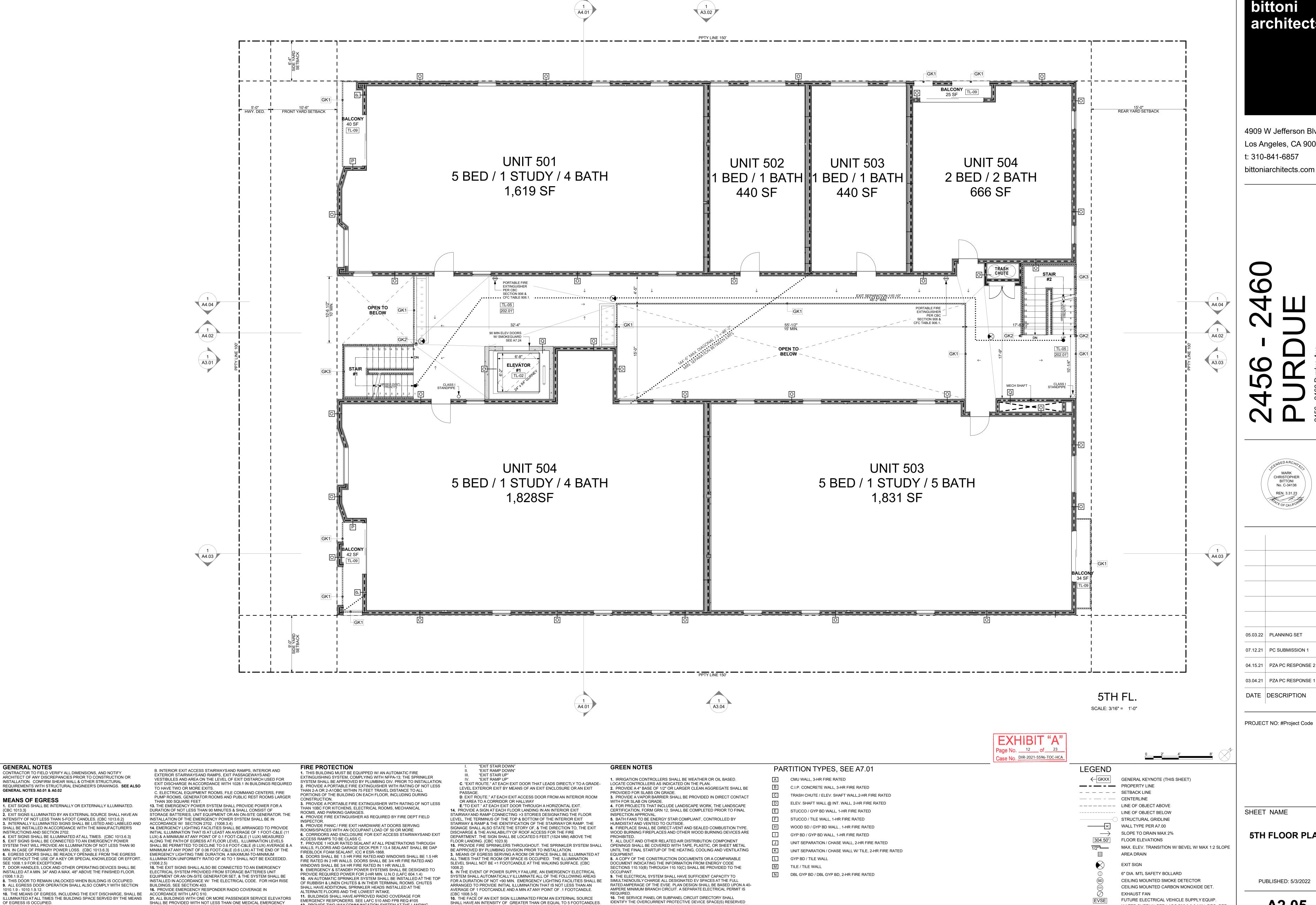
PLANTING/BENCH PER LANDSCAPE

SEE DETAIL 01/A7.10

GK5 PLANTERS PER CIVIL

GK6 6' CMU SITE WALL

GUARDRAIL TO BE 42" MIN. HEIGHT WITH 3 15/16" MAX. OPENING SIZE.



FOR FUTURE EV CHARGING PURPOSES AS "EV CAPABLE" IN ACCORDANCE

1. PER EXPO TNP SPECIFIC PLAN, SECTION 4.3.3.A.1, WINDOWS AND

DOORS VISIBLE FROM THE STREET SHALL BE RECESSED AT LEAST 2

INCHES FROM THE BUILDING FACADE. (THIS PROJECT COMPLIES WITH

WINDOWS AND DOORS BEING RECESSED MINIMUM 5 3/4 INCHES FROM

STANDBY POWER NOTE:

LEVEL OF EXIT DISCHARGE.

TO BE PROVIDED ON ROOF.

ELEVATOR WITH STANDBY POWER IN ACCORDANCE

FOR BUILDINGS WHERE A REQUIRED ACCESSIBLE

FLOORS IS 4 OF MORE STORIES ABOVE OF BELOW A

WITH CBC CHAPTER 27 AND CBC 3003 TO BE PROVIDED

WITH THE LOS ANGELES ELECTRICAL CODE.

PLANNING NOTES

BUILDING FACADE.)

11. IN CASE OF PRIMARY POWER LOSS. THE SIGN ILLUMINATION MEANS SHALL

12. THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH

THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN

ACCORDANCE WITH NFPA 72. (907.2.9, 907.5.2.3.3, 907.5.2.3.4)

BE CONNECTED TO AN EMERGENCY POWER SYSTEM FOR A DURATION OF NOT

12. PROVIDE TWO-WAY COMMUNICATION SYSTEM AT THE LANDING

13. TACTILE EXIT SIGNS SHALL BÈ REQUIRED AT THE FOLLOWING

THE LEVEL OF EXIT DISCHARGE. {CBC 1009.8}

LOCATIONS: {CBC 1013.4}

SERVING EACH ELEVATOR OR BANK OF ELEVATORS ABOVE OR BELOW

A. "EXIT" SIGN AT EACH GRADE-LEVEL EXTERIOR EXIT DOOR.

B. EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL

EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE

IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS

11. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS

THAN 1 FOOTCANDLE AT THE WALKING SURFACE. (1008.2.1, 1008.3.5)

12. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL

NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN

SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS:

AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS.

THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL

A. AISLES, CORRIDORS, AND EXIT STAIRWAYS AND RAMPS IN ROOMS

SERCIE ELEVATOR TO ALL LANDINGS. ELEVATOR CAB SHALL HAVE AN

45. MEANS OF EGRESS SHALL HAVE A CEILING HEIGHT OF AT LEAST 7'-6".

68. STAIRWAYS SHALL BE BUILT OF MATERIALS CONSISTENT WITH THE

71. EMERGENCY & STANDBY POWER SYSTEMS SHALL BE DESIGNED TO

PROVIDE REQUIRED POWER FOR 2-HR MIN. U.N.O (LAFC 604.1.4)

MINIMUM DIMENSION OF 80" X 54" WITH 42" CLEAR OPENING.

TYPE OF CONSTRUCTION. {CBC 1011.7}

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05.03.22 PLANNING SET

04.15.21 | PZA PC RESPONSE 2

DATE DESCRIPTION

5TH FLOOR PLAN

SHEET 37 OF 152

WATER CURTAIN PER LABC 705.8.2 & MIN. REQ. PER

ONE-HOUR FIRE PARTITION IN ACCORDANCE WITH SECTION 708.3

TWO-HOUR FIRE-RESISTANCE RATED ENCLOSURE IN ACCORDANCE WITH SECTION 707 AND 711.

DOC P/BC 2014-106

★ 3'-0"

DIMENSION TO FRAMING (FACE OF STUD)

DIMENSION TO FINISH FACE OF WALLS / SURFACES

GENERAL KEYNOTES

COLUMN PER STRUCTURAL

GK3 STEEL STAIR (UNDER DEFERRED SUBMITTAL)

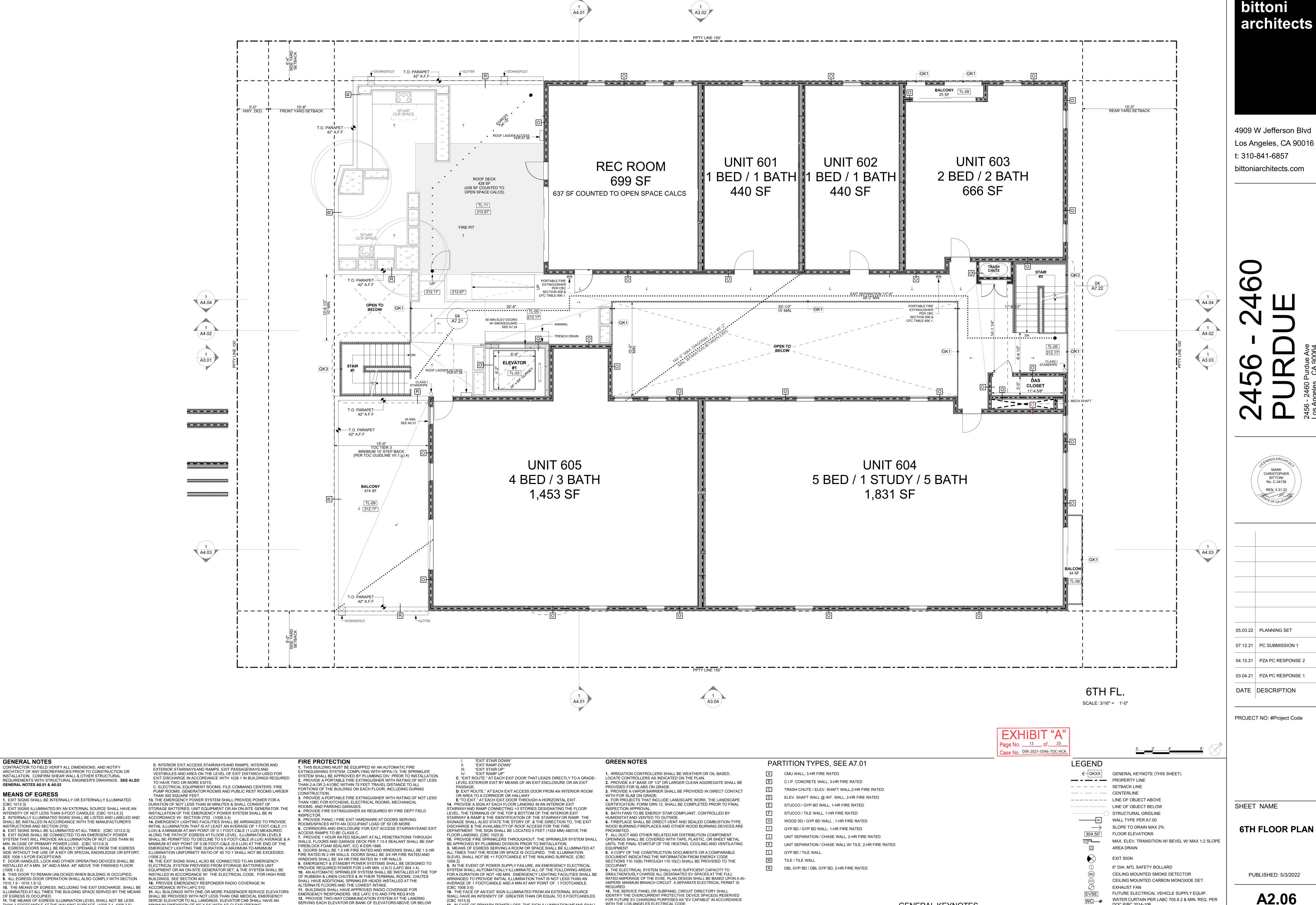
PLANTING/BENCH PER LANDSCAPE

SEE DETAIL 01/A7.10

GK5 PLANTERS PER CIVIL

GK6 6' CMU SITE WALL

GUARDRAIL TO BE 42" MIN. HEIGHT WITH 3 15/16" MAX. OPENING SIZE.



WITH THE LOS ANGELES ELECTRICAL CODE.

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WINDOWS AND DOORS BEING RECESSED MINIMUM 5 3/4 INCHES FROM

PLANNING NOTES

BUILDING FACADE.)

STANDBY POWER NOTE:

LEVEL OF EXIT DISCHARGE.

TO BE PROVIDED ON ROOF.

ELEVATOR WITH STANDBY POWER IN ACCORDANCE

FOR BUILDINGS WHERE A REQUIRED ACCESSIBLE

FLOORS IS 4 OF MORE STORIES ABOVE OF BELOW A

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GENERAL KEYNOTES

COLUMN PER STRUCTURAL

GK3 STEEL STAIR (UNDER DEFERRED SUBMITTAL)

PLANTING/BENCH PER LANDSCAPE

SEE DETAIL 01/A7.10

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BE CONNECTED TO AN EMERGENCY POWER SYSTEM FOR A DURATION OF NOT

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THE LEVEL OF EXIT DISCHARGE. {CBC 1009.8}

LOCATIONS: {CBC 1013.4}

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(1008.3.1)

THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL

A. AISLES, CORRIDORS, AND EXIT STAIRWAYS AND RAMPS IN ROOMS

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05.03.22 PLANNING SET

04.15.21 PZA PC RESPONSE 2

03.04.21 PZA PC RESPONSE DATE DESCRIPTION

PROJECT NO: #Project Code

SHEET 38 OF 152

DOC P/BC 2014-106

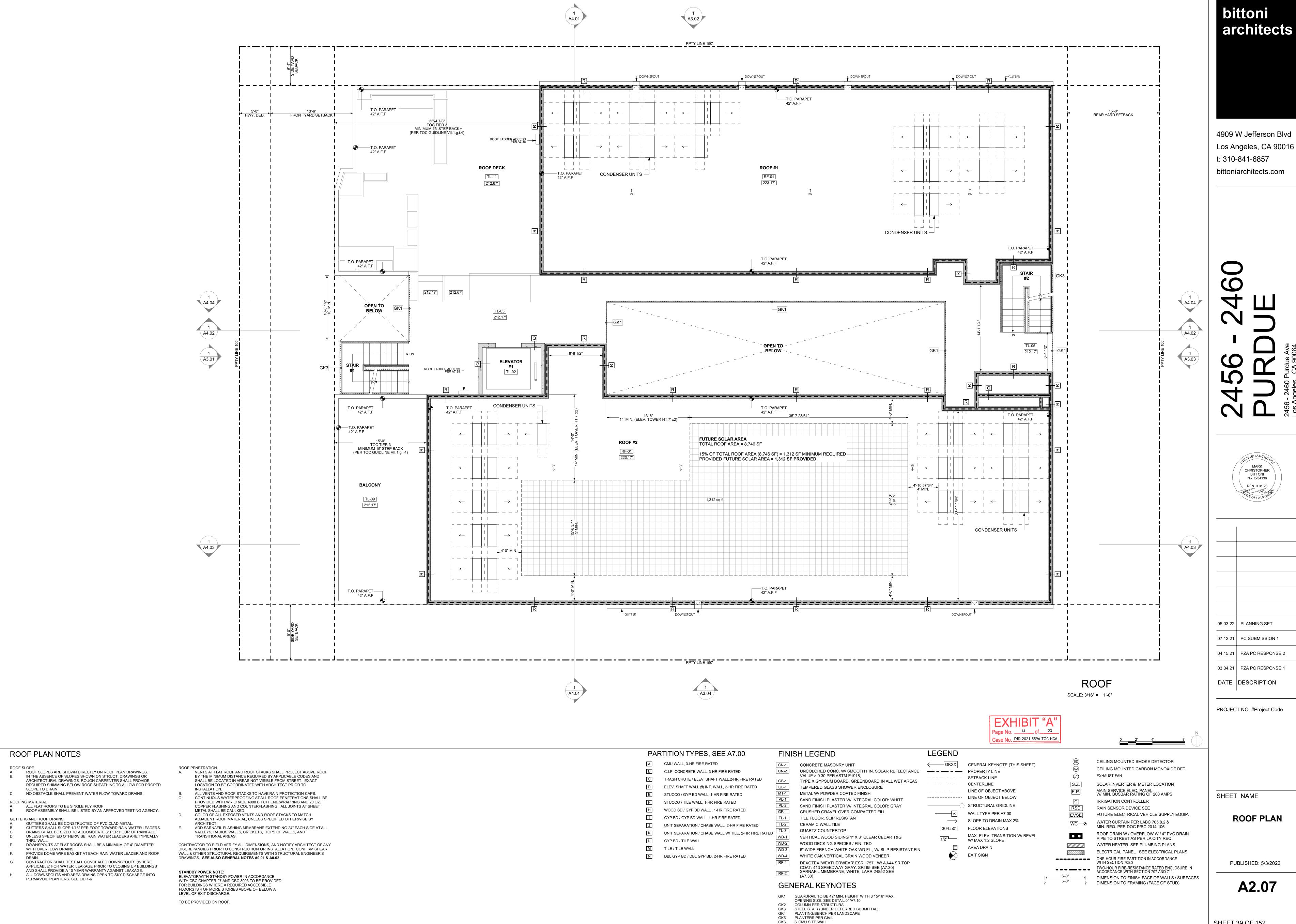
★ 3'-0"

DIMENSION TO FRAMING (FACE OF STUD)

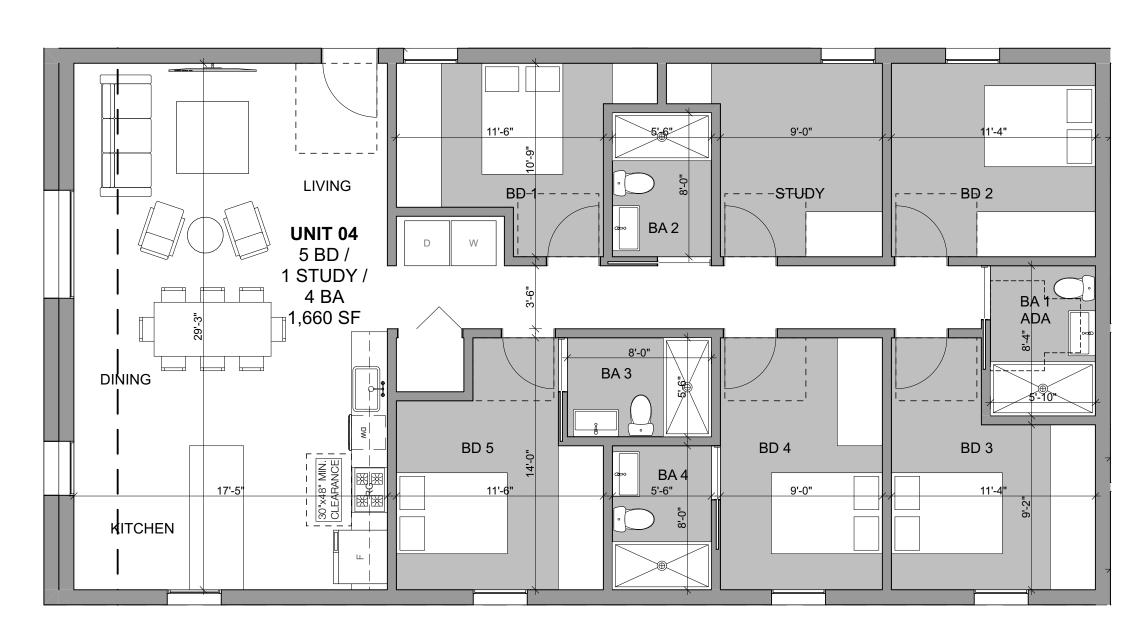
DIMENSION TO FINISH FACE OF WALLS / SURFACES

ONE-HOUR FIRE PARTITION IN ACCORDANCE WITH SECTION 708.3

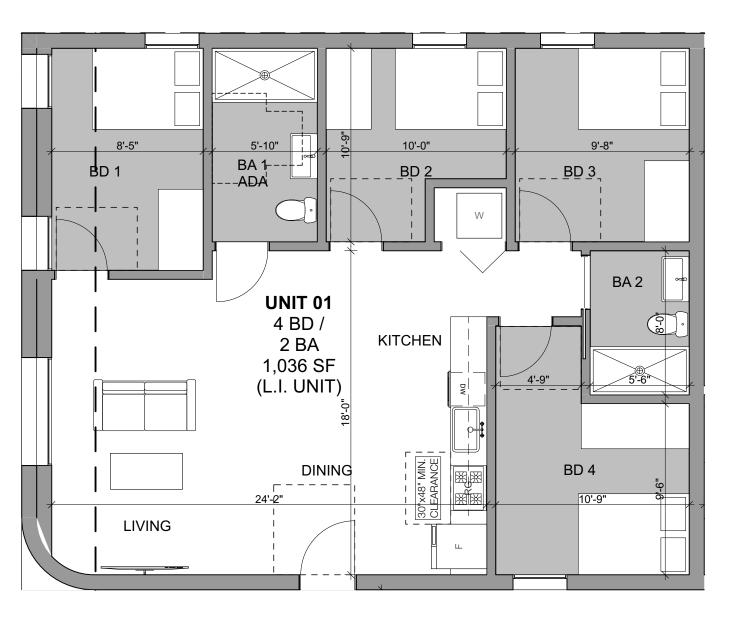
TWO-HOUR FIRE-RESISTANCE RATED ENCLOSURE IN ACCORDANCE WITH SECTION 707 AND 711.



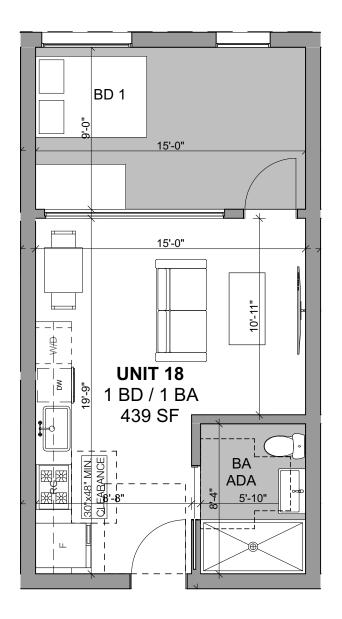
SHEET 39 OF 152



TYPICAL UNIT PLAN 5 BED / 1 STUDY / 4 BATH



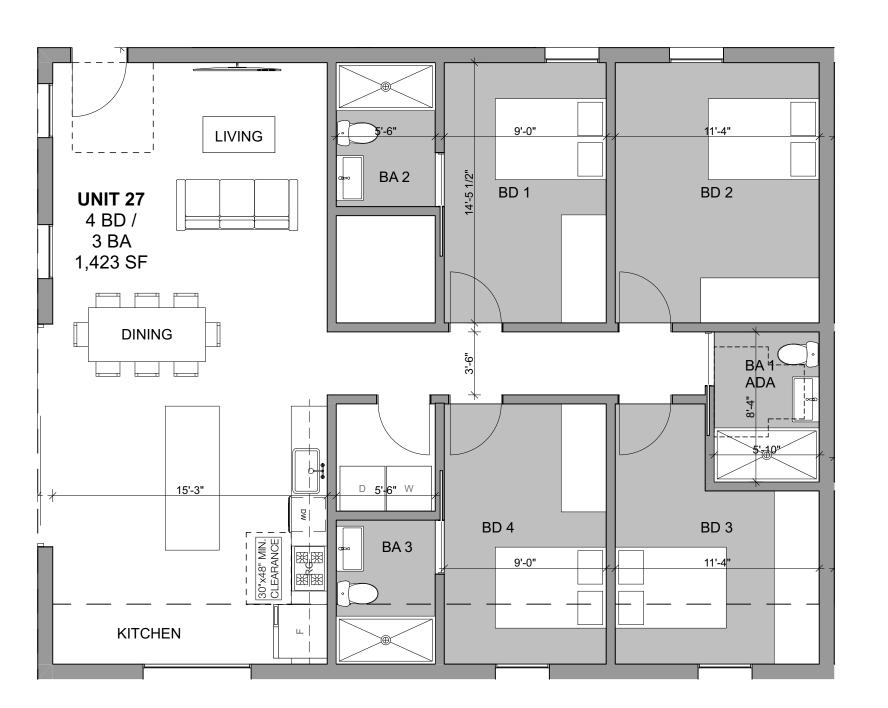
TYPICAL UNIT PLAN 4 BED / 2 BATH



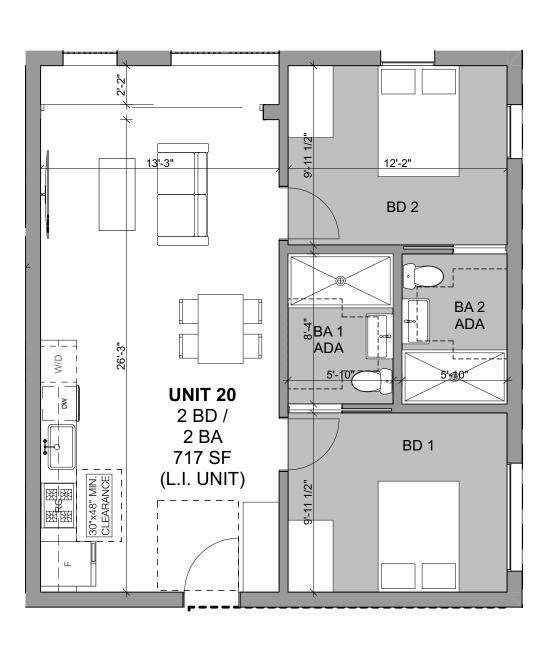
TYPICAL UNIT PLAN 1 BED / 1 BATH



TYPICAL UNIT PLAN 5 BED / 1 STUDY / 5 BATH



TYPICAL UNIT PLAN 4 BED / 3 BATH

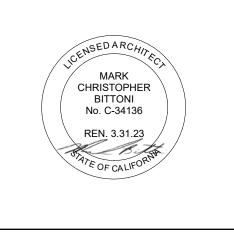


TYPICAL UNIT PLAN 2 BED / 2 BATH



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2456 - 2460 20RPUE



05.03.22 PLANNING SET

07.12.21 PC SUBMISSION 1

04.15.21 PZA PC RESPONSE 2

DATE DESCRIPTION

PROJECT NO: #Project Code

SHEET NAME

TYP. UNIT PLANS

PUBLISHED: 5/3/2022

A2.10

SHEET #LayNoInSubset OF 152

EXHIBIT "A"

Page No. __15 __ of __23

Case No. _DIR-2021-5596-TOC-HCA



Southwest Elevation

SCALE: 3/16" = 1'-0"

Case No. DIR-2021-5596-TOC-HCA

ELEVATION NOTES

01 GUARDRAILS TO BE 42" MINIMUM HEIGHT WITH 3

02 CONTRACTOR TO VERIFY CONFORMANCE TO REQUIRED BUILDING HEIGHTS AND BUILDING ENVELOPES. PROVIDE CERTIFIED SURVEY OF REQUIRED BUILDING HEIGHT. INFORM ARCHITECT OF ANY DISCREPANCIES.

03 ADD SELF-ADHERING MODIFIED BITUMEN (JIFFY SEAL OR EQUAL) EXTENDING 24" EACH SIDE AT ALL VALLEYS, CRICKETS, TOPS OF WALLS, CONFINED RAKES, AND TRANSITION AREAS. ADD WATER DIVERTER @ CONFINED RAKES.

04 GLAZING WITHIN 18" OF THE ADJACENT FLOOR WALKING SURFACE SHALL BE FULLY TEMPERED. **05** PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN

THE HEIGHT LIMIT. 06 EXTERIOR WALLS WITH A FIRE SEPARATION DISTANCE OF 5' OR LESS SHALL BE 1-HR FIRE-RESISTANCE RATING FOR EXPOSURE TO FIRE FROM BOTH SIDES.)

07 WIDOWS LABELED AS "EGRESS SHALL COMPLY

WITH REQ'D MIN DIMENSIONS PER 01/A0.20

01 ALL DOWNSPOUTS TO DRAIN TO RAIN TANKS PER

PARTITION TYPES, SEE A7.01

CONCRETE PODIUM SLAB

INTERIOR DWELLING UNIT WOOD FLOOR ASSEMBLY ROOF FLOOR ASSEMBLY

UNCOLORED CONC. W/ SMOOTH FIN. SOLAR REFLECTANCE VALUE > 0.30 PER ASTM E1918, TYPE X GYPSUM BOARD, GREENBOARD IN ALL WET AREAS TEMPERED GLASS SHOWER ENCLOSURE METAL W/ POWDER COATED FINISH SAND FINISH PLASTER W/ INTEGRAL COLOR: WHITE SAND FINISH PLASTER W/ INTEGRAL COLOR: GRAY

CONCRETE MASONRY UNIT

FINISH LEGEND

CRUSHED GRAVEL OVER COMPACTED FILL TL-1 TILE FLOOR, SLIP RESISTANT CERAMIC WALL TILE

QUARTZ COUNTERTOP TL-4 TILE, TBD WD-1 VERTICAL WOOD SIDING 1" X 3" CLEAR CEDAR T&G WOOD DECKING SPECIES / FIN. TBD

6" WIDE FRENCH WHITE OAK WD FL., W/ SLIP RESISTANT FIN. WD-4 WHITE OAK VERTICAL GRAIN WOOD VENEER RF-1 DEXOTEX 'WEATHERWEAR' ESR 1757. W/ AJ-44 SR TOP COAT: 413 SPEEDWAY GRAY. SRI 65 SEE (A7.30)

RF-2

SARNAFIL MEMBRANE, WHITE, LARR 24852 SEE

GENERAL KEYNOTES GK1 GUARDRAIL TO BE 42" MIN. HEIGHT WITH 3 15/16" MAX. OPENING SIZE. SEE DETAIL 01/A7.10 GK2 COLUMN PER STRUCTURAL GK3 STEEL STAIR (UNDER DEFERRED SUBMITTAL)
GK4 PLANTING/BENCH PER LANDSCAPE
GK5 PLANTERS PER CIVIL GK6 6' CMU SITE WALL

LEGEND

WC—**⊕**

GKXX GENERAL KEYNOTE (THIS SHEET) — PROPERTY LINE - - - - - SETBACK LINE — – — – CENTERLINE LINE OF OBJECT BELOW STRUCTURAL GRIDLINE WALL TYPE PER A7.00 SLOPE TO DRAIN MAX 2% \longrightarrow FLOOR ELEVATIONS MAX. ELEV. TRANSITION W/ BEVEL W/ MAX 1:2 SLOPE AREA DRAIN

EXIT SIGN 6" DIA. MTL SAFETY BOLLARD

CEILING MOUNTED SMOKE DETECTOR CEILING MOUNTED CARBON MONOXIDE DET. EXHAUST FAN FUTURE ELECTRICAL VEHICLE SUPPLY EQUIP. WATER CURTAIN PER LABC 705.8.2 & MIN. REQ. PER DOC P/BC 2014-106

ONE-HOUR FIRE PARTITION IN ACCORDANCE WITH SECTION 708.3 TWO-HOUR FIRE-RESISTANCE RATED ENCLOSURE IN ACCORDANCE WITH SECTION 707 AND 711. DIMENSION TO FINISH FACE OF WALLS / SURFACES

SHEET 61 OF 152

+212'-2 13/32" 6 6TH FL. +158.70' LOWEST POINT

05.03.22 PLANNING SET 07.12.21 PC SUBMISSION 1

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04.15.21 | PZA PC RESPONSE 2 03.04.21 PZA PC RESPONSE 1

DATE DESCRIPTION

PROJECT NO: #Project Code

SHEET NAME

01 SOUTHWEST **ELEVATION**

PUBLISHED: 5/3/2022

A3.01



Northwest Elevation

SCALE: 3/16" = 1'-0"

05.03.22 PLANNING SET 07.12.21 PC SUBMISSION 1

04.15.21 | PZA PC RESPONSE 2

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DATE DESCRIPTION

03.04.21 PZA PC RESPONSE 1

PROJECT NO: #Project Code

SHEET NAME

Case No. DIR-2021-5596-TOC-HCA

ELEVATION NOTES

01 GUARDRAILS TO BE 42" MINIMUM HEIGHT WITH 3

02 CONTRACTOR TO VERIFY CONFORMANCE TO REQUIRED BUILDING HEIGHTS AND BUILDING ENVELOPES. PROVIDE CERTIFIED SURVEY OF REQUIRED BUILDING HEIGHT. INFORM ARCHITECT OF ANY DISCREPANCIES.

03 ADD SELF-ADHERING MODIFIED BITUMEN (JIFFY SEAL OR EQUAL) EXTENDING 24" EACH SIDE AT ALL VALLEYS, CRICKETS, TOPS OF WALLS, CONFINED RAKES, AND TRANSITION AREAS. ADD WATER DIVERTER @ CONFINED RAKES.

04 GLAZING WITHIN 18" OF THE ADJACENT FLOOR WALKING SURFACE SHALL BE FULLY TEMPERED. **05** PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN

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07 WIDOWS LABELED AS "EGRESS SHALL COMPLY

WITH REQ'D MIN DIMENSIONS PER 01/A0.20

01 ALL DOWNSPOUTS TO DRAIN TO RAIN TANKS PER

PARTITION TYPES, SEE A7.01

CONCRETE PODIUM SLAB

INTERIOR DWELLING UNIT WOOD FLOOR ASSEMBLY ROOF FLOOR ASSEMBLY

TYPE X GYPSUM BOARD, GREENBOARD IN ALL WET AREAS TEMPERED GLASS SHOWER ENCLOSURE METAL W/ POWDER COATED FINISH SAND FINISH PLASTER W/ INTEGRAL COLOR: WHITE SAND FINISH PLASTER W/ INTEGRAL COLOR: GRAY

GK6 6' CMU SITE WALL

FINISH LEGEND

CRUSHED GRAVEL OVER COMPACTED FILL TL-1 TILE FLOOR, SLIP RESISTANT CERAMIC WALL TILE QUARTZ COUNTERTOP TL-4 TILE, TBD

CONCRETE MASONRY UNIT

VALUE > 0.30 PER ASTM E1918,

WD-1 VERTICAL WOOD SIDING 1" X 3" CLEAR CEDAR T&G WOOD DECKING SPECIES / FIN. TBD 6" WIDE FRENCH WHITE OAK WD FL., W/ SLIP RESISTANT FIN. WD-4 WHITE OAK VERTICAL GRAIN WOOD VENEER

UNCOLORED CONC. W/ SMOOTH FIN. SOLAR REFLECTANCE

RF-1 DEXOTEX 'WEATHERWEAR' ESR 1757. W/ AJ-44 SR TOP COAT: 413 SPEEDWAY GRAY. SRI 65 SEE (A7.30)

RF-2

SARNAFIL MEMBRANE, WHITE, LARR 24852 SEE

GENERAL KEYNOTES GK1 GUARDRAIL TO BE 42" MIN. HEIGHT WITH 3 15/16" MAX. OPENING SIZE. SEE DETAIL 01/A7.10 GK2 COLUMN PER STRUCTURAL GK3 STEEL STAIR (UNDER DEFERRED SUBMITTAL)
GK4 PLANTING/BENCH PER LANDSCAPE
GK5 PLANTERS PER CIVIL

LEGEND GKXX GENERAL KEYNOTE (THIS SHEET) — PROPERTY LINE --- - SETBACK LINE — – — – CENTERLINE ---- LINE OF OBJECT ABOVE LINE OF OBJECT BELOW STRUCTURAL GRIDLINE WALL TYPE PER A7.00 SLOPE TO DRAIN MAX 2% \longrightarrow FLOOR ELEVATIONS

MAX. ELEV. TRANSITION W/ BEVEL W/ MAX 1:2 SLOPE AREA DRAIN EXIT SIGN 6" DIA. MTL SAFETY BOLLARD CEILING MOUNTED SMOKE DETECTOR EXHAUST FAN

DIMENSION TO FINISH FACE OF WALLS / SURFACES

★ 3'-0"

★ DIMENSION TO FRAMING (FACE OF STUD)

WC—◆

CEILING MOUNTED CARBON MONOXIDE DET. FUTURE ELECTRICAL VEHICLE SUPPLY EQUIP. WATER CURTAIN PER LABC 705.8.2 & MIN. REQ. PER DOC P/BC 2014-106 ONE-HOUR FIRE PARTITION IN ACCORDANCE WITH SECTION 708.3 TWO-HOUR FIRE-RESISTANCE RATED ENCLOSURE IN ACCORDANCE WITH SECTION 707 AND 711.

02 NORTHWEST

ELEVATION

PUBLISHED: 5/3/2022

A3.02

SHEET 62 OF 152



Northeast Elevation

SCALE: 3/16" = 1'-0"

ELEVATION NOTES

OF ANY DISCREPANCIES.

01 GUARDRAILS TO BE 42" MINIMUM HEIGHT WITH 3

02 CONTRACTOR TO VERIFY CONFORMANCE TO REQUIRED BUILDING HEIGHTS AND BUILDING ENVELOPES. PROVIDE CERTIFIED SURVEY OF REQUIRED BUILDING HEIGHT. INFORM ARCHITECT

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CONCRETE MASONRY UNIT

CRUSHED GRAVEL OVER COMPACTED FILL TL-1 TILE FLOOR, SLIP RESISTANT CERAMIC WALL TILE QUARTZ COUNTERTOP

FINISH LEGEND

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TL-4 TILE, TBD WD-1 VERTICAL WOOD SIDING 1" X 3" CLEAR CEDAR T&G WOOD DECKING SPECIES / FIN. TBD 6" WIDE FRENCH WHITE OAK WD FL., W/ SLIP RESISTANT FIN. WD-4 WHITE OAK VERTICAL GRAIN WOOD VENEER

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GK5 PLANTERS PER CIVIL

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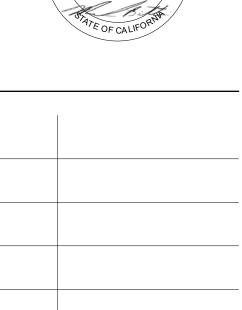
* 3'-0" * DIMENSION TO FRAMING (FACE OF STUD)

FUTURE ELECTRICAL VEHICLE SUPPLY EQUIP. WATER CURTAIN PER LABC 705.8.2 & MIN. REQ. PER DOC P/BC 2014-106 ONE-HOUR FIRE PARTITION IN ACCORDANCE WITH SECTION 708.3 TWO-HOUR FIRE-RESISTANCE RATED ENCLOSURE IN ACCORDANCE WITH SECTION 707 AND 711. DIMENSION TO FINISH FACE OF WALLS / SURFACES

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architects



MARK CHRISTOPHER BITTONI No. C-34136

05.03.22 PLANNING SET 07.12.21 PC SUBMISSION 1

04.15.21 | PZA PC RESPONSE 2 03.04.21 PZA PC RESPONSE 1

DATE DESCRIPTION

PROJECT NO: #Project Code

SHEET NAME

03 NORTHEAST ELEVATION

PUBLISHED: 5/3/2022

A3.03

SHEET 63 OF 152



Southeast Elevation

SCALE: 3/16" = 1'-0"

05.03.22 PLANNING SET 07.12.21 PC SUBMISSION 1

04.15.21 | PZA PC RESPONSE 2

03.04.21 PZA PC RESPONSE 1

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DATE DESCRIPTION

PROJECT NO: #Project Code

SHEET NAME

Case No. DIR-2021-5596-TOC-HCA

WC—◆

ELEVATION NOTES

01 GUARDRAILS TO BE 42" MINIMUM HEIGHT WITH 3

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PARTITION TYPES, SEE A7.01

CONCRETE PODIUM SLAB

ROOF FLOOR ASSEMBLY

INTERIOR DWELLING UNIT WOOD FLOOR ASSEMBLY

VALUE > 0.30 PER ASTM E1918, TYPE X GYPSUM BOARD, GREENBOARD IN ALL WET AREAS

TEMPERED GLASS SHOWER ENCLOSURE METAL W/ POWDER COATED FINISH SAND FINISH PLASTER W/ INTEGRAL COLOR: WHITE SAND FINISH PLASTER W/ INTEGRAL COLOR: GRAY CRUSHED GRAVEL OVER COMPACTED FILL TL-1 TILE FLOOR, SLIP RESISTANT

CONCRETE MASONRY UNIT

FINISH LEGEND

CERAMIC WALL TILE QUARTZ COUNTERTOP TL-4 TILE, TBD

WD-1 VERTICAL WOOD SIDING 1" X 3" CLEAR CEDAR T&G WOOD DECKING SPECIES / FIN. TBD 6" WIDE FRENCH WHITE OAK WD FL., W/ SLIP RESISTANT FIN. WD-4 WHITE OAK VERTICAL GRAIN WOOD VENEER RF-1 DEXOTEX 'WEATHERWEAR' ESR 1757. W/ AJ-44 SR TOP COAT: 413 SPEEDWAY GRAY. SRI 65 SEE (A7.30)

RF-2

SARNAFIL MEMBRANE, WHITE, LARR 24852 SEE

UNCOLORED CONC. W/ SMOOTH FIN. SOLAR REFLECTANCE

GENERAL KEYNOTES GK1 GUARDRAIL TO BE 42" MIN. HEIGHT WITH 3 15/16" MAX. OPENING SIZE.

SEE DETAIL 01/A7.10 GK2 COLUMN PER STRUCTURAL GK3 STEEL STAIR (UNDER DEFERRED SUBMITTAL)
GK4 PLANTING/BENCH PER LANDSCAPE
GK5 PLANTERS PER CIVIL
GK6 6' CMU SITE WALL LEGEND ←GKXX GENERAL KEYNOTE (THIS SHEET) — PROPERTY LINE - - - - - SETBACK LINE

— – — – CENTERLINE ---- LINE OF OBJECT ABOVE LINE OF OBJECT BELOW STRUCTURAL GRIDLINE WALL TYPE PER A7.00 SLOPE TO DRAIN MAX 2% \longrightarrow FLOOR ELEVATIONS AREA DRAIN

MAX. ELEV. TRANSITION W/ BEVEL W/ MAX 1:2 SLOPE EXIT SIGN 6" DIA. MTL SAFETY BOLLARD CEILING MOUNTED SMOKE DETECTOR CEILING MOUNTED CARBON MONOXIDE DET. EXHAUST FAN

DIMENSION TO FINISH FACE OF WALLS / SURFACES

* 3'-0" * DIMENSION TO FRAMING (FACE OF STUD)

FUTURE ELECTRICAL VEHICLE SUPPLY EQUIP. WATER CURTAIN PER LABC 705.8.2 & MIN. REQ. PER DOC P/BC 2014-106 ONE-HOUR FIRE PARTITION IN ACCORDANCE WITH SECTION 708.3 TWO-HOUR FIRE-RESISTANCE RATED ENCLOSURE IN ACCORDANCE WITH SECTION 707 AND 711.

A3.04

04 SOUTHEAST

ELEVATION

PUBLISHED: 5/3/2022

SHEET 64 OF 152

				1		1
SYMBOL	CALLOUT	<u>ITEM</u>	MANUFACTURER	COMMENTS	COLOR/FINISH	DETAIL
	PA	PLANTING AREA		SEE PLANTING SHEETS	TBD	
	LID	LID PLANTED AREA			TBD	SEE DETAIL 2/L2.00
	PD	PLANTER DRAIN				
	PL1	FIBER GLASS PLANTER	QCP	FIBER GLASS PLANTER: 36" L x 24" W x 36" H.	TBD	
	PL2	FIBER GLASS PLANTER	QCP	FIBER GLASS PLANTER: 48" L x 24" W x 36" H.	TBD	
	PL4	FIBER GLASS PLANTER	QCP	FIBER GLASS PLANTER: 48" L x 18" W x 24" H.	TBD	
	PL5	FIBER GLASS PLANTER	QCP	FIBER GLASS PLANTER: 36" L x 24" W x 30" H.	TBD	
	PL6	FIBER GLASS PLANTER	QCP	FIBER GLASS PLANTER: 48" L x 30" W x 36" H.	TBD	
	PL7	FIBER GLASS PLANTER	QCP	FIBER GLASS PLANTER: 48" L x 24" W x 30" H.	TBD	
	W1	CUSTOM LID PLANTER		IS EXEL WX SO TI.	TBD	
	W2	CUSTOM P.I.P. IN PLANTER		CUSTOM BUILT IN PLANTER: 30" HIGH	STUCCO FINISH	SEE DETAIL 3/L2.00
	W3	CUSTOM P.I.P. IN PLANTER		CUSTOM BUILT IN PLANTER: 36" HIGH	STUCCO FINISH	SEE DETAIL 3/L2.00
	W4	CUSTOM P.I.P. IN PLANTER		CUSTOM P.I.P. PLANTER 42" HIGH	STUCCO FINISH	SEE DETAIL 3/L2.00
	W5	CUSTOM P.I.P. IN PLANTER		CUSTOM P.I.P. PLANTER 30" HIGH	STUCCO FINISH	SEE DETAIL 3/L2.00
	W6	CUSTOM PLANTER		CUSTOM FIBER GLASS PLANTER: 48" L x 48" W x 42" H.		
545448	W7	CUSTOM P.I.P. IN PLANTER		54" SQ PLANTER. 48" DEEP RECESSED INTO FLOOR. 16" ABOVE PEDESTAL GRADE. BUILT IN WOOD SEAT WALL ON TOP OF PLANTER.	STUCCO FINISH	SEE DETAIL 3/L2.00
	W8	CUSTOM PLANTER		42" HIGH		
	W9	CUSTOM PLANTER		36" HIGH		
				13" DIA x 25" H	ANTIGUA	
	PT	LODI PLANTERS	STONEYARD, INC.	18" DIA x 34" H	ANTIGUA	
				24" DIA x 28" H	ANTIGUA	
	P1	PORTERO - QCP PAVER	QCP	PORTERO - QCP PAVER -	NATURAL	SEE DETAIL 1/L2.00
	P2	PORTERO - QCP PAVER	QCP	PORTERO - QCP PAVER -	FRENCH GRAY	SEE DETAIL 1/L2.00
	P3	POURED IN PLACE CONCRETE			NATURAL COLOR	SEE DETAIL 1/L2.00
	P4	DECOMPOSED GRANITE		STABILIZED D.G.724 SQ. FT.		

		,				
	P6	20" COOL ROOF PAVERS	TILE TECH	COOL ROOF PAVERS - 20" x 20" x 1 ½"	COOL GRAY	SEE DETAIL 4/L2.00
	P7	AQUALINE 12 x 12 PERMEABLE PAVER	BELGARD COMMERCIAL	AQUALINE 12" x 12" x $3\frac{1}{8}$ " IN 1-PIECE STACK BOND PATTERN: 276 SQ FT.	RIO/SMOOTH	
•		NEW TREE		SEE LANDSCAPE PLANS		
		NEW STREET TREE		SEE LANDSCAPE PLANS		
	F1	BUILT IN BENCH CONSTRUCTED ON PLANTER		CUSTOM BUILT IN BENCH CONSTRUCTED TO PLANTER. 18" HIGH FLOATING BENCH	THERMORY WOOD	
	F2	ROUND DINING TABLE	PER OWNER			
	F3	FIRE PIT	PER OWNER			
	F4	SQUARE TABLE	PER OWNER	TABLE WITH ONE CHAIR		
	F5	HIGH TABLE STUDY BAR	PER OWNER	HIGH TABLE STUDY BAR		
	F6	SMALL SOFA	PER OWNER			
	F7	L SECTIONAL SOFA	PER OWNER			
	F8	OTTOMAN	PER OWNER			
	F9	BISTRO TABLE	PER OWNER			

HARDSCAPE SOLAR REFLECTANCE QUANTITY SR VALUE IN SF ABOVE .30 1ST FLOOR PORTERO - QCP PAVER: NATURAL PORTERO - QCP PAVER: FRENCH GRAY CONCRETE DECOMPOSED GRANITE 780 AQUALINE - 12"x12" PERMEABLE PAVER **ROOF DECK** IPE WOOD TILE - TILE TECH: WEATHERED TILE COOL ROOF PAVER - TILE TECH: COOL GRAY PERCENTAGE OF HARDSCAPE WITH SRI VALUE

65% OF THE OUTDOOR HARDSCAPE AREA HAS AN SRI VALUE ABOVE .30 WHICH MEETS THE REQUIRED 50% AND IS THEREFORE IN COMPLIANCE.

SEE MANUFACTURER DATA SHEETS (THIS SHEET) FOR SRI VALUES.

** ALL ON GRADE HARDSCAPE USES A PERMEABLE PAVER.
REMAINING HARDSCAPES ARE ON TOP OF PARKING STRUCTURE
AND MATERIALS ARE LISTED ABOVE.**

Tile iech"		
ESULTS		
ance and SRI:		
Specimen Code	% Solar Reflectance	SRI
COOL BLUE 50	71.4	88
COOL BLUE 50 COOL GRAY 50	71.4 54.4	88
·	······································	· · · · · · · · · · · · · · · · · · ·
COOL GRAY 50	54.4	65

68.5

85

	Natural	0.036	41.00	0.07	0.93	68	59	8000	>5%	3 years
	Quail Hill Red	0.031	35.00	0.07	0.93	68	59	8000	>5%	3 years
	Latte	0.027	30.00	0.07	0.93	68	59	8000	>5%	3 years
ATWORX	French Gray	0.019	19.00	0.07	0.92	68	59	8000	>5%	3 years
TANDARD	Bungalow	0.027	30.00	0.07	0.93	68	59	8000	>5%	3 years
	Adobe Taupe	0.022	23.00	0.08	0.92	68	59	8000	>5%	3 years
	Mission White	0.052	62.00	0.09	0.91	68	59	8000	>5%	3 years
	Harvest	0.031	35.00	0.07	0.93	68	59	8000	>5%	3 years

COOL YELLOW 50

LANDSCAPE REQUIREMENTS

OPEN SPACE PROVIDED PER ARCHITECT:

REAR YARD: 1,451 SF
COMMON SPACE(COURT YARD): 826 SF
REC ROOM: 637 SF
ROOF DECK: 429 SF
TOTAL: 3,342 SF

MINUS REC ROOM: 637 SF
TOTAL: 2,705 SF

LANDSCAPE AREAS REQUIRED: LANDSCAPE AREAS PROVIDED: 676.25 SF= 25% OF OPEN SPACE 1,527 SF = 56% OF OPEN SPACE

TREES PROVIDED 1 PER 4 UNITS. 27 UNITS = 7 TREES

7 TREES PROVIDED.

CITY OF LOS ANGELES LANDSCAPE ORDINANCE GUIDELINES "O". LANDSCAPE POINT SYSTEM

	SQUARE FOOTAGE FOR PROJECT	44,599	POINTS REQUIRED PER ORDINANCE PLUS 10% PER CONDITIONS OF APPROVAL	30
	FEATURE/TECHNIC	NUE	SITE WORK	POINTS
	2 POINTS PER TREE. 30' ON CENTER MAXIMUM			6
	1 POINT PER 24" BOX TREE. STREET TREES PLANTED LARGER THAN 15 GALLON			3
1 POINT PER LINEAR FOOT CONTINUOUSLY PLANTED PARKWAY		87 LINEAR FT	87	
			TOTAL	96



PURDUE

2465-60 PURDUE AVE LOS ANGELES, 90064

201 WESTMORELAND AVE SUITE 126, LOS ANGELES, CA 90004 www.EDStudioLA.com



08.03.20 TOC SUBMITTAL

12.27.20 D.D. SUBMITTAL

01.26.21 P.C.- 1

07.26.21 PLANNING SUBMITTAL

10.11.21 PLANNING SUBMITTAL

06.07.22 75% CD'S

05.09.22 50% CD'S

DATE DESCRIPTION

PROJECT NO: #Project Code

SHEET NAME

LANDSCAPE SCHEDULE AND NOTES

L1.00

EXHIBIT "A"
Page No. 20 of 23
Case No. DIR-2021-5596-TOC-HCA

SHEET INDEX

L1.00	LANDSCAPE CONSTRUCTION SCHEDULE AND NOTE
L1.10	LANDSCAPE CONSTRUCTION PLAN 1ST FLOOR
L1.60	LANDSCAPE CONSTRUCTION PLAN 6TH FLOOR
L2.00	LANDSCAPE CONSTRUCTION DETAILS
L3.00	IRRIGATION CALCULATIONS
L3.01	IRRIGATION LEGEND AND NOTES
L3.10	IRRIGATION PLAN 1ST FLOOR
L3.60	IRRIGATION PLAN 6TH FLOOR
L4.00	IRRIGATION DETAILS
L4.10	IRRIGATION DETAILS
L5.00	PLANTING SCHEDULE AND NOTES
L5.10	PLANTING PLAN 1ST FLOOR
L5.60	PLANTING PLAN 6TH FLOOR
L6.00	PLANTING DETAILS





PURDUE

2465-60 PURDUE AVE LOS ANGELES, 90064



08.03.20 TOC SUBMITTAL

12.27.20 D.D. SUBMITTAL

01.26.21 P.C.- 1

07.26.21 PLANNING SUBMITTAL

10.11.21 PLANNING SUBMITTAL

05.09.22 50% CD'S

DATE DESCRIPTION

PROJECT NO: #Project Code

SHEET NAME

CONSTRUCTION
PLAN
1ST FLOOR

L1.10





PURDUE

2465-60 PURDUE AVE LOS ANGELES, 90064



08.03.20 TOC SUBMITTAL

12.27.20 D.D. SUBMITTAL

01.26.21 P.C.- 1

07.26.21 PLANNING SUBMITTAL

10.11.21 PLANNING SUBMITTAL

05.09.22 50% CD'S

DATE DESCRIPTION

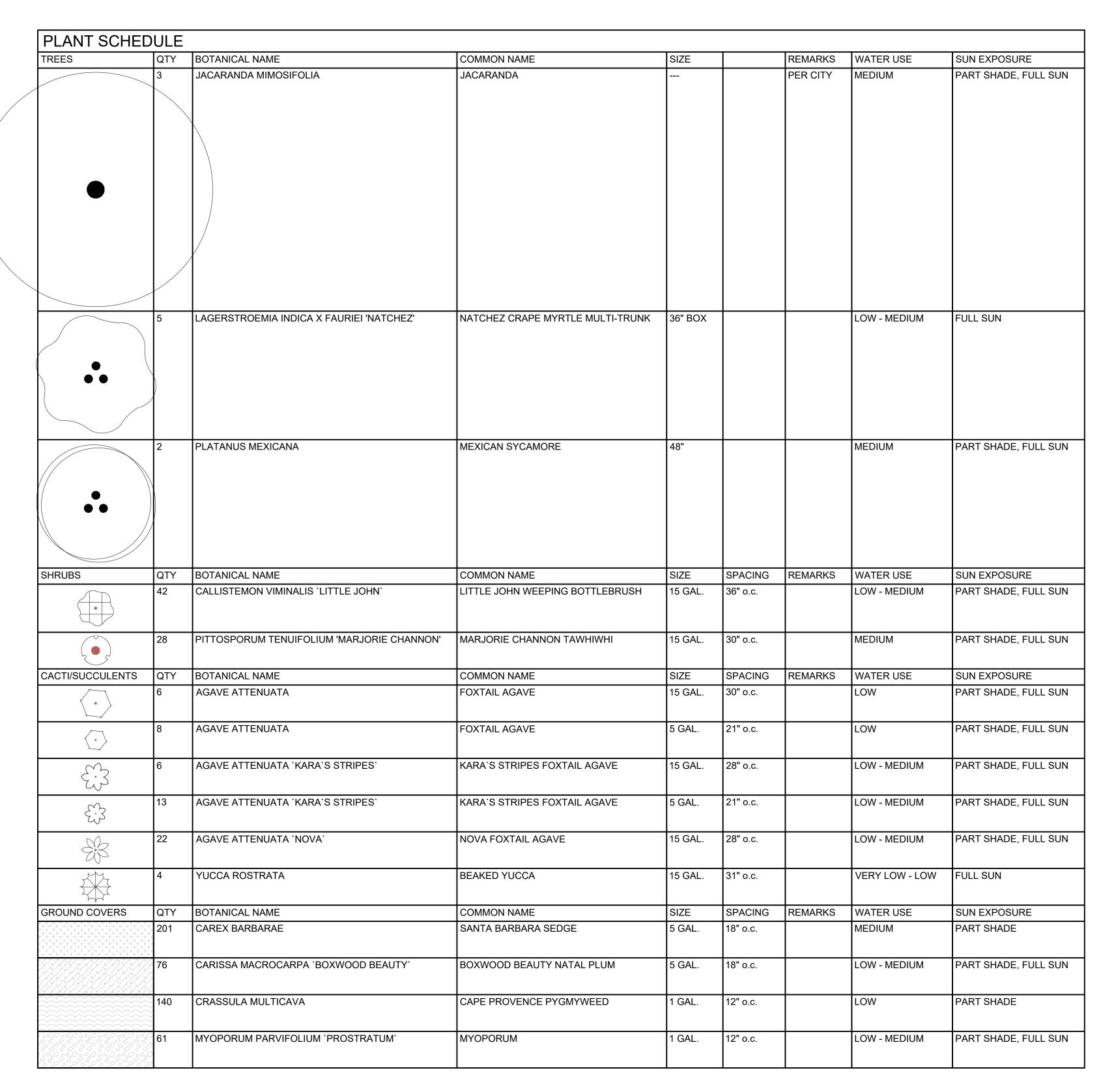
PROJECT NO: #Project Code

SHEET NAME

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Case No. DIR-2021-5596-TOC-HCA

CONSTRUCTION
PLAN
6TH FLOOR

L1.60



PLANT SCHED	ULE							
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE		REMARKS	WATER USE	SUN EXPOSURE
	2	OLEA EUROPAEA 'WILSONII'	WILSON OLIVE	48" BOX			VERY LOW - LOW	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS	WATER USE	SUN EXPOSURE
	8	KALANCHOE BEHARENSIS	FELT PLANT	15 GAL.	31" o.c.		LOW	PART SHADE, FULL SUN
CACTI/SUCCULENTS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS	WATER USE	SUN EXPOSURE
$\overline{}$	6	AGAVE ATTENUATA	FOXTAIL AGAVE	5 GAL.	21" o.c.		LOW	PART SHADE, FULL SUN
	12	AGAVE ATTENUATA 'NOVA'	NOVA FOXTAIL AGAVE	5 GAL.	21" o.c.		LOW - MEDIUM	PART SHADE, FULL SUN
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS	WATER USE	SUN EXPOSURE
	59	PORTULACARIA AFRA `VARIEGATA`	VARIEGATED ELEPHANT BUSH	8"	12" o.c.		VERY LOW - LOW	SHADE, PART SHADE, FULL SUN
	64	WESTRINGIA FRUTICOSA 'WES06' TM	LOW HORIZON COAST ROSEMARY	1 GAL.	12" o.c.		LOW	PART SHADE, FULL SUN

PLANTING NOTES

- 1. MINIMUM OF 75% OF PLANTS TO COME FROM LOS ANGELES COUNTY DROUGHT-TOLERANT PLANT LIST. SEE CHART THIS PAGE.
- 2. SEE SHEET L600, FOR PLANTING AND SPACING DETAILS.
- 3. UNDER NO CIRCUMSTANCES WILL THERE BE ANY MATERIAL SUBSTITUTIONS EXCEPT WITH THE EXPRESS CONSENT OF THE LANDSCAPE ARCHITECT.
- 4. 21 DAYS PRIOR TO PLANT INSTALLATION, THE CONTRACTOR IS TO SUBMIT A COMPLETE LIST OF PLANT MATERIAL TO BE SUPPLIED. THIS LIST IS TO INCLUDE PLANT SPECIFICATIONS (HEIGHT, SPREAD, AND CALIPER WHERE APPLICABLE), NURSERY SOURCES AND CONTACTS. CONTRACTOR IS TO PROVIDE PHOTOGRAPHS OF EACH TREE AND A REPRESENTATIVE PHOTOGRAPH OF EACH SHRUB AND GROUNDCOVER SPECIES. NO SUBSTITUTIONS WILL BE ALLOWED FOLLOWING SUBMITTAL OF THE LIST.
- EACH CONTAINER PLANT DELIVERED TO THE SITE MUST BE CLEARLY LABELED AS TO SPECIES, VARIETY, AND NURSERY SOURCE. ANY PLANTS SHIPPED WITHOUT LABELS AND CORRESPONDING PACKING SLIP WILL BE REJECTED AND IMMEDIATELY REMOVED FROM THE SITE. CONTRACTOR TO NOTIFY NURSERY THAT THIS PROVISION WILL BE STRICTLY ENFORCED. DISPUTES REGARDING DETERMINATION OF PLANT SPECIES OR VARIETY WILL BE RESOLVED BY THE LANDSCAPE ARCHITECT, AND HIS/HER DECISION WILL BE FINAL.
- PRIOR TO PLANTING OF ANY MATERIALS, COMPACTED SOILS SHALL BE TRANSFORMED TO A FRIABLE CONDITION. SOIL COMPACTION SHOULD BE AVOIDED IN ALL AT GRADE PLANTING AREAS.
- 7. A SOILS MANAGEMENT REPORT CONSISTENT WITH § 492.5 OF THE CALIFORNIA CODE OF REGULATIONS TITLE 23, DIVISION 2, CHAPTER 2.7, SHALL BE PROVIDED TO THE CITY INSPECTOR AT TIME OF FINAL LANDSCAPE INSPECTION. IN THE EVENT THE SOILS MANAGEMENT REPORT RECOMMENDS SOIL MODIFICATIONS, THE PROJECT APPLICANT OR HIS/HER DESIGNEE SHALL SUBMIT ADDITIONAL DOCUMENTATION VERIFYING IMPLEMENTATION OF SOILS MANAGEMENT REPORT RECOMMENDATIONS.
- 8. THE CONTRACTOR IS RESPONSIBLE FOR THE COSTS ASSOCIATED WITH PROCURING THE SERVICES OF A SOIL TESTING LABORATORY (WALLACE LABS OR EQUAL) TO PERFORM AN AGRICULTURAL SUITABILITY ANALYSIS. THE LAB'S RECOMMENDATIONS ARE TO BE FOLLOWED FOR SOIL PREPARATION AND BACKFILL AMENDMENT AND PROCEDURES, AND FOR MAINTENANCE FERTILIZER APPLICATIONS. TWO SEPARATE SAMPLES SHALL BE TAKEN:
 - 1 FROM THE NEW LOCUST AVE AT GRADE PLANTING AREA
 - 1 FROM THE NEW PALMER COURT AT GRADE PLANTING AREA

SAMPLES SHALL BE DELIVERED BY THE CONTRACTOR TO THE SOILS TESTING LABORATORY. THE LABORATORY SHOULD BE INFORMED OF THE INTENDED PLANTING FOR EACH SAMPLE. THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE WILL ASSIST WITH SELECTING TESTING LOCATIONS.

- FOR BIDDING PURPOSES ONLY, THE CONTRACTOR IS TO ASSUME THE FOLLOWING AMENDMENT FOR SOIL PREPARATION, AND IS TO ASSUME UTILIZATION OF AMENDED SITE SOIL FOR PLANT PIT BACKFILL: INCORPORATE INTO THE SOIL THE FOLLOWING MATERIALS, PER PROCEDURES DESCRIBED IN THE SPECIFICATIONS. MATERIAL AMOUNTS PER 1000 SQUARE FEET:
 - 3 CU, YD, NITROGEN FORTIFIED WOOD COMPOST
 - 2 CU. YD. ORGANIC FERTILIZER
 - 100 LBS. GYPSUM
 - 30 LBS. COMMERCIAL FERTILIZER
- 10. SEE SPECIFICATIONS FOR OVER STRUCTURE IMPORT SOIL
- 11. PLACE A 3" DEEP SHREDDED CEDAR BARK MULCH COVER IN PLANTING AREAS. SOIL SHALL NOT BE VISIBLE THROUGH MULCH. KEEP MULCH 3" CLEAR OF BASE OF SHRUBS AND GROUND COVER AND 6" CLEAR OF TREE TRUNKS.
 PRIOR TO ORDERING MULCH, CONTRACTOR IS TO SUBMIT SAMPLE TO LANDSCAPE ARCHITECT AND THE OWNER'S AUTHORIZED
- REPRESENTATIVE FOR APPROVAL.

 12. FINISHED GRADE OF TURF IS TO BE 1" BELOW FINISHED SURFACE OF ADJACENT PAVING OR MOWSTRIP.
- 3. ALL ON-STRUCTURE PLANTERS TO BE FILLED WITH IMPORT SOIL PER SPECIFICATIONS.
- 4. A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
 SOIL SHALL NOT BE VISIBLE THROUGH MULCH. KEEP MULCH 3" CLEAR OF PLANT STEMS AND 6" CLEAR OF TREE TRUNKS. PRIOR TO ORDERING MULCH. CONTRACTOR IS TO SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL.
- 14.1. ORGANIC MULCH SHALL TAKE PRECEDENCE OVER INORGANIC MATERIALS OR VIRGIN FOREST PRODUCTS UNLESS THE RECYCLED POST-CONSUMER PRODUCTS ARE NOT LOCALLY AVAILABLE.
- 15. TO PROVIDE HABITAT FOR BENEFICIAL INSECTS AND OTHER WILDLIFE UP TO 5% OF THE LANDSCAPE AREA MAY BE LEFT WITHOUT MULCH.
- 16. STABILIZING MULCHING PROEDUCTS SHALL BE USED ON SLOOPES THAT MEET CURRENT ENGINEERING STANDARDS
- 17. PLANT COUNTS ARE PROVIDED FOR CONVENIENCE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES.
- 18. RE-CIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.
- 9. A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- 20. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

TREES BOTANICAL NAME	COMMON NAME	YES QUANTITY	NO QUANTITY
JACARANDA MIMOSIFOLIA	JACARANDA	3	
LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ'	NATCHEZ CRAPE MYRTLE MULTI-TRUNK	5	
OLEA EUROPAEA 'WILSONII'	WILSON OLIVE		2
PLATANUS MEXICANA	MEXICAN SYCAMORE	2	
SHRUBS BOTANICAL NAME	COMMON NAME		
CALLISTEMON VIMINALIS 'LITTLE JOHN'	LITTLE JOHN WEEPING BOTTLEBRUSH	42	
PITTOSPORUM TENUIFOLIUM 'MARJORIE CHANNON'	MARJORIE CHANNON TAWHIWHI		28
WESTRINGIA FRUTICOSA `WES06` TM	LOW HORIZON COAST ROSEMARY	64	
CACTUS/SUCCULENTS BOTANICAL NAME	COMMON NAME		
AGAVE ATTENUATA	FOXTAIL AGAVE	6	
AGAVE ATTENUATA	FOXTAIL AGAVE	14	
AGAVE ATTENUATA `KARA`S STRIPES`	KARA`S STRIPES FOXTAIL AGAVE	6	
AGAVE ATTENUATA `KARA`S STRIPES`	KARA`S STRIPES FOXTAIL AGAVE	13	
AGAVE ATTENUATA 'NOVA'	NOVA FOXTAIL AGAVE	34	
KALANCHOE BEHARENSIS	FELT PLANT		8
YUCCA ROSTRATA	BEAKED YUCCA	1	4

GROUNDCOVER BOTANICAL NAME	COMMON NAME		
CAREX BARBARAE	SANTA BARBARA SEDGE	201	
CARISSA MACROCARPA `BOXWOOD BEAUTY`	BOXWOOD BEAUTY NATAL PLUM	76	
CRASSULA MULTICAVA	CAPE PROVENCE PYGMYWEED	140	
MYOPORUM PARVIFOLIUM `PROSTRATUM`	MYOPORUM	61	
PORTULACARIA AFRA `VARIEGATA`	VARIEGATED ELEPHANT BUSH	59	
	TOTAL	726	42
	PERCENTAGE	95	5

TOTAL LA COUNTY DROUGHT TOLERANT PLANTS: 726
TOTAL PLANTS: 168

MINIMUM REQUIRED DROUGHT TOLERANT PLANTS: 75%

PERCENTAGE OF DROUGHT TOLERANT PLANTS INCLUDED IN DESIGN: 95%

ENVIRONMENTAL DESIGNSTUDIO

201 WESTMORELAND AVE SUITE 126,
LOS ANGELES, CA 90004
www.EDStudiol.A.com

PURDUE

2465-60 PURDUE AVE LOS ANGELES, 90064



08.03.20	TOC SUBMITTAL
12 27 20	D D SUBMITTAL

01.26.21	P.C 1
07.26.21	PLANNING SUBMITTAL

10.11.21 PLANNING SUBMITTAL

DATE DESCRIPTION

PROJECT NO: #Project Code

SHEET NAME

PLANTING SCHEDULE AND NOTES

Page No. 23 of 23
Case No. DIR-2021-5596-TOC-HCA

L5.00

EXHIBIT B Letter of Determination

DEPARTMENT OF CITY PLANNING

COMMISSION OFFICE (213) 978-1300

CITY PLANNING COMMISSION

SAMANTHA MILLMAN **PRESIDENT**

CAROLINE CHOE

HELEN CAMPBELL JENNA HORNSTOCK HELEN LEUNG YVETTE LOPEZ-LEDESMA KARFN MACK DANA M. PERLMAN RENEE DAKE WILSON

CITY OF LOS ANGELES **CALIFORNIA**



ERIC GARCETTI

EXECUTIVE OFFICES

200 N. Spring Street, Room 525 LOS ANGELES, CA 90012-4801 (213) 978-1271

VINCENT P. BERTONI, AICP

SHANA M.M. BONSTIN

ARTHI L. VARMA, AICP DEPUTY DIRECTOR

LISA M. WEBBER, AICP DEPUTY DIRECTOR

DIRECTOR'S DETERMINATION TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM

July 28, 2022

Los Angeles, CA 91601

Applicant/Owner Case No. DIR-2021-5596-TOC-HCA

Amir Mehdizadeh **CEQA:** ENV-2021-5597-CE

801 South Beverly Glen Boulevard ENV-2013-622-EIR

Los Angeles, CA 90024 Location: 2456-2460 South Purdue Avenue

Council District: 11 – Bonin Representative

Community Plan Area: Palms – Mar Vista – Del Rey **Aaron Belliston Specific Plan:** Exposition Corridor Transit **BMR** Enterprises 5250 Lankershim Boulevard, Suite 500

Neighborhood Plan; West Los

Angeles Transportation Improvement and Mitigation

Land Use Designation: Medium Residential

Zone: R3-1

Legal Description: Lots 29-30, Block 6, Tract TR 5842

Last Day to File an Appeal: August 12, 2022

DETERMINATION – Transit Oriented Communities Affordable Housing Incentive Program

Pursuant to the Los Angeles Municipal Code (LAMC) Section 12.22 A.31, I have reviewed the proposed project and as the designee of the Director of Planning, I hereby:

DETERMINE, based on the whole of the administrative record, that the Project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Article 19, Section 15332 (Class 32), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

FIND, based on the independent judgement of the decision-maker, after consideration of the whole of the administrative record, that the project is within the scope of the Exposition Corridor Transit Neighborhood Plan Program EIR No. ENV-2013-622-EIR, SCH. No. 2013031038 ("Program EIR"), pursuant to CEQA Guidelines Sections 15168 and 15162; the environmental effects of the Project were covered in the Program EIR and no new environmental effects not identified in the Program EIR will occur and no new mitigation is required; and the City has incorporated all feasible mitigation measures from the Program EIR on the Project.

APPROVE a **Transit Oriented Communities (TOC) Affordable Housing Incentive Compliance Review** for a qualifying Tier 3 project totaling 27 dwelling units, reserving three (3) units for Extremely Low Income Household occupancy for a period of 55 years, with the following requested Additional incentives:

Additional Incentives

- a. **Height.** A 22-foot increase in the building height, allowing 67 feet in lieu of the maximum 45 feet per the R3-1 Zone;
- b. **Side Yard/Setback**. A 30 percent decrease in the required depth of the northwest side yard, allowing a 6-foot 4-inch northwest side yard setback in lieu of otherwise required 9-foot side yard setback per the R3-1 Zone; and
- c. **Open Space**. A maximum 25 percent reduction in the required open space, allowing 3,342 square feet in lieu of the 4,275 square feet otherwise required.

The project approval is based upon the attached Findings, and subject to the attached Conditions of Approval:

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CONDITIONS OF APPROVAL

- 1. **Site Development**. Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the Applicant, stamped "Exhibit A," and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, West/South/Coastal Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Los Angeles Municipal Code or the project conditions.
- 2. **Residential Density**. The project shall be limited to a maximum density of 27 residential units per Exhibit "A".
- 3. **Affordable Units.** The project shall reserve a minimum of three (3) units, that is 11 percent On-Site Restricted Affordable Units, for Extremely Low Income Households as defined in Section 50106 of the California Health and Safety Code. The Transit Oriented Communities Affordable Housing Incentive Program Guidelines also requires a Housing Development to meet any applicable housing replacement requirements of California Government Code Section 65915(c)(3), as verified by the Los Angeles Housing Department (LAHD) prior to the issuance of any building permit. Replacement housing units required per this section may also count towards other On-Site Restricted Affordable Units requirements.
- 4. **Changes in Restricted Units**. Deviations that increase the number of restricted affordable units or that change the composition of units or change parking numbers shall be consistent with LAMC Section 12.22-A.31 and comply with the Transit Oriented Communities Affordable Housing Incentive Program Guidelines adopted by the City Planning Commission.
- 5. Housing Requirements. Prior to issuance of a building permit, the owner shall execute and record a covenant and agreement running with the land to the satisfaction of the Los Angeles Housing Department (LAHD) to make three (3) unit for Extremely Low Income Households for rental as determined to be affordable to such households by LAHD for a period of 55 years. In the event the applicant reduces the proposed density of the project, the number of required set aside affordable units may be adjusted, consistent with LAMC Section 12.22-A.25, to the satisfaction of LAHD, and in consideration of the project's SB 330 Determination. Enforcement of the terms of said covenant shall be the responsibility of LAHD. The Applicant will present a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and any monitoring requirements established by the LAHD. Refer to the Transit Oriented Communities Affordable Housing Incentive Program Background and Housing Replacement (SB 330 Determination) Background sections of this determination.
- 6. **Floor Area Ratio (FAR)**. The project shall be limited to a Floor Area Ratio of 4.3:1 or approximately 46,528 square feet, as shown in Exhibit "A".
- 7. **Height**. The project shall be limited to a maximum 67 feet in height, as shown in Exhibit "A". Height increases over 11 feet, resulting in building height over 56 feet, shall be stepped back at least 15 feet from the exterior façade of the ground floor of the building located along any street frontage, as provided in Sheets A2.06, A3.02,_A3.04, and A4.02 through A4.04 of Exhibit "A".
- 8. **Side Yard/Setback**. The project qualifies for a 30 percent reduction in the required width or depth of two individual yards or setbacks. The northwest side yard shall be no less than 6 feet 4 inches, as shown in Exhibit "A".

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- 9. **Open Space**. The project shall provide a minimum of 3,342 square feet of open space per Exhibit "A". The common open space shall meet the requirements of LAMC Section 12.21 G per the satisfaction of the Department of Building and Safety.
- 10. **Automobile Parking**. Based upon the number of dwelling units proposed, a minimum of fourteen (14) automobile parking spaces shall be provided for the project. Automobile parking shall be provided consistent with TOC Guidelines, which allows required parking for all residential units in an Eligible Housing Development for a Tier 3 project not to exceed one-half (0.5) space per unit. The project proposes 26 parking spaces, as shown in Exhibit "A".
- 11. **Adjustment of Parking**. In the event that the number of Restricted Affordable Units should increase, or the composition of such units should change (i.e. the number of bedrooms, or the number of units made available to Senior Citizens and/or Disabled Persons), or the applicant selects another Parking Option (including Bicycle Parking Ordinance) and no other Condition of Approval or incentive is affected, then no modification of this determination shall be necessary, and the number of parking spaces shall be recalculated by the Department of Building and Safety, based upon the ratios set forth ratios set forth in the Transit Oriented Communities Affordable Housing Incentive Program Guidelines (TOC Guidelines).
- 12. **Bicycle Parking.** Bicycle parking shall be provided consistent with LAMC 12.21 A.16.
- 13. Landscape Plan. Revised landscape plans shall be submitted to show the size and location of all plants. The landscape plan shall indicate landscape points for the Project equivalent to 10% more than otherwise required by LAMC 12.40 and Landscape Ordinance Guidelines "O". All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be landscaped, including an automatic irrigation system, and maintained in accordance with a final landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning. The final landscape plan shall be in substantial conformance with the submitted Landscape Plan, Exhibit "A," and shall incorporate any modifications required as a result of this grant.
- 14. Street trees may be used to satisfy on-site tree requirements pursuant to LAMC Article Section 12.21.G.3 (Chapter 1, Open Space Requirement for Six or More Residential Units).
- 15. Specific Plan. Prior to the issuance of a building permit, the applicant shall demonstrate compliance with the Exposition Corridor Transit Neighborhood Plan Specific Plan ("Expo TNP") pursuant to Ordinance No. 186,402, including but not limited to:
 - a. Street-fronting residential units on the ground floor shall each have a primary entrance facing the street per Expo TNP Section 4.3.2.A.1.
 - b. Primary pedestrian entrances shall be prominent and distinguished through architectural features such as, but not limited to, front porches, overhead projections, columns, side windows, or recessed planes per Expo TNP Section 4.3.2.A.2.
 - c. Visible exterior surfaces of the proposed structure, fencing, recreational equipment, or outdoor art installations shall be constructed of materials such as, but not limited to, high-performance and/ or non-reflective tinted glass (without mirror-like tints or films), pre-cast concrete, fabricated wall surfaces, composite materials, wood, coated metal, and stone to minimize glare and reflected heat per Expo TNP 4.3.3.B.2.

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d. At least 50% of hardscape areas shall include permeable paving, except where not feasible due to water table levels, contamination, or permeability of the soil per Expo TNP 4.3.4.A.2.

Administrative Conditions

- 16. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff "Plans Approved". A copy of the Plans Approved, supplied by the applicant, shall be retained in the subject case file.
- 17. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.
- 18. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
- 19. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
- 20. **Department of Building and Safety**. The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
- 21. **Recording Covenant.** Prior to the issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard master covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Development Services Center at the time of Condition Clearance for attachment to the subject case file.
- 22. Indemnification and Reimbursement of Litigation Costs.
 Applicant shall do all of the following:
 - (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including <u>but not limited to</u>, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of

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subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.

- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with <u>any</u> federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

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PROJECT BACKGROUND

Subject Property

The project site is located at 2456 South Purdue Avenue, approximately mid-block along Purdue Avenue between Exposition Boulevard and Pearl Street. The project site is comprised of two (2) flat, rectangular-shaped lots. In total, the lots cover approximately 15,000 square feet, with approximately 100 feet of frontage along the east side of Purdue Avenue and a lot depth of approximately 150 feet. The project site is located within 1.78 kilometers (1.1 miles) of the Santa Monica Fault. The site is not located within a designated hillside area, a Special Grading Area (BOE Basic Grid Map A-13372), very high fire hazard severity zone, flood zone, landslide, tsunami inundation zone, or liquefaction zone.

The property is currently developed with two single-family dwellings with detached garages, which will be demolished to clear the site. There are no known designated historic resources or cultural monuments on the subject site. Per the Arborist Report (prepared by Brandon's Landscapes dated September 10, 2021), there are seven (7) non-protected trees on the subject site which will be removed, and one (1) non-protected (Victorian box) street tree located in the public-right-of-way which will remain.

Zoning and Land Use Designation

The site is zoned R3-1 and has a General Plan Land Use designation of Medium Residential, which has corresponding zones of R3 and R3(PV). The R3 Zone allows for a base residential density at a rate of the one unit per 800 square feet of lot area. Height District No. 1 in the R3 Zone allows for a height of 45 feet and the site is limited to a Floor Area Ratio (FAR) of 3:1. The project site is located in the Palms – Mar Vista – Del Rey Community Plan area. The Exposition Corridor Transit Neighborhood Plan (Specific Plan) established by Ordinance 186,402 and effective December 26, 2019, established review procedures, design standards, and environmental standards for the subject site. The project site is in the West Los Angeles Transportation Improvement and Mitigation Specific Plan (WLA TIMP, Ordinance 186,105 and 186,108). The project is subject to Department of Transportation clearance of the WLA TIMP. In addition, the project is within a Tier 3 designation of the Transit Oriented Communities Program. Pursuant to LAMC Section 12.22 A.31 and the TOC Guidelines, the applicant requests a Transit Oriented Communities Compliance Review.

Surrounding Uses

Abutting properties to the north, south, east and west are zoned R3-1 and are developed primarily with multi-family dwellings ranging from one to six stories in height. Properties further to the south (across Pearl Street) are zoned R1-1 and developed with single-family dwellings.

Project Description

The proposed project is for the construction of a new six-story, 67-foot tall, 27-unit residential building (including 3 units reserved for Extremely Low-Income). The project will have a proposed Floor Area Ratio ("FAR") of approximately 4.3:1 with approximately 46,528 square feet of floor area. The project provides 26 parking spaces located at subterranean level. The project will also provide 30 long-term and three (3) short-term bicycle parking spaces in accordance with LAMC 12.21.A.16. The existing two single-family dwellings and attached garages on-site are proposed to be demolished, along with seven (7) non-protected trees are proposed to be removed from the subject site. The project will involve grading and export approximately 6,475 cubic yards of soil. One (1) non-protected (Victorian box) street tree located in the public-right-of-way is proposed to remain.

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TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM BACKGROUND

The project qualifies for the Transit Oriented Communities ("TOC") Affordable Housing Incentive Program, which allows a variety of incentives for increased density, height, and floor area, among others, for Eligible Housing Projects. Measure JJJ was adopted by the Los Angeles City Council and established the TOC Affordable Housing Incentive Program. The measure required that the Department adopt a set of TOC Guidelines, which establish incentives for residential or mixed use projects located within ½ mile of a major transit stop, as defined under existing State law.

The TOC Guidelines, adopted September 22, 2017 and amended on February 26, 2018, establish a tier-based system with varying development bonuses and incentives based on a project's distance from different types of transit. The largest bonuses are reserved for those areas in the closest proximity to significant rail stops or the intersection of major bus rapid transit lines. Required affordability levels are increased incrementally in each higher tier. The incentives provided in the TOC Guidelines describe the range of bonuses from particular zoning standards that applicants may select.

The subject site is located within a half-mile (2,640 feet) of the Los Angeles County Metropolitan Transportation Authority ("Metro") "E" (Expo) Light Rail Transit Line Expo/Sepulveda Station. The subject property is therefore eligible as a Tier 3 development in the Transit Oriented Communities Affordable Housing Incentive Program Guidelines, as indicated on the TOC Referral Form dated January 12, 2021.

Tier 3 Base Incentives require On-Site Restricted Affordable Units at the rate of 10% for Extremely Low Income, 14% for Very Low Income, or 23% for Lower Income, of the total number of units. Three Additional Incentives may be granted for projects that include at least 11% of the base units for Extremely Low-Income Households. The applicant is proposing three (3) units for Extremely Low Income Households consistent with the Base Incentive requirements, and which make the project eligible for three Additional Incentives.

The project is eligible for the following Tier 3 Base Incentives, which are granted by-right for eligible TOC projects:

a. **Density.** Increase the maximum allowable number of dwelling units permitted by up to 70 percent.

The R3 Zone allows for a maximum residential density of one dwelling unit per 800 square feet of lot area. The combined subject lots total approximately 15,000 square feet, for a maximum base density of 18.75 units. The Los Angeles Municipal Code allows 18 units by right, however the TOC Guidelines round base density up to the next whole number of 19 units. The maximum allowed density for the subject site under the Tier 3 Density Incentive would be 70% resulting in 32.3 units; again, the TOC Guidelines round up to the next whole number resulting in 33 units. The project is proposing 27 units, which is consistent with the allowable density under the TOC Guidelines.

b. **Floor Area Ratio.** Percentage increase in residential zones resulting in 4.5:1 FAR.

In the R3 Zone in Height District 1, the Los Angeles Municipal Code provides for a maximum FAR of 3:1. Los Angeles Municipal Code Section 12.03 states, "Buildable Area" is, "all that portion of a lot located within the proper zone for the proposed main building, excluding those portions of the lot which must be reserved for yard spaces, building line setback space, or which may only be used for accessory buildings or uses." The buildable area for the subject site is 10,800 square feet for a by-right floor area of 32,400 square

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feet. The Tier 3 FAR Incentive allows for a maximum FAR percentage increase up to 50%, as provided under the Expo TNP Specific Plan, for a maximum floor area of approximately 48,600 square feet. The project is proposing 46,528 square feet, which is consistent with the TOC requirements.

c. **Residential Parking.** Parking for all residential units in an Eligible Housing Development for a Tier 3 project shall not be required to exceed one-half space per unit.

The project is required to provide 14 parking spaces under the TOC incentive and is providing 26 spaces, consistent with the requirements of Los Angeles Municipal Code 12.22-A.31.

Pursuant to the TOC Guidelines, the project is eligible for, and has been granted three (3) Tier 3 Additional Incentives to construct the proposed project:

a. **Height.** The TOC Height Incentive allows an additional 22 feet in height, over the base height, for a Tier 3 project, except those projects located on lots with a height limit of 45 feet or less, or located within a Specific Plan or overlay district that regulates height, shall require any height increases over 11 feet to be stepped-back at least 15 feet from the exterior face of the Ground Floor of the building located along any street frontage.

In the R3 Zone in Height District 1, the LAMC allows for a maximum building height of 45-feet and unlimited stories. The TOC incentive for height allows a 22-foot increase in the building height for a Tier 3 project, allowing a maximum 67-feet in lieu of the 45-feet otherwise allowed by the R3-1 Zone. The TOC height incentive also requires any height increases over 11-feet to be stepped-back at least 15-feet from the exterior face of the ground floor of the building located along the street frontage. The project is proposing a maximum height of 67-feet and is complying with the 15-foot step-back requirement along the Purdue Avenue façade, as provided in Sheets A2.06, A3.02, A3.04, and A4.02 through A4.04 of Exhibit "A". The project is consistent with the TOC Guideline's height incentive and step-back requirements.

b. **Side Yard/Setback**. In Tier 3 areas, the TOC incentive for side and rear yard reductions allows up to a 30 percent reduction in the required width or depth of two individual yards or setbacks.

In the R3 Zone, for a building more than two stories in height, the five-foot side yards are required to be increased by one foot for each additional story above the second story. The proposed project is six (6) stories and therefore has 9-foot required side yards. The project proposes a 6-foot 4-inch side yard on the northwest lot line consistent with TOC Guidelines and as shown in Exhibit "A".

The property is not requesting a reduction in the front yard and will provide a 15-foot 6-inch front yard setback (10 feet 6 inches post-dedication), as required by the Exposition Corridor Transit Neighborhood Plan Section 4.3.1.A.2, the front yard setback shall be within 5-feet of the Prevailing Front Setback as defined in LAMC Section 12.08 C.1. The property is not requesting a reduction in the rear yard and will provide a 15-foot rear yard setback; this is consistent with the rear yard setback required by code. The property is not requesting a reduction to the southerly side yard and will maintain the 9-foot side yard; this is consistent with the side yard required by code.

c. **Open Space**. In Tier 3 areas, the TOC Guidelines allow for an incentive of up to a 25 percent reduction in the required open space.

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Based on the number of habitable rooms in the project, a total of 4,275 square feet of open space is required by LAMC Section 12.21.G. The Additional Incentive allows for a maximum 25 percent reduction, which results in a minimum 3,206.25 square feet of open space. The project is providing 3,342 square feet of qualified open space, consistent with the TOC Guidelines open space incentive and as shown in Exhibit "A".

The table below provides a summary of the relevant and underlying LAMC provisions for the subject property and requested TOC Base and Additional Incentives:

Incentives	Otherwise	TOC Guidelines	Proposed
	Allowed/Required		
Density	18 units	33 units	27 units
FAR	3:1	4.5:1	4.3:1
Parking Spaces	48 spaces	14 spaces	26 spaces
Height	45-feet	67-feet	67-feet
Side Yard/Setback	9-feet	6-feet 3.6-inches	6-feet 4 inches
Open Space	4,275 square feet	3,206.25 square feet	3,342 square feet

HOUSING REPLACEMENT (AB 2556 DETERMINATION) BACKGROUND

Pursuant to LAMC Section 12.22-A, 31(b)(1), a Housing Development located within a Transit Oriented Communities (TOC) Affordable Housing Incentive Area shall be eligible for TOC Incentives if it meets any applicable replacement requirements of California Government Code Section 65915(c)(3)(California State Density Bonus Law).

Assembly Bill 2222(AB 2222) amended the State Density Bonus Law to require applicants of density bonus projects filed as of January 1, 2015 to demonstrate compliance with the housing replacement provisions which require replacement of rental dwelling units that either exist at the time application of a Density Bonus project. This applies to all pre-existing units that have been subject to a recorded covenant, ordinance, or law that restricts to levels affordable to persons and families of lower or very low income; subject to any other form of rent or price control; or occupied by Low or Very Low Income Households.

On September 28, 2016 the Governor signed Assembly Bill 2556 (AB 2556) further amending State Density Bonus Law. The amendments took affect on January 1, 2017. AB 2556 clarifies the implementation of the required replacement of affordable units in Density Bonus projects, first introduced by AB 2222. AB 2556 further defines "equivalent size" to mean that as a whole, the new units must contain at least the same total number of bedrooms as the units being replaced.

In addition to the requirements of the California State Density Bonus Law, on October 9, 2019, the Governor signed the Housing Crisis Act of 2019 (SB 330). SB 330 creates new laws regarding the production, preservation and planning for housing, and establishes a statewide housing emergency until January 1, 2025. During the duration of the statewide housing emergency, SB 330, among other things, creates new housing replacement requirements for Housing Development Projects by prohibiting the approval of any proposed housing development project on a site that will require the demolition of existing residential dwelling units or occupied or vacant "Protected Units" unless the proposed housing developments project replaces those units.

The Los Angeles Housing Department (LAHD) has determined, per the Housing Crisis Act of 2019 (SB 330) Replacement Unit Determination, dated October 19, 2020, that two (2) units need to be replaced with equivalent type, with one (1) unit restricted to Extremely Low Income Households, and one (1) unit restricted to Very Low Income Households. The project satisfies the TOC Affordable Housing requirement by providing three (3) units restricted to Extremely Low-Income households. This is reflected in the Conditions of Approval.

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TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM ELIGIBILITY REQUIREMENTS

To be an eligible TOC Housing Development, a project must meet the Eligibility criteria set forth in Section IV of the TOC Guidelines. A Housing Development located within a TOC Affordable Housing Incentive Area shall be eligible for TOC Incentives if it meets all of the following requirements, which it does:

- On-Site Restricted Affordable Units. In each Tier, a Housing Development shall provide On-Site Restricted Affordable Units at a rate of at least the minimum percentages described below. The minimum number of On-Site Restricted Affordable Units shall be calculated based upon the total number of units in the final project.
 - a) Tier 1 8% of the total number of dwelling units shall be affordable to Extremely Low Income (ELI) Households, 11% of the total number of dwelling units shall be affordable to Very Low (VL) Income Households, or 20% of the total number of dwelling units shall be affordable to Lower Income Households.
 - b) Tier 2 9% ELI. 12% VL or 21% Lower.
 - c) Tier 3 10% ELI, 14% VL or 23% Lower.
 - d) Tier 4 11% ELI, 15% VL or 25% Lower.

The project site is located within Tier 3. Tier 3 requires at least 10 percent of the 27 total units, or three (3) units, to be set aside for Extremely Income Households. The project reserves three (3) units for Extremely Low Income Households. As such, the project meets the eligibility requirement for On-Site Restricted Affordable Units.

- 2. **Major Transit Stop.** A Housing Development shall be located on a lot, any portion of which must be located within 2,640 feet of a Major Transit Stop, as defined in Section II and according to the procedures in Section III.2 of the TOC Guideline
 - A Major Transit Stop is a site containing a rail station or the intersection of two or more bus routes with a service interval of 15 minutes or less during the morning and afternoon peak commute periods. The subject site is located within 2,640 feet from the Los Angeles County Metropolitan Transportation Authority ("Metro") "E" (Expo) Light Rail Transit Line Expo/Sepulveda Station. The subject property is therefore eligible as a Tier 3 development in the Transit Oriented Communities Affordable Housing Incentive Program Guidelines, as indicated on the TOC Referral Form dated January 12, 2021. Therefore, the project meets the eligibility requirement for proximity to a Major Transit Stop.
- 3. **Housing Replacement.** A Housing Development must meet any applicable housing replacement requirements of California Government Code Section 65915(c)(3), as verified by Los Angeles Housing Department (LAHD) prior to the issuance of any building permit. Replacement housing units required per this section may also count towards other On-Site Restricted Affordable Units requirements.
 - The Los Angeles Housing Department (LAHD) has determined, per the Housing Crisis Act of 2019 (SB 330) Replacement Unit Determination, dated October 19, 2020, that two (2) units need to be replaced with equivalent type, with one (1) unit restricted to Extremely Low Income Households, and one (1) unit restricted to Very Low Income Households. The project satisfies the TOC Affordable Housing requirement by providing three (3) units restricted to Extremely Low-Income households. This is reflected in the Conditions of Approval.
- 4. **Other Density or Development Bonus Provisions.** A Housing Development shall not seek and receive a density or development bonus under the provisions of California

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Government Code Section 65915 (State Density Bonus law) or any other State or local program that provides development bonuses. This includes any development bonus or other incentive granting additional residential units or floor area provided through a General Plan Amendment, Zone Change, Height District Change, or any affordable housing development bonus in a Transit Neighborhood Plan, Community Plan Implementation Overlay (CPIO), Specific Plan, or overlay district.

The project does not seek any additional density or development bonuses under the provisions of the State Density Bonus Law or any other State or local program that provides development bonuses, including, but not limited to a General Plan Amendment, Zone Change, Height District Change, or any affordable housing development bonus in a Transit Neighborhood Plan, Community Implementation Overlay (CPIO), Specific Plan, or overlay district. As such, the project meets this eligibility requirement.

- 5. Base Incentives and Additional Incentives. All Eligible Housing Developments are eligible to receive the Base Incentives listed in Section VI of the TOC Guidelines. Up to three Additional Incentives listed in Section VII of the TOC Guidelines may be granted based upon the affordability requirements described below. For the purposes of this section below, "base units" refers to the maximum allowable density allowed by the zoning prior to any density increase provided through these Guidelines. The affordable housing units required per this section may also count towards the On-Site Restricted Affordable Units requirement in the Eligibility Requirement No. 1 above (except Moderate Income units).
 - a. One Additional Incentive may be granted for projects that include at least 4% of the base units for Extremely Low Income Households, at least 5% of the base units for Very Low Income Households, at least 10% of the base units for Lower Income Households, or at least 10% of the base units for persons and families of Moderate Income in a common interest development.
 - b. Two Additional Incentives may be granted for projects that include at least 7% of the base units for Extremely Low Income Households, at least 10% of the base units for Very Low Income Households, at least 20% of the base units for Lower Income Households, or at least 20% of the base units for persons and families of Moderate Income in a common interest development.
 - c. Three Additional Incentives may be granted for projects that include at least 11% of the base units for Extremely Low Income Households, at least 15% of the base units for Very Low Income Households, at least 30% of the base units for Lower Income Households, or at least 30% of the base units for persons and families of Moderate Income in a common interest development.

The project is eligible for three (3) Additional Incentives and is utilizing the height increase, reduced side yard setback, and reduced open space reduction incentives, which require at least 11 percent, or three (3) units, of the 19 base units, to be set aside for Extremely Low Income Households. The project proposes to set aside three (3) dwelling units for Extremely Low Income Households, which is at least 11 percent of the 19 base units. As such, the project meets the eligibility requirement for three Additional Incentives.

6. **Projects Adhering to Labor Standards.** Projects that adhere to the labor standards required in LAMC 11.5.11 may be granted two Additional Incentives from the menu in Section VII of these Guidelines (for a total of up to five Additional Incentives).

The project is only requesting three Additional Incentives and not five Additional Incentives. Therefore, the project is not required to adhere to the labor standards required in LAMC 11.5.11.

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- 7. **Multiple Lots.** A building that crosses one or more lots may request the TOC Incentives that correspond to the lot with the highest Tier permitted by Section III of the TOC Guidelines.
 - The project consists of two lots; both lots are within TOC Tier 3. As such, the site qualifies as Tier 3 TOC Affordable Housing Incentive Area.
- 8. **Request for a Lower Tier.** Even though an applicant may be eligible for a certain Tier, they may choose to select a Lower Tier by providing the percentage of On-Site Restricted Affordable Housing units required for any lower Tier and be limited to the Incentives available for the lower Tier.
 - The applicant has not elected to utilize a Lower Tier. As such, this eligibility requirement does not apply.
- 9. **100 Percent Affordable Housing Projects.** Buildings that are Eligible Housing Developments that consist of 100% On-Site Restricted Affordable units, exclusive of a building manager's unit or units shall, for purposes of these Guidelines, be eligible for one increase in Tier than otherwise would be provided.

The project is not a 100% Affordable Housing Project. As such, this eligibility requirement does not apply.

FINDINGS

TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM /AFFORDABLE HOUSING INCENTIVES COMPLIANCE FINDINGS

Pursuant to Section 12.22 A.31(e) of the LAMC, the Director shall review a Transit Oriented Communities Affordable Housing Incentive Program project application in accordance with the procedures outlined in LAMC Section 12.22 A.25(g).

- 1. Pursuant to Section 12.22 A.25(g) of the LAMC, the Director shall approve a density bonus and requested incentive(s) unless the Director finds that:
 - a. The Incentive is <u>not required</u> in order to provide for affordable housing costs as defined in California Health and Safety Code Section 50052.5 or Section 50053 for rents for the affordable units.

The record does not contain substantial evidence that would allow the Director to make a finding that the requested incentives are not necessary to provide for affordable housing costs per State Law. The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for extremely low, very low, lower, and moderate-income households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed a predetermined percentage of income based on area median income thresholds dependent on affordability levels.

The list of on-menu incentives in the TOC Guidelines were pre-evaluated at the time the Transit Oriented Communities Affordable Housing Incentive Program Ordinance was adopted to include types of relief that minimize restrictions on the size of the project. As such, the Director will always arrive at the conclusion that the on-menu incentives are required to provide for affordable housing costs because the incentives by their nature

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increase the scale of the project. Therefore, the site and project qualify for the TOC Affordable Housing Incentive Program as an Eligible Housing Development, and is eligible for the incentives granted therein.

Increased Height:

A restriction on height could limit the ability to construct the additional residential dwelling units, and specifically the Restricted Affordable Units. The project is financially feasible because of the increased flexibility the incentives allow the applicant in the building envelope.

Base Height + Incentive

The applicant has requested a Tier 3 Height Incentive, which allows for two additional stories up to 22 additional feet. The R3-1 zone allows for a maximum height of 45 feet. Therefore, the Tier 3 Height Incentive would allow a maximum height of 67 feet. The project is within that envelope at 67 feet and is consistent with the TOC Guidelines.

TOC Height Exception

The TOC Height Exception applies to projects located on lots with a height limit of 45 feet or less. The Exception requires any height increases in excess of the first 11 feet above the base height to be stepped-back a minimum of 15 feet from the exterior face of the Ground Floor building along any street frontage.

The project site is in a R3-1 Zone, with a height limit of 45 feet. Therefore, along Purdue Avenue, the project is stepped back after the first 11 feet of height increase over the base height of 45 feet, beginning at 56 feet, as provided in Sheets A2.06, A3.02, A3.04, and A4.02 through A4.04 of Exhibit "A". The project is consistent with the TOC Guidelines height incentive and stepback requirements.

Reduced Side Yard/Setback:

Per TOC Guidelines, in residential zones, Eligible Housing Developments may utilize an incentive for yard reductions. The project does not request or propose any reductions in the required front, rear, or southeast side yard setbacks. The applicant has requested a Tier 3 Reduced Side Yard Incentive, which allows for a 30% reduction of the required northwest side yard. The project is providing 6-foot 4-inch side yard and is therefore in compliance with the TOC Guidelines.

The requested incentive is necessary to provide the affordable housing costs as defined in California Health and Safety Code Section 50052.5, or Section 50053 for rents for the affordable units. The reduced side yard setbacks are necessary to build the affordable housing units provided.

Reduced Open Space:

Based on the number of habitable rooms in the project, a total of 4,275 square feet of open space is required by LAMC Section 12.21.G. The Additional Incentive allows for a maximum 25 percent reduction, which results in a minimum 3,206.25 square feet of open space. The project is providing 3,342 square feet of qualified open space, consistent with the TOC Guidelines open space incentive.

Additional required open space could limit the physical ability to construct the additional residential dwelling units, and specifically the Restricted Affordable Units. The project is

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financially feasible because of the increased flexibility in the incentives allow the applicant in the building envelope. Therefore, the requested incentives are necessary to provide the affordable housing costs as defined in the California Health and Safety Code Section 50052.5, or Section 50053 for rents for the affordable units.

b. The Incentive will have a Specific Adverse Impact upon public health and safety or on any real property that is listed in the California Register of Historical Resources and for which there are no feasible method to satisfactorily mitigate or avoid the Specific Adverse Impact without rendering the development unaffordable to Very Low, Low and Moderate Income households. Inconsistency with the zoning ordinance or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety.

There is no evidence in the record that the proposed incentive will have a specific adverse impact. A "specific adverse impact" is defined as, "a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" (LAMC Section 12.22.A.25(b)). The project does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments. The project is not located on a substandard street in a Hillside area or a Very High Fire Hazard Severity Zone. There is no evidence in the record which identifies a written objective health and safety standard that has been exceeded or violated. Based on the above, there is no basis to deny the requested incentives. Therefore, there is no substantial evidence that the project's proposed incentives will have a specific adverse impact on public health and safety or on property listed in the California Register of Historic Resources.

CEQA FINDINGS

As the designee of the Director of Planning, I have determined, based on the whole of the administrative record, that the Project is exempt from CEQA pursuant to CEQA Guidelines, Article 19, Section 15332 (Class 32), and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

As the designee of the Director of Planning, I have found, based on the independent judgement of the decision-maker, after consideration of the whole of the administrative record, that the project is within the scope of the Exposition Corridor Transit Neighborhood Plan Program EIR No. ENV-2013-622-EIR, SCH. No. 2013031038 ("Program EIR"), pursuant to CEQA Guidelines Sections 15168 and 15162; the environmental effects of the Project were covered in the Program EIR and no new environmental effects not identified in the Program EIR will occur and no new mitigation is required; and the City has incorporated all feasible mitigation measures from the Program EIR on the Project.

The project proposes the demolition of two existing single-family buildings and detached garages, and the construction of a new six-story,67-foot tall, 27-unit residential building (including 3 units reserved for Extremely Low-Income). The project will have a proposed Floor Area Ratio ("FAR") of approximately 4.3:1 with approximately 46,528 square feet of floor area. The project provides 26 parking spaces located at subterranean level. The project will also provide 30 long-term and three (3) short-term bicycle parking spaces in accordance with LAMC 12.21.A.16. The project will involve grading and export approximately 6,475 cubic yards of soil. One(1) non-protected (Victorian box) street tree located in the public-right-of way is proposed. As a multi-family residential building, and a project which is characterized as in-fill development, the project qualifies for the Class 32 Categorical Exemption.

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<u>CEQA Determination – Class 32 Categorical Exemption Applies</u>

A project qualifies for a Class 32 Categorical Exemption if it is developed on an infill site and meets the following criteria:

(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations.

The site is zoned R3-1 and has a General Plan Land Use designation of Medium Residential, which has corresponding zones of R3 and R3(PV). The R3 Zone allows for a base residential density at a rate of the one unit per 800 square feet of lot area. Height District No. 1 in the R3 Zone allows for a height of 45 feet and the site is limited to a Floor Area Ratio (FAR) of 3:1. The project site is located in the Palms – Mar Vista – Del Rey Community Plan area. The Exposition Corridor Transit Neighborhood Plan (Specific Plan) established by Ordinance 186,402 and effective December 26,2019, established review procedures, design standards, and environmental standards for the subject site. The project site is in the West Los Angeles Transportation Improvement and Mitigation Specific Plan (WLA TIMP, Ordinance 186,105 and 186,108). The project is subject to Department of Transportation clearance of the WLA TIMP. In addition, the project is within a Tier 3 designation of the Transit Oriented Communities Program. Pursuant to LAMC Section 12.22 A.31 and the TOC Guidelines, the applicant requests a Transit Oriented Communities Compliance Review.

The project site is comprised of two flat, rectangular lots. In total, the lots cover approximately 15,000 square feet, with approximately 100 feet of frontage along the east side of Purdue Avenue and a uniform depth of approximately 150 feet. The project site is located within the Palms – Mar Vista – Del Rey Community Plan area, West Los Angeles Transportation Improvement and Mitigation Specific Plan, Exposition Corridor Transit Neighborhood Plan, and within 1.78 kilometers of the Santa Monica Fault. The site is not located within a designated hillside area, a Special Grading Area (BOE Basic Grid Map A-13372), very high fire hazard severity zone, flood zone, landslide, tsunami inundation zone, or liquefaction zone. There are no designated historic resources or cultural monuments on the subject site.

The R3 Zone allows for a maximum residential density of one dwelling unit per 800 square feet of lot area. The combined subject lots total approximately 15,000 square feet, for a maximum base density of 18.75 units. The Los Angeles Municipal Code allows 18 units by right, however the TOC Guidelines round base density up to the next whole number of 19 units. The maximum allowed density for the subject site under the Tier 3 Density Incentive would be 70% resulting in 32.3 units; again, the TOC Guidelines round up to the next whole number resulting in 33 units. The project is proposing 27 dwelling units, which is consistent with the allowable density under the TOC Guidelines. The project is required to provide 14 parking spaces under the TOC incentive and is providing 26 spaces, consistent with the requirements of Los Angeles Municipal Code 12.22-A.31.

In the R3 Zone in Height District 1, the Los Angeles Municipal Code provides for a maximum FAR of 3:1. Los Angeles Municipal Code Section 12.03 states, "Buildable Area" is, "all that portion of a lot located within the proper zone for the proposed main building, excluding those portions of the lot which must be reserved for yard spaces, building line setback space, or which may only be used for accessory buildings or uses." The buildable area for the subject site is 10,800 square feet for a by-right floor area of 32,400 square feet. The Tier 3 FAR Incentive allows for a maximum FAR percentage increase up to 50%, as provided under Director's Interpretation under Case No. DIR-2022-1365-DI, for a maximum floor area of approximately 48,600 square feet. The project is proposing 46,528 square feet, which is consistent with the TOC requirements.

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Pursuant to the TOC Guidelines, the project is eligible for, and has been granted three Tier 3 Additional Incentives. In Tier 3 areas, the TOC incentive for side yard reductions allows up to a 30 percent decrease in the required width or depth of two individual yards or setbacks. The project proposes a 6-foot 4-inch northwest side yard consistent with the TOC Guidelines. The side yard reflect a 30 percent reduction in the otherwise required 9-foot side yard for the project, consistent with the TOC yard reduction incentive.

The TOC Guidelines allow for a maximum height of 67 feet (22 additional feet) and the project is 67 feet in height. The project is consistent with the TOC Guideline's Height Incentive and Exception requirements.

Residential Open Space is required in projects that have more than six units; the amount of open space is related to the number of habitable rooms in each unit. The total required open space for the mix of units proposed in this project is 4,275 square feet. Applying the TOC reduction, the project is allowed to provide 3,206.25 square feet of open space. The proposed project includes 3,342 square feet of open space.

The proposed project is consistent with many General Plan goals, policies, and objectives. The Housing Element of the General Plan provides the following:

Goal 1: A City where housing production and preservation result in an adequate supply of ownership and rental housing that is safe, healthy and affordable to people of all income levels, races, ages, and suitable for their various needs.

Objective 1.1 Produce an adequate supply of rental and ownership housing in order to meet current and projected needs.

Policy 1.1.4 Expand opportunities for residential development, particularly in designated Center, Transit Oriented Districts and along Mixed-Use Boulevards

The proposed project meets the above goal, policy and objective creating additional housing units in a transit oriented district; the project will also include three (3) units for Extremely Low Income household occupancy for a period of 55 years.

Additionally, the Palms - Mar Vista - Del Rey Community Plan, one of the Land Use Elements of the General Plan, provides the following:

Policy 1-1.1: Provide adequate multi-family residential development.

Policy 1-2.1: Locate higher residential densities near commercial centers and major bus routes where public service facilities and infrastructure will support this development.

Objective 1-4: To promote the adequacy and affordability of multiple-family housing and increase its accessibility to more segments of the population.

The proposed project meets the above policies and objective by providing multi-family dwelling units in a new, safe, and secure building. The proposed project is located on a site designated for Medium Residential Land Uses, which includes multiple-family residential uses, and will be served by facilities and necessary infrastructure. The site is near the Metro "E" (Expo) Expo-Sepulveda Station. The three affordable units will ensure that the proposed project is accessible to lower-income segments of the population.

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The current project is in an urbanized area and characterized as in-fill development, which qualifies for the Class 32 Categorical Exemption. As shown in the case file, the project is consistent with the applicable Palms – Mar Vista – Del Rey Community Plan designation and policies and all applicable zoning designations and regulations.

(b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.

The subject site is wholly within the City of Los Angeles, on a site that is approximately 0.344 acres (approximately 15,000 square feet). Abutting properties to the north, south, east and west are zoned R3-1 and are developed primarily with multi-family dwellings ranging from one to six stories in height. Properties further to the south (across Pearl Street) are zoned R1-1 and developed with single-family dwellings.

(c) The project site has no value as habitat for endangered, rare or threatened species.

The site is previously disturbed and surrounded by development and therefore is not, and has no value as, a habitat for endangered, rare or threatened species. The project site at 2456-2460 South Purdue Avenue is comprised of two lots, and is currently developed with two single-family dwellings and detached garages. Per the Arborist Report (prepared by Brandon's Landscapes dated September 10, 2021), there are seven (7) non-protected trees on the subject site which will be removed, and one (1) non-protected (Victorian box) street tree located in the public-right-of-way which will remain. Therefore, the project site has no value as habitat for endangered, rare or threatened species.

The project assumes a worst-case scenario of removing all street trees, in the event of changes to the right--of-way improvement plans after approval of the environmental clearance. However, this environmental analysis does not authorize the removal of any street trees without prior approval of Urban Forestry, in compliance with LAMC Sections 62.169 and 62.170 and their applicable findings.

Prior to any work on the adjacent public right-of-way, the applicant will be required to obtain approved plans from the Department of Public Works. As there currently is no approved right-of-way improvement plan and for purposes of conservative analysis under CEQA, Planning has analyzed the worst-case potential for removal of all street trees. Note that street trees and protected trees shall not be removed without prior approval of the Board of Public Works/Urban Forestry (BPW) under LAMC Sections 62.161 - 62.171. At the time of preparation of this environmental document, no approvals have been given for any tree removals on-site or in the right-of-way by BPW. The City has required a Tree Report to identify all protected trees/shrubs on the project site and all street trees in the adjacent public right-of-way. The project may involve the removal of one (1) non-protected street tree.

(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. More specifically, RCMs include but are not limited to:

 Regulatory Compliance Measure RC-AQ-1 (Demolition, Grading and Construction Activities): Compliance with provisions of the SCAQMD District

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Rule 403. The project shall comply with all applicable standards of the Southern California Air Quality Management District, including the following provisions of District Rule 403:

- All unpaved demolition and construction areas shall be wetted at least twice daily during excavation and construction, and temporary dust covers shall be used to reduce dust emissions and meet SCAQMD District Rule 403. Wetting could reduce fugitive dust by as much as 50 percent.
- The construction area shall be kept sufficiently dampened to control dust caused by grading and hauling, and at all times provide reasonable control of dust caused by wind.
- All clearing, earth moving, or excavation activities shall be discontinued during periods of high winds (i.e., greater than 15 mph), so as to prevent excessive amounts of dust.
- All dirt/soil loads shall be secured by trimming, watering or other appropriate means to prevent spillage and dust.
- All dirt/soil materials transported off-site shall be either sufficiently watered or securely covered to prevent excessive amount of dust.
- General contractors shall maintain and operate construction equipment so as to minimize exhaust emissions.
- Trucks having no current hauling activity shall not idle but be turned off.
- Regulatory Compliance Measure RC-GEO-1 (Seismic): The design and construction of the project shall conform to the California Building Code seismic standards as approved by the Department of Building and Safety.
- Regulatory Compliance Measure RC-NO-1 (Demolition, Grading, and Construction Activities): The project shall comply with the City of Los Angeles Noise Ordinance and any subsequent ordinances, which prohibit the emission or creation of noise beyond certain levels at adjacent uses unless technically infeasible.

In addition, the project shall comply with the Environmental Standards in Appendix D of the Exposition Corridor Transit Neighborhood Plan Specific Plan, which include but are not limited to:

- Regulatory Compliance Measure (Landscape): The Project shall comply with Ordinance No. 170,978 (Water Management Ordinance), which imposes numerous water conservation measures in landscape, installation, and maintenance (e.g., use drip irrigation and soak hoses in lieu of sprinklers to lower the amount of water lost to evaporation and overspray, set automatic sprinkler systems to irrigate during the early morning or evening hours to minimize water loss due to evaporation, and water less in the cooler months and during the rainy season).
- Mitigation Measure (Construction Noise and Vibration):
 - o Construction Staging Areas. The construction contractor shall locate construction staging areas away from Sensitive Land Uses.
 - Construction Noise Barriers. When construction activities are located within 500 feet of Sensitive Land Uses, noise barriers (e.g., temporary walls or piles of excavated material) shall be constructed between activities and Sensitive Land Uses.

These RCMs will ensure the project will not have significant impacts on noise and water. The Department of Transportation Referral Form dated April 25, 2022 and the VMT calculator indicated that the project will result in an increase of 130 daily vehicle trips, which is under the threshold of 250 or more daily vehicles trips to require VMT analysis.

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Therefore, the project does not exceed the threshold criteria established by LADOT for preparing a traffic study and will not have any significant impacts to traffic. Interim thresholds were developed by DCP staff based on CalEEMod model runs relying on reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds. These RCMs will ensure the project will not have significant impacts on noise, air quality, and water. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

(e) The site can be adequately served by all required utilities and public services.

The project site will be adequately served by all public utilities and services given that the construction of a multi-family residential building will be on a site which has been previously developed and is consistent with the General Plan. Therefore, the project meets all of the Criteria for the Class 32 Categorical Exemption.

CEQA Section 15300.2: Exceptions to the Use of Categorical Exemptions

There are five (5) Exceptions which must be considered in order to find a project exempt under Class 32:

(a) **Cumulative Impacts**. All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.

Staff have identified two (2) comparable projects that were granted approval for land use entitlements within a 500-foot radius of the subject site:

- Case No. DIR-2018-7647-TOC-CDO-SPR (11430 W. Exposition Blvd)
- Case No. DIR-2015-4086-DB-CDO-SPR (2425 S. Butler Avenue)

As mentioned, the project proposes the demolition of two existing single-family dwellings with detached garages and the construction of a new six-story, 67-foot tall, 27-unit residential building (including 3 units reserved for Extremely Low-Income). The project will have a proposed Floor Area Ratio ("FAR") of approximately 4.3:1 with approximately 46,528 square feet of floor area. The project provides 26 parking spaces located at subterranean level. The project will also provide 30 long-term and three (3) short-term bicycle parking spaces in accordance with LAMC 12.21.A.16. The project is in an area zoned and designated for such development. Lots adjacent to the subject site are developed with urban uses. Lots adjacent to the subject site are developed with the following urban uses: multi-family residential. Abutting properties to the north, south, east and west are zoned R3-1 and are developed primarily with multi-family dwellings ranging from one to six stories in height. Properties further to the south (across Pearl Street) are zoned R1-1 and developed with single-family dwellings. Therefore, in conjunction with citywide RCMs and compliance with other applicable regulations, no foreseeable cumulative impacts are expected.

(b) **Significant Effect Due to Unusual Circumstances.** A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.

As mentioned, the project proposes a multi-family residential building in an area zoned and designated for such development. Adjacent lots are developed with multi-family residential. The subject site is of a similar size and slope to nearby residential properties. The Floor Area, Density, Height, Yards, and Open Space of the proposed project are

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consistent with the Zone and Transit Oriented Communities Guidelines, pursuant to LAMC Section 12.22 A.31. The site is not located within a designated hillside area, a Special Grading Area (BOE Basic Grid Map A-13372), very high fire hazard severity zone, flood zone, landslide, tsunami inundation zone, or liquefaction zone. There are no designated historic resources or cultural monuments on the subject site. Thus, there are no unusual circumstances which may lead to a significant effect on the environment, and this exception does not apply.

(c) Scenic Highways. A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway.

The only State Scenic Highway within the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of Topanga State Park. The State Route 27 is approximately 8 miles northwest of the subject site. Therefore, the Project will not result in damage to any scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway, and this exception does not apply.

(d) **Hazardous Waste Sites**. A categorical exemption shall not be used for a project located on a site which is included on any list complied pursuant to Section 65962.5 of the Government Code

According to Envirostor, the State of California's database of Hazardous Waste Sites, the subject site is not identified as a hazardous waste site. Furthermore, the building permit history for the project site does not indicate the site may be hazardous or otherwise contaminated, therefore, this exception does not apply.

(e) **Historical Resources**. A categorical exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource.

The project site has not been identified as a historic resource by local or state agencies, and the project site has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or any local register; and was not found to be a potential historic resource based on the City's Historic Places LA website or SurveyLA, the citywide survey of Los Angeles. Finally, the City does not choose to treat the site as a historic resource. Based on this, the project will not result in a substantial adverse change to the significance of a historic resource and this exception does not apply.

OBSERVANCE OF CONDITIONS - TIME LIMIT - LAPSE OF PRIVILEGES

All terms and conditions of the Director's Determination shall be fulfilled before the use may be established. The instant authorization is further conditioned upon the privileges being utilized within three years after the effective date of this determination and, if such privileges are not utilized, building permits are not issued, or substantial physical construction work is not begun within said time and carried on diligently so that building permits do not lapse, the authorization shall terminate and become void.

TRANSFERABILITY

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant. If any portion of this approval is utilized, then all other

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conditions and requirements set forth herein become immediately operative and must be strictly observed.

VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR

The Applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any condition of this grant is violated or not complied with, then the Applicant or his successor in interest may be prosecuted for violating these conditions the same as for any violation of the requirements contained in the Municipal Code, or the approval may be revoked.

Section 11.00 of the LAMC states in part (m): "It shall be unlawful for any person to violate any provision or fail to comply with any of the requirements of this Code. Any person violating any of the provisions or failing to comply with any of the mandatory requirements of this Code shall be guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a misdemeanor may be charged by the City Attorney as either a misdemeanor or an infraction.

Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment."

APPEAL PERIOD - EFFECTIVE DATE

The Determination in this matter will become effective and final <u>fifteen (15) days</u> after the date of mailing of the Notice of Director's Determination unless an appeal there from is filed with the <u>City Planning Department</u>. It is strongly advised that appeals be filed <u>early</u> during the appeal period and in person so that imperfections/incompleteness may be corrected before the appeal period expires. Any appeal must be filed on the prescribed forms, accompanied by the required fee, a copy of this Determination, and received and receipted at a public office of the Department of City Planning <u>on or before</u> the above date or the appeal will not be accepted. **Forms are available on-line at http://planning.lacity.org.**

Planning Department public offices are located at:

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Figueroa Plaza 201 North Figueroa Street, 4th Floor Los Angeles, CA 90012 (213) 482-7052

San Fernando Valley

Marvin Braude San Fernando Valley Constituent Service Center 6262 Van Nuys Boulevard, Rm 251 Van Nuys, CA 91401 (818) 374-5050

West Los Angeles

West Los Angeles Development Services Center 1828 Sawtelle Boulevard, 2nd Floor Los Angeles, CA 90025 (310) 231-2598

Pursuant to LAMC Section 12.22.A.25(f) only the applicant and any owners or tenant of a property abutting, across the street or alley from, or having a common corner with the subject property can appeal the Transit Oriented Communities Affordable Housing Incentive Program determination. Per Section 12.22.A.25 of LAMC, appeals of Density Bonus Compliance Review cases are heard by the City Planning Commission.

Verification of condition compliance with building plans and/or building permit applications are done at the Development Services Center of the Department of City Planning at either Figueroa Plaza in Downtown Los Angeles or the Marvin Braude Building in the Valley. In order to assure that you receive service with a minimum amount of waiting, applicants are encouraged to schedule an appointment with the Development Services Center either through the Department of City Planning website at http://planning.lacity.org or by calling (213) 482-7052 or (818) 374-

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5050. The applicant is further advised to notify any consultant representing you of this requirement as well.

The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedures Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, only if the petition for writ of mandate pursuant to that section is filed no later than the 90th day following the date on which the City's decision becomes final.

VINCENT P. BERTONI, AICP Director of Planning

Approved by:	Reviewed by:		
Michelle Singh Faisal Roble, Principal City Planner	Michelle Singh Michelle Singh, Senior City Planner		
Reviewed by:	Prepared by:		
Connis Chauv Connie Chauv, City Planner	1)oral 1 /artines Norali Martinez, City Planning Associate		

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EXHIBIT C

Environmental Clearance

- C1 Notice of Exemption & Justification for Categorical Exemption
- C2 Tree Report
- C3 Transportation Study Assessment
- C3 VMT Calculator Output

COUNTY CLERK'S USE

CITY OF LOS ANGELES

OFFICE OF THE CITY CLERK 200 NORTH SPRING STREET, ROOM 395 LOS ANGELES, CALIFORNIA 90012

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

(PRC Section 21152; CEQA Guidelines Section 15062)

Pursuant to Public Resources Code § 21152(b) and CEQA Guidelines § 15062, the notice should be posted with the County Clerk by mailing the form and posting fee payment to the following address: Los Angeles County Clerk/Recorder, Environmental Notices, P.O. Box 1208, Norwalk, CA 90650. Pursuant to Public Resources Code § 21167 (d), the posting of this notice starts a 35-day statute of limitations on court challenges to reliance on an exemption for the project. Failure to file this notice as provided above, results in the statute of limitations being extended to 180 days.

PARENT CASE NUMBER(S) / REQUESTED ENTITLEMENTS DIR-2021-5596-TOC-HCA-1A		
LEAD CITY AGENCY City of Los Angeles (Department of City Planning)		CASE NUMBER ENV-2021-5597-CE
PROJECT TITLE Purdue (2456-2460 South Purdue Avenue)		COUNCIL DISTRICT 11-Bonin
PROJECT LOCATION (Street Address and Cross Streets and/or Attack 2456-2460 South Purdue Avenue	ned Map)	☐ Map attached.
PROJECT DESCRIPTION: The project is for the construction of a new six-story, 67-foot tall, 27-uni Low-Income Households). The project will have a proposed Floor Area F square feet of floor area. The project provides 26 parking spaces located and attached garages on-site are proposed to be demolished, along wifrom the subject site. The project will involve grading and export approximate the project of the project will be project of the project will be project of the project will be project will be project will be project of the project will be proje	Ratio ("FAR") of approxim at subterranean level. Tl th seven (7) non-protecte	ately 4.3:1 with approximately 46,528 he existing two single-family dwellings ed trees are proposed to be removed
Amir Mehdizadeh CONTACT PERSON (If different from Applicant/Owner above) Norali Martinez	(AREA CODE) TELEF 213-978-1346	PHONE NUMBER EXT.
EXEMPT STATUS: (Check all boxes, and include all exemptions, that a STATE CEQA STATUTE 8 STATUTORY EXEMPTION(S) Public Resources Code Section(s)		nt citations.)
□ CATEGORICAL EXEMPTION(S) (State CEQA Guidelines Section (s) / Class(es) Section 15332 (Class)	es 32)	
☐ OTHER BASIS FOR EXEMPTION (E.g., CEQA Guidelines Se	clion 15061(b)(3) or (b)(4	4) or Section 15378(b))
JUSTIFICATION FOR PROJECT EXEMPTION: Class 32: In-fill development meeting the conditions described in CEC applicable general plan designation and all applicable general plan por regulations. (b) The proposed development occurs within city limits on a populations. (c) The project site has no value as habitat for endangere not result in any significant effects relating to traffic, noise, air quality, or required utilities and public services. None of the exceptions in CEQA Guidelines Section 15300.2 to the compact is identified in one or more of the list of activities in the City of FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT. If different from the applicant, the identity of the person undertaking the CITY STAFF USE ONLY:	QA Guidelines 15332: (a blicies as well as with the project site of no more that and a rare or threatened speor water quality. (e) The sategorical exemption(s) and of Los Angeles CEQA BY THE CITY PLANNING	ne applicable zoning designation and an five acres substantially surrounded cies. (d) Approval of the project would site can be adequately served by all apply to the Project. Guidelines as cited in the justification.
CITY STAFF NAME AND SIGNATURE Norali Martinez,		FF TITLE Planning Associate
ENTITLEMENTS APPROVED Transit Oriented Communities	,	

DISTRIBUTION: County Clerk, Agency Record

Rev. 6-22-2021

DEPARTMENT OF CITY PLANNING

COMMISSION OFFICE (213) 978-1300

CITY PLANNING COMMISSION

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SHANA M.M. BONSTIN DEPUTY DIRECTOR

ARTHI L. VARMA, AICP DEPUTY DIRECTOR

LISA M. WEBBER, AICP

JUSTIFICATION FOR PROJECT EXEMPTION CASE NO. ENV-2021-5597-CE

The Planning Department determined that the City of Los Angeles Guidelines for the implementation of the California Environmental Quality Act of 1970 and the CEQA Guidelines designate the subject project as Categorically Exempt under CEQA Guidelines, Article 19, Section 15332 (Class 32), Case No. ENV-2021-5597-CE.

As the designee of the Director of Planning, I have found, based on the independent judgement of the decision-maker, after consideration of the whole of the administrative record, that the project is within the scope of the Exposition Corridor Transit Neighborhood Plan Program EIR No. ENV-2013-622-EIR, SCH. No. 2013031038 ("Program EIR"), pursuant to CEQA Guidelines Sections 15168 and 15162; the environmental effects of the Project were covered in the Program EIR and no new environmental effects not identified in the Program EIR will occur and no new mitigation is required; and the City has incorporated all feasible mitigation measures from the Program EIR on the Project.

The project is for the construction of a new six-story, 67-foot tall, 27-unit residential building (including 3 units reserved for Extremely Low-Income Households). The project will have a proposed Floor Area Ratio ("FAR") of approximately 4.3:1 with approximately 46,528 square feet of floor area. The project provides 26 parking spaces located at subterranean level. The existing two single-family dwellings and attached garages on-site are proposed to be demolished, along with seven (7) non-protected trees are proposed to be removed from the subject site. The project will involve grading and export approximately 6.475 cubic yards of soil.

As a residential development, and a project which is characterized as in-fill development, the project qualifies for the Class 32 Categorical Exemption.

CEQA Determination – Class 32 Categorical Exemption Applies

A project qualifies for a Class 32 Categorical Exemption if it is developed on an infill site and meets the following criteria:

(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations.

The site is zoned R3-1 and has a General Plan Land Use designation of Medium Residential, which has corresponding zones of R3 and R3(PV). The R3 Zone allows for a base residential density at a rate of the one unit per 800 square feet of lot area. Height District No. 1 in the R3 Zone allows for a height of 45 feet and the site is limited to a Floor Area Ratio (FAR) of 3:1. The project site is located in the Palms – Mar Vista – Del Rey Community Plan area. The Exposition Corridor

Transit Neighborhood Plan (Specific Plan) established by Ordinance 186,402 and effective December 26,2019, established review procedures, design standards, and environmental standards for the subject site. The project site is in the West Los Angeles Transportation Improvement and Mitigation Specific Plan (WLA TIMP, Ordinance 186,105 and 186,108). The project is subject to Department of Transportation clearance of the WLA TIMP. In addition, the project is within a Tier 3 designation of the Transit Oriented Communities Program. Pursuant to LAMC Section 12.22 A.31 and the TOC Guidelines, the applicant requests a Transit Oriented Communities Compliance Review.

The project site is comprised of two flat, rectangular lots. In total, the lots cover approximately 15,000 square feet, with approximately 100 feet of frontage along the east side of Purdue Avenue and a uniform depth of approximately 150 feet. The project site is located within the Palms – Mar Vista – Del Rey Community Plan area, West Los Angeles Transportation Improvement and Mitigation Specific Plan, Exposition Corridor Transit Neighborhood Plan, and within 1.78 kilometers of the Santa Monica Fault. The site is not located within a designated hillside area, a Special Grading Area (BOE Basic Grid Map A-13372), very high fire hazard severity zone, flood zone, landslide, tsunami inundation zone, or liquefaction zone. There are no designated historic resources or cultural monuments on the subject site.

The R3 Zone allows for a maximum residential density of one dwelling unit per 800 square feet of lot area. The combined subject lots total approximately 15,000 square feet, for a maximum base density of 18.75 units. The Los Angeles Municipal Code allows 18 units by right, however the TOC Guidelines round base density up to the next whole number of 19 units. The maximum allowed density for the subject site under the Tier 3 Density Incentive would be 70% resulting in 32.3 units; again, the TOC Guidelines round up to the next whole number resulting in 33 units. The project is proposing 27 dwelling units, which is consistent with the allowable density under the TOC Guidelines. The project is required to provide 14 parking spaces under the TOC incentive and is providing 26 spaces, consistent with the requirements of Los Angeles Municipal Code 12.22-A.31.

In the R3 Zone in Height District 1, the Los Angeles Municipal Code provides for a maximum FAR of 3:1. Los Angeles Municipal Code Section 12.03 states, "Buildable Area" is, "all that portion of a lot located within the proper zone for the proposed main building, excluding those portions of the lot which must be reserved for yard spaces, building line setback space, or which may only be used for accessory buildings or uses." The buildable area for the subject site is 10,800 square feet for a by-right floor area of 32,400 square feet. The Tier 3 FAR Incentive allows for a maximum FAR percentage increase up to 50%, as provided under Director's Interpretation under Case No. DIR-2022-1365-DI, for a maximum floor area of approximately 48,600 square feet. The project is proposing 46,528 square feet, which is consistent with the TOC requirements.

Pursuant to the TOC Guidelines, the project is eligible for, and has been granted three Tier 3 Additional Incentives. In Tier 3 areas, the TOC incentive for side yard reductions allows up to a 30 percent decrease in the required width or depth of two individual yards or setbacks. The project proposes a 6-foot 4-inch northwest side yard consistent with the TOC Guidelines. The side yard reflect a 30 percent reduction in the otherwise required 9-foot side yard for the project, consistent with the TOC yard reduction incentive.

The TOC Guidelines allow for a maximum height of 67 feet (22 additional feet) and the project is 67 feet in height. The project is consistent with the TOC Guideline's Height Incentive and Exception requirements.

Residential Open Space is required in projects that have more than six units; the amount of open space is related to the number of habitable rooms in each unit. The total required open space for the mix of units proposed in this project is 4,275 square feet. Applying the TOC reduction, the project is allowed to provide 3,206.25 square feet of open space. The proposed project includes 3,342 square feet of open space.

The proposed project is consistent with many General Plan goals, policies, and objectives. The Housing Element of the General Plan provides the following:

Goal 1: A City where housing production and preservation result in an adequate supply of ownership and rental housing that is safe, healthy and affordable to people of all income levels, races, ages, and suitable for their various needs.

Objective 1.1 Produce an adequate supply of rental and ownership housing in order to meet current and projected needs.

Policy 1.1.4 Expand opportunities for residential development, particularly in designated Center, Transit Oriented Districts and along Mixed-Use Boulevards

The proposed project meets the above goal, policy and objective creating additional housing units in a transit oriented district; the project will also include three (3) units for Extremely Low Income household occupancy for a period of 55 years.

Additionally, the Palms - Mar Vista - Del Rey Community Plan, one of the Land Use Elements of the General Plan, provides the following:

Policy 1-1.1: Provide adequate multi-family residential development.

Policy 1-2.1: Locate higher residential densities near commercial centers and major bus routes where public service facilities and infrastructure will support this development.

Objective 1-4: To promote the adequacy and affordability of multiple-family housing and increase its accessibility to more segments of the population.

The proposed project meets the above policies and objective by providing multifamily dwelling units in a new, safe, and secure building. The proposed project is located on a site designated for Medium Residential Land Uses, which includes multiple-family residential uses, and will be served by facilities and necessary infrastructure. The site is near the Metro "E" (Expo) Expo-Sepulveda Station. The three affordable units will ensure that the proposed project is accessible to lower-income segments of the population.

The current project is in an urbanized area and characterized as in-fill development, which qualifies for the Class 32 Categorical Exemption. As shown in the case file, the project is consistent with the applicable Palms – Mar Vista – Del Rey Community Plan designation and policies and all applicable zoning designations and regulations.

(b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.

The subject site is wholly within the City of Los Angeles, on a site that is approximately 0.344 acres (approximately 15,000 square feet). Abutting properties to the north, south, east and west are zoned R3-1 and are developed primarily with multi-family dwellings ranging from one to six stories in height. Properties further to the south (across Pearl Street) are zoned R1-1 and developed with single-family dwellings.

(c) The project site has no value as habitat for endangered, rare or threatened species.

The site is previously disturbed and surrounded by development and therefore is not, and has no value as, a habitat for endangered, rare or threatened species. The project site at 2456-2460 South Purdue Avenue is comprised of two lots, and is currently developed with two single-family dwellings and detached garages. Per the Arborist Report (prepared by Brandon's Landscapes dated September 10, 2021), there are seven (7) non-protected trees on the subject site which will be removed, and one (1) non-protected (Victorian box) street tree located in the public-right-of-way which will remain. Therefore, the project site has no value as habitat for endangered, rare or threatened species.

The project assumes a worst-case scenario of removing all street trees, in the event of changes to the right--of-way improvement plans after approval of the environmental clearance. However, this environmental analysis does not authorize the removal of any street trees without prior approval of Urban Forestry, in compliance with LAMC Sections 62.169 and 62.170 and their applicable findings.

Prior to any work on the adjacent public right-of-way, the applicant will be required to obtain approved plans from the Department of Public Works. As there currently is no approved right-of-way improvement plan and for purposes of conservative analysis under CEQA, Planning has analyzed the worst-case potential for removal of all street trees. Note that street trees and protected trees shall not be removed without prior approval of the Board of Public Works/Urban Forestry (BPW) under LAMC Sections 62.161 - 62.171. At the time of preparation of this environmental document, no approvals have been given for any tree removals on-site or in the right-of-way by BPW. The City has required a Tree Report to identify all protected trees/shrubs on the project site and all street trees in the adjacent public right-of-way. The project may involve the removal of one (1) non-protected street tree.

(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. More specifically, RCMs include but are not limited to:

- Regulatory Compliance Measure RC-AQ-1 (Demolition, Grading and Construction Activities): Compliance with provisions of the SCAQMD District Rule 403. The project shall comply with all applicable standards of the Southern California Air Quality Management District, including the following provisions of District Rule 403:
 - All unpaved demolition and construction areas shall be wetted at least twice daily during excavation and construction, and temporary dust covers shall be used to reduce dust emissions and meet SCAQMD District Rule 403. Wetting could reduce fugitive dust by as much as 50 percent.
 - The construction area shall be kept sufficiently dampened to control dust caused by grading and hauling, and at all times provide reasonable control of dust caused by wind.
 - All clearing, earth moving, or excavation activities shall be discontinued during periods of high winds (i.e., greater than 15 mph), so as to prevent excessive amounts of dust.
 - All dirt/soil loads shall be secured by trimming, watering or other appropriate means to prevent spillage and dust.
 - All dirt/soil materials transported off-site shall be either sufficiently watered or securely covered to prevent excessive amount of dust.
 - General contractors shall maintain and operate construction equipment so as to minimize exhaust emissions.
 - Trucks having no current hauling activity shall not idle but be turned off.
- Regulatory Compliance Measure RC-GEO-1 (Seismic): The design and construction of the project shall conform to the California Building Code seismic standards as approved by the Department of Building and Safety.
- Regulatory Compliance Measure RC-NO-1 (Demolition, Grading, and Construction Activities): The project shall comply with the City of Los Angeles Noise Ordinance and any subsequent ordinances, which prohibit the emission or creation of noise beyond certain levels at adjacent uses unless technically infeasible.

In addition, the project shall comply with the Environmental Standards in Appendix D of the Exposition Corridor Transit Neighborhood Plan Specific Plan, which include but are not limited to:

 Regulatory Compliance Measure (Landscape): The Project shall comply with Ordinance No. 170,978 (Water Management Ordinance), which imposes numerous water conservation measures in landscape, installation, and maintenance (e.g., use drip irrigation and soak hoses in lieu of sprinklers to lower the amount of water lost to evaporation and overspray, set automatic sprinkler systems to irrigate during the early morning or evening hours to minimize water loss due to evaporation, and water less in the cooler months and during the rainy season).

• Mitigation Measure (Construction Noise and Vibration):

- Construction Staging Areas. The construction contractor shall locate construction staging areas away from Sensitive Land Uses.
- Construction Noise Barriers. When construction activities are located within 500 feet of Sensitive Land Uses, noise barriers (e.g., temporary walls or piles of excavated material) shall be constructed between activities and Sensitive Land Uses.

These RCMs will ensure the project will not have significant impacts on noise and water. The Department of Transportation Referral Form dated April 25, 2022 and the VMT calculator indicated that the project will result in an increase of 130 daily vehicle trips, which is under the threshold of 250 or more daily vehicles trips to require VMT analysis. Therefore, the project does not exceed the threshold criteria established by LADOT for preparing a traffic study and will not have any significant impacts to traffic. Interim thresholds were developed by DCP staff based on CalEEMod model runs relying on reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds. These RCMs will ensure the project will not have significant impacts on noise, air quality, and water. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

(e) The site can be adequately served by all required utilities and public services.

The project site will be adequately served by all public utilities and services given that the construction of a multi-family residential building will be on a site which has been previously developed and is consistent with the General Plan. Therefore, the project meets all of the Criteria for the Class 32 Categorical Exemption.

CEQA Section 15300.2: Exceptions to the Use of Categorical Exemptions

There are five (5) Exceptions which must be considered in order to find a project exempt under Class 32:

(a) **Cumulative Impacts.** All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.

Staff have identified two (2) comparable projects that were granted approval for land use entitlements within a 500-foot radius of the subject site:

- Case No. DIR-2018-7647-TOC-CDO-SPR (11430 W. Exposition Blvd)
- Case No. DIR-2015-4086-DB-CDO-SPR (2425 S. Butler Avenue)

As mentioned, the project proposes the demolition of two existing single-family dwellings with detached garages and the construction of a new six-story, 67-foot tall, 27-unit residential building (including 3 units reserved for Extremely Low-Income). The project

will have a proposed Floor Area Ratio ("FAR") of approximately 4.3:1 with approximately 46,528 square feet of floor area. The project provides 26 parking spaces located at subterranean level. The project will also provide 30 long-term and three (3) short-term bicycle parking spaces in accordance with LAMC 12.21.A.16. The project is in an area zoned and designated for such development. Lots adjacent to the subject site are developed with urban uses. Lots adjacent to the subject site are developed with the following urban uses: multi-family residential. Abutting properties to the north, south, east and west are zoned R3-1 and are developed primarily with multi-family dwellings ranging from one to six stories in height. Properties further to the south (across Pearl Street) are zoned R1-1 and developed with single-family dwellings. Therefore, in conjunction with citywide RCMs and compliance with other applicable regulations, no foreseeable cumulative impacts are expected.

(b) **Significant Effect Due to Unusual Circumstances.** A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.

As mentioned, the project proposes a multi-family residential building in an area zoned and designated for such development. Adjacent lots are developed with multi-family residential. The subject site is of a similar size and slope to nearby residential properties. The Floor Area, Density, Height, Yards, and Open Space of the proposed project are consistent with the Zone and Transit Oriented Communities Guidelines, pursuant to LAMC Section 12.22 A.31. The site is not located within a designated hillside area, a Special Grading Area (BOE Basic Grid Map A-13372), very high fire hazard severity zone, flood zone, landslide, tsunami inundation zone, or liquefaction zone. There are no designated historic resources or cultural monuments on the subject site. Thus, there are no unusual circumstances which may lead to a significant effect on the environment, and this exception does not apply.

(c) **Scenic Highways.** A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway.

The only State Scenic Highway within the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of Topanga State Park. The State Route 27 is approximately 8 miles northwest of the subject site. Therefore, the Project will not result in damage to any scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway, and this exception does not apply.

(d) **Hazardous Waste Sites.** A categorical exemption shall not be used for a project located on a site which is included on any list complied pursuant to Section 65962.5 of the Government Code

According to Envirostor, the State of California's database of Hazardous Waste Sites, the subject site is not identified as a hazardous waste site. Furthermore, the building permit history for the project site does not indicate the site may be hazardous or otherwise contaminated, therefore, this exception does not apply.

(e) **Historical Resources**. A categorical exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource.

The project site has not been identified as a historic resource by local or state agencies, and the project site has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or any local register; and was not found to be a potential historic resource based on the City's Historic Places LA website or SurveyLA, the citywide survey of Los Angeles. Finally, the City does not choose to treat the site as a historic resource. Based on this, the project will not result in a substantial adverse change to the significance of a historic resource and this exception does not apply.



P.O. Box 246 Monrovia, CA 91017 Phone: (626) 256- 6200 Fax: (626) 256- 6200 info@brandonslandscapes.com Brandonslandscapes.com

Arborist Report

2456-2460 S. Purdue Ave., Los Angeles, CA 90064 c/o Daniel Pourbaba 8271 Melrose Ave., Suite 207, Los Angeles, CA 90064 September 10, 2021

The following arborist assessment was conducted by Brandon Linz of Brandon's Landscapes, Inc. under ISA# WE-8719A on September 10, 2021 at 2456-2460 S. Purdue Ave., Los Angeles, CA 90064

Specifications:

ID#	#1		
Common Name	Victorian Box		
Botanical	Pittosporum undulatum		
DBH: 11 ³ / ₄ "		Height: 20'	Spread: 8'

Location See Map







ID#	#2		
Common Name	Giant Sequoia		
Botanical	Sequoiadendron giganteum		
DBH: 39 1/4"		Height: 45'	Spread: 20'

Location See Map









ID#	#3
Common Name	Juniper
Botanical	Juniperus

DBH: 9" **Height:** 18' **Spread:** 10'





ID#	#4
Common Name	Bottlebrush
Botanical	Callistemon viminalis
DBH: 9 ½"	Height: 20' Spread: 8'

Location See Map





ID#	#5
Common Name	Bottlebrush
Botanical	Callistemon viminalis
DBH: 9 3/4"	Height: 20' Spread: 10'

Location See Map





ID#	#6		
Common Name	Ficus nitida		
Botanical	Ficus microcarpa		
DBH: 16 ½"		Height: 20'	Spread: 25'

Location See Map





ID#	#7		
Common Name	Ash		
Botanical	Fraxinus		
DBH: 80"		Height: 20'	Spread: 10'

Location See Map







This arborist report assesses eight trees at 2456-2460 S. Purdue Ave., Los Angeles, CA 90064.

Tree #1: Pittosporus undulatum has a DBH of 11 3/4". Tree #1 is in moderate health, there were several issues observed such as drought stress, decay and fungus in the root system. Due to the drought stress, I recommend installing drip irrigation to provide adequate water for the tree. I also recommend pruning the tree by a certified arborist in order to remove the dead branches as well as do necessary corrective pruning. This will help to obtain proper structure of the tree due to loss of branches because of lack of water. Decay in the trunk and root system causes the tree to not be structurally sound which can pose a safety risk, potentially causing damage to property and persons. This is not a protected tree according to the City of Los Angeles Ordinance No. 177404.

Tree #2: Sequoiadendron giganteum has a DBH of **39** ¼". Tree #2 is in moderate health, decay and an infestation of wood borers was observed. The wood borers feed on the dead and decaying wood inside the tree and will causes the tree to not be structurally sound which can pose a safety risk, potentially causing damage to property and persons. The insect infestation will eventually be detrimental to the tree. This tree is to be removed for the proposed construction. This is not a protected tree according to the City of Los Angeles Ordinance No. 177404.

Tree #3: Juniperus has a DBH of 9". Tree #3 is in moderate health. This tree is growing in close proximity to the structure, as the tree matures, it will damage the structure. This tree is growing in close proximity to tree 4 and the two canopies are competing with one another for sun exposure. This tree is to be removed for the proposed construction. This is not a protected tree according to the City of Los Angeles Ordinance No. 177404.

Tree #4: Callistemon viminalis has a DBH of 9 ½". Tree #4 is in moderate health. This tree is growing in close proximity to the structure, as the tree matures, it will damage the structure. This tree is growing in close proximity to tree 5 and 3 the canopies are competing with one another for sun exposure. This tree is to be removed for the proposed construction. This is not a protected tree according to the City of Los Angeles Ordinance No. 177404.

Tree #5: Callistemon viminalis has DBH of 9 3/4". Tree #5 is in moderate health. This tree is growing in close proximity to the structure, as the tree matures, it will damage the structure. This tree is growing in close proximity to tree 4 and the two canopies are competing with one another for sun exposure. This tree is to be removed for the proposed construction. This is not a protected tree according to the City of Los Angeles Ordinance No. 177404.

Tree #6: Ficus microcarpa has a DBH of 16 ½". Tree #6 is in moderate health. This tree is growing in close proximity to the structure, as the tree matures, it will damage the structure. This tree is to be removed for the proposed construction. This is not a protected tree according to the City of Los Angeles Ordinance No. 177404.poses a safety issue.

Tree #7: Fraxinus has a DBH of 80". Tree #7 is in moderate health. This tree has multiple central leaders with included bark in the branch unions. This causes a weak branch union and can lead to structural failure if not corrected. These issues could potentially cause the tree to not be structurally sound which can pose a risk of branches falling causing damage to property and persons. This tree is to be removed for the proposed construction. This is not a protected tree according to the City of Los Angeles Ordinance No. 177404.

Tree #8: Prunus Iyonii has a DBH of 23 1/2" Tree #8 is in poor health. This tree is showing signs of an infestation by wood borers, causing several large branches to die. This will eventually be detrimental to the tree. This tree is to be removed for the proposed construction. This is not a protected tree according to the City of Los Angeles Ordinance No. 177404.

Note: There are no protected trees (All California native oaks, Western sycamore (Platanus racemosa), Southern California black walnut (Juglans californica) or California bay (Umbellularia californica)) on this property or on the abutting properties that will be affected by construction. Los Angeles Protected Tree Ordinance #177404.

Note: There are no protected shrubs (Mexican Elderberry – Sambucus Mexicana, or Toyan – Heteromeles arbutifolia) on this property or on the abutting properties that will be affected by construction. Los Angeles Protected Shrub Ordinance #186873.

Certified Arborist,

Branky 25

Brandon Linz

Arborist# WE-8719A



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REFERRAL FORMS:

TRANSPORTATION STUDY ASSESSMENT

DEPARTMENT OF TRANSPORTATION - REFERRAL FORM

RELATED CODE SECTION: Los Angeles Municipal Code Section 16.05 and various code sections.

PURPOSE: The Department of Transportation (LADOT) Referral Form serves as an initial assessment to determine whether a project requires a Transportation Assessment.

GENERAL INFORMATION

- Administrative: <u>Prior</u> to the submittal of a referral form with LADOT, a Planning case must have been filed with the Department of City Planning.
- ➤ All new school projects, <u>including by-right projects</u>, must contact LADOT for an assessment of the school's proposed drop-off/pick-up scheme and to determine if any traffic controls, school warning and speed limit signs, school crosswalk and pavement markings, passenger loading zones and school bus loading zones are needed.
- ➤ Unless exempted, projects located within a transportation specific plan area <u>may be required to pay a traffic impact assessment fee</u> regardless of the need to prepare a transportation assessment.
- Pursuant to LAMC Section 19.15, a review fee payable to LADOT may be required to process this form. The applicant should contact the appropriate LADOT Development Services Office to arrange payment.
- LADOT's Transportation Assessment Guidelines, VMT Calculator, and VMT Calculator User Guide can be found at http://ladot.lacity.org.
- > A transportation study is not needed for the following project applications:
 - Ministerial / by-right projects
 - o Discretionary projects limited to a request for change in hours of operation
 - Tenant improvement within an existing shopping center for change of tenants
 - o Any project only installing a parking lot or parking structure
 - o Time extension
 - Single family home (unless part of a subdivision)
- ➤ This Referral Form is not intended to address the project's site access plan, driveway dimensions and location, internal circulation elements, dedication and widening, etc. These items require separate review and approval by LADOT.

SPECIAL REQUIREMENTS

9	•	•	
Copy of Department of City Planning App	olication (CP-77	771.1).	
Copy of a fully dimensioned site plan s loading areas, driveways, as well as on-s	•	•	rking and
If filing for purposes of Site Plan Review,	a copy of the S	Site Plan Review Supplemental App	olication.
Copy of project-specific VMT Calculator ¹	analysis results	S.	

When submitting this referral form to LADOT, include the completed documents listed below.

TO BE VERIFIED BY PLANNING STAFF PRIOR TO LADOT REVIEW

LADOT DEVELOPMENT SERVICES DIVISION OFFICES: Please route this form for processing to the appropriate LADOT Office as follows:

Metro 213-972-8482 100 S. Main St, 9th Floor Los Angeles, CA 90012

West LA

213-485-1062 7166 W. Manchester Blvd Los Angeles, CA 90045 **Valley** 818-374-4699 6262 Van Nuys Blvd, 3rd Floor

Van Nuys, CA 91401

1. PROJECT INFORMATION

Case Number: DIR-2021-5596-TOC-HCA
Address: 2456 - 2460 S. Purdue Ave. Los Angeles, CA 90064
Project Description: Demo of 2 (E) SFDs for proposed (6) Story, 27-unit apartment bldg per TOC Tier 3.
Seeking Existing Use Credit (will be calculated by LADOT): Yes No Not sure
Applicant Name: Aaron Belliston - BMR Enterprises
Applicant E-mail: aaron@bmrla.com Applicant Phone: (323) 839-4623
Planning Staff Initials:NM Date:Date:

	Land Use (list all)	Size / Unit	Daily Trips ¹
Proposed ¹	Housing Multi-Family	24	
	Housing Affordable Housing - Family	3	
		Total trips ¹ .	: 130
a. Does	the proposed project involve a discretionary a	ction?	Yes ☑ No □
	d the proposed project generate 250 or more of		Yes □ No 🗹
c. If the	project is replacing an existing number of resid	dential units with a smalle	er
numb	er of residential units, is the proposed project	located within one-half m	iile
of a h	eavy rail, light rail, or bus rapid transit station3	?	Yes □ No 🗹
	a. and b. or c., or to all of the above, the Proje		ADOT for further
assessme	ent.		
Verified b	by: Planning Staff Name:	Phone: 5	213-978-134
			11 - 2 21
	Signature: Norm! Martine	7 Date:	7.25.25

¹ Qualifying Existing Use to be determined by LADOT staff on following page, per LADOT's Transportation Assessment Guidelines.

²To calculate the project's total daily trips, use the VMT Calculator. Under 'Project Information', enter the project address, land use type, and intensity of all proposed land uses. Select the '+' icon to enter each land use. After you enter the information, copy the 'Daily Vehicle Trips' number into the total trips in this table. Do not consider any existing use information for screening purposes. For additional questions, consult LADOT's VMT Calculator User Guide and the LADOT Transportation Assessment Guidelines (available on the LADOT website).

³ Relevant transit lines include: Metro Red, Purple, Blue, Green, Gold, Expo, Orange, and Silver line stations; and Metrolink stations.

TO BE COMPLETED BY LADOT

3. PROJECT INFORMATION

	Land Use (list all)	Size / Unit	Daily Trips		
Proposed					
		Total new trips:			
Existing					
		Total existing trips:			
	Net Increase	/ Decrease (+ or -)			
b. Woc. Wod. If th	ne project a single retail use that is less than 50,000 so ald the project generate a net increase of 250 or more ald the project result in a net increase in daily VMT? e project is replacing an existing number of residential aber of residential units, is the proposed project locate	e daily vehicle trips? al units with a smaller			
	heavy rail, light rail, or bus rapid transit station?		Yes □ No □		
e. Doe	es the project trigger Site Plan Review (LAMC 16.05)	?	Yes □ No □		
f. Pro i.	ect size: Would the project generate a net increase of 1,000 or more daily vehicle trips? Yes □ No □				
ii.	Is the project's frontage 250 linear feet or more a as an Avenue or Boulevard per the City's General	d Yes□ No□			
iii.	Is the project's building frontage encompassing a	n entire block along a	a		
	street classified as an Avenue or Boulevard per t	he City's General Pla	n? Yes □ No □		
If YES	nalysis (CEQA Review) o a. and NO to d. a VMT analysis is NOT required. o both b. and c. ; or to d. a VMT analysis is required. s, Safety, and Circulation Assessment (Correcti				
If YES	o b ., a project access, safety, and circulation evaluate e . and either f.i ., f.ii ., or f.iii ., an access assessme	tion may be required.			
LADOT Co	mments:				

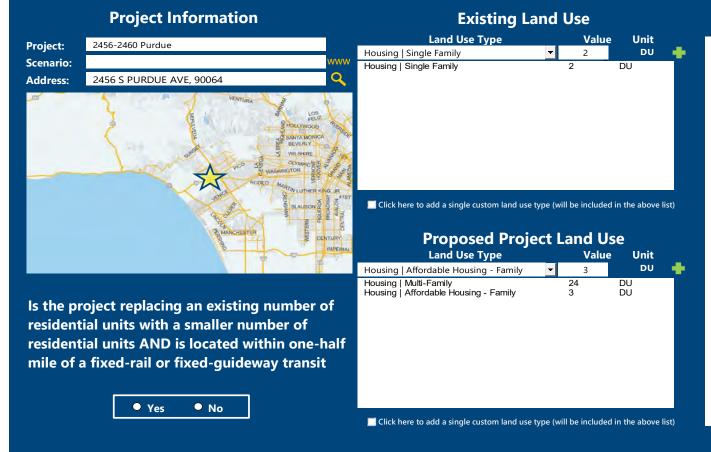
Please note that this form is not intended to address the project's site access plan, driveway dimensions and location, internal circulation elements, dedication and widening, etc. These items require separate review and approval by LADOT. Qualifying Existing Use to be determined per LADOT's Transportation Assessment Guidelines.

4.	Specific Plan with Trip Fee or TDM Requirements:		Yes □	No □
	Fee Calculation Estimate:			
	VMT Analysis Required (Question b. satisfied):		Yes □	No □
	Access, Safety, and Circulation Evaluation Required (Question b. sati	sfied):	Yes □	No □
	Access Assessment Required (Question b., e., and either f.i., f.ii. or f.iii satisfied):		Yes □	No □
	Prepared by DOT Staff Name:	Phone:		
	Signature:	Date:		

CITY OF LOS ANGELES VMT CALCULATOR Version 1.3



Project Screening Criteria: Is this project required to conduct a vehicle miles traveled analysis?



Project Screening Summary

Existing Land Use	Proposed	
17 Daily Vehicle Trips	130 Daily Vehicle Trips	
100 Daily VMT	763 Daily VMT	
Tier 1 Screen	ning Criteria	
Project will have less residential units compared to existing residential units & is within one-half mile of a fixed-rail station.		
Tier 2 Screen	ning Criteria	
The net increase in daily trips < 250 trips		113 Net Daily Trips
The net increase in daily VMT ≤ 0		663 Net Daily VMT
The proposed project consists of only retail land uses ≤ 50,000 square feet total.		0.000 ksf
The proposed project	-	red to



EXHIBIT D MAPS AND PHOTOS

- D1 Vicinity Map
- D2 Radius Map
- D3 Site Photos
- D4 ZIMAS Parcel Profile Report
- D5 ZIMAS 2640Feet Radius



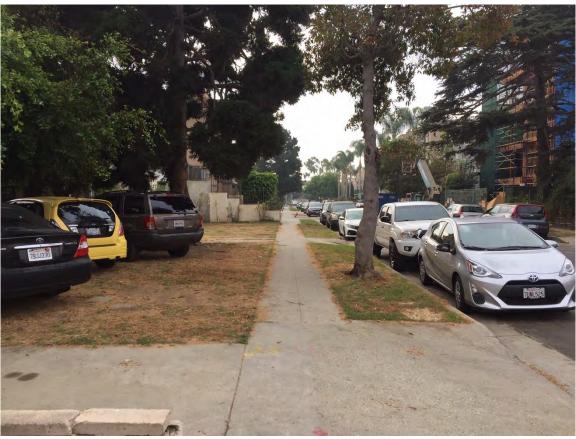


1.



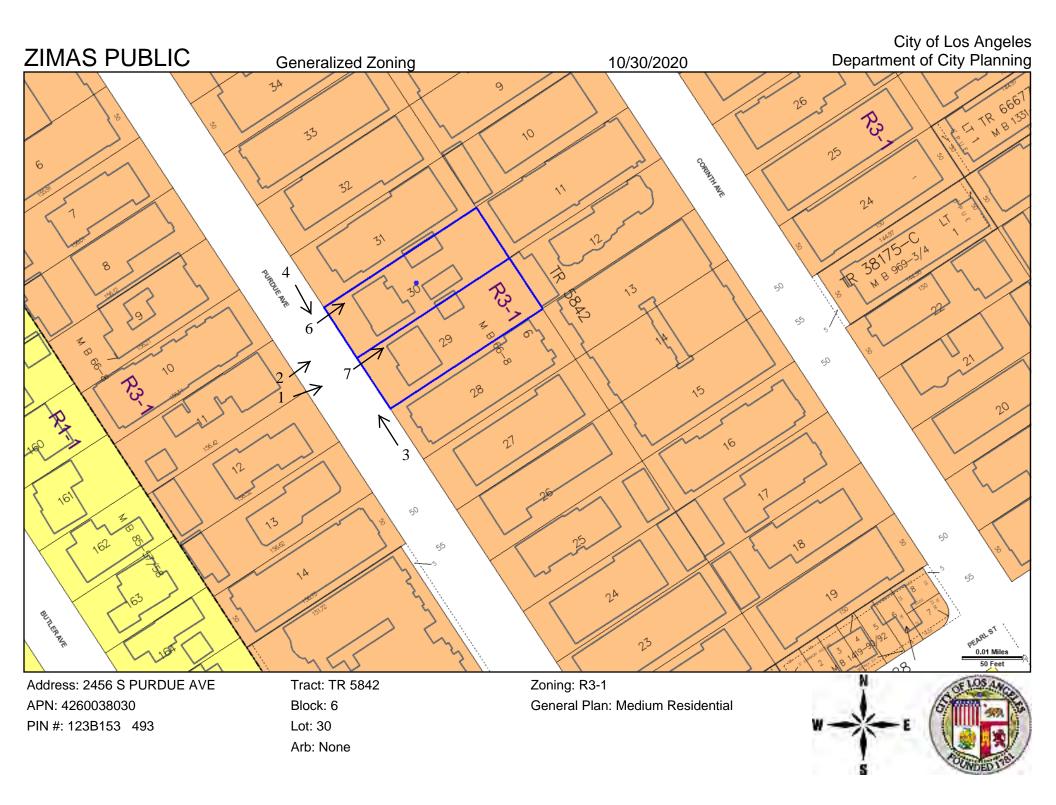


3.









City of Los Angeles Department of City Planning ZIMAS PUBLIC LARIAC5 2017 Color-Ortho 10/30/2020

Address: 2456 S PURDUE AVE

APN: 4260038030 PIN #: 123B153 493 Tract: TR 5842 Block: 6

Lot: 30 Arb: None Zoning: R3-1

General Plan: Medium Residential





City of Los Angeles **Department of City Planning**

DIR-2021-55969/2021 PARCEL PROFILE REPORT

PROPERTY ADDRESSES

2460 S PURDUE AVE

ZIP CODES

90064

RECENT ACTIVITY

None

CASE NUMBERS

CPC-2018-7547-CPU CPC-2014-1457-SP

CPC-2013-621-ZC-GPA-SP

CPC-2005-8252-CA

ORD-186402

ORD-186108

ORD-171492

ORD-171227 ORD-163205

ENV-2014-1458-EIR-SE-CE

ENV-2013-622-EIR

ENV-2005-8253-ND

Address/Legal Information

123B153 518 PIN Number

Lot/Parcel Area (Calculated) 7,500.1 (sq ft)

Thomas Brothers Grid PAGE 632 - GRID B7

4260038029 Assessor Parcel No. (APN)

TR 5842 Tract

Map Reference MB 66-8 6

Block 29 Lot

Arb (Lot Cut Reference) None

123B153 Map Sheet

Jurisdictional Information

Community Plan Area Palms - Mar Vista - Del Rey

Area Planning Commission West Los Angeles

Neighborhood Council West Los Angeles Sawtelle

Council District CD 11 - Mike Bonin

Census Tract # 2712.00

LADBS District Office West Los Angeles

Planning and Zoning Information

Special Notes None Zoning R3-1

Zoning Information (ZI) ZI-2192 Specific Plan: West Los Angeles Transportation Improvement

and Mitigation

ZI-2490 Specific Plan: Exposition Corridor Transit Neighborhood Plan

ZI-2452 Transit Priority Area in the City of Los Angeles

ZI-2427 Freeway Adjacent Advisory Notice for Sensitive Uses

Medium Residential General Plan Land Use

General Plan Note(s) Yes Hillside Area (Zoning Code)

Specific Plan Area EXPOSITION CORRIDOR TRANSIT NEIGHBORHOOD PLAN

Subarea

WEST LOS ANGELES TRANSPORTATION IMPROVEMENT AND Specific Plan Area

MITIGATION

None

None Subarea

Special Land Use / Zoning None Historic Preservation Review No Historic Preservation Overlay Zone None

Other Historic Designations None Other Historic Survey Information None

Mills Act Contract

None CDO: Community Design Overlay None None CPIO: Community Plan Imp. Overlay

Subarea

CUGU: Clean Up-Green Up None HCR: Hillside Construction Regulation No NSO: Neighborhood Stabilization Overlay No

POD: Pedestrian Oriented Districts None RFA: Residential Floor Area District None

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org (*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

RIO: River In., mentation Overlay No SN: Sign District No Streetscape No Adaptive Reuse Incentive Area None Affordable Housing Linkage Fee Residential Market Area High Non-Residential Market Area High Transit Oriented Communities (TOC) Tier 3 RPA: Redevelopment Project Area None Central City Parking No Downtown Parking No **Building Line** None 500 Ft School Zone No 500 Ft Park Zone No **Assessor Information** Assessor Parcel No. (APN) 4260038029 APN Area (Co. Public Works)* 0.172 (ac) 0100 - Residential - Single Family Residence Use Code Assessed Land Val. \$833,770 \$54.054 Assessed Improvement Val. Last Owner Change 12/30/2019 \$5,667,056 Last Sale Amount Tax Rate Area Deed Ref No. (City Clerk) 655307 3280 2226708 171 Building 1 1937 Year Built **Building Class** D5B Number of Units 1 2 Number of Bedrooms Number of Bathrooms 972.0 (sq ft) **Building Square Footage** Building 2 No data for building 2 **Building 3** No data for building 3 Building 4 No data for building 4 Building 5 No data for building 5 No [APN: 4260038029] Rent Stabilization Ordinance (RSO) **Additional Information** Airport Hazard None None Coastal Zone Area Not Mapped Farmland Urban Agriculture Incentive Zone YES Very High Fire Hazard Severity Zone No Fire District No. 1 No Outside Flood Zone Flood Zone No Watercourse Hazardous Waste / Border Zone Properties No Methane Hazard Site None High Wind Velocity Areas No Special Grading Area (BOE Basic Grid Map A-No 13372) Wells None

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(*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

Seismic Hazards

Active , ault Near-Source Zone

Nearest Fault (Distance in km)

Nearest Fault (Name) Santa Monica Fault

Region Transverse Ranges and Los Angeles Basin

1.79594256

Fault Type

Slip Rate (mm/year) 1.00000000

Slip Geometry Left Lateral - Reverse - Oblique
Slip Type Moderately / Poorly Constrained

 Down Dip Width (km)
 13.0000000

 Rupture Top
 0.00000000

 Rupture Bottom
 13.0000000

 Dip Angle (degrees)
 -75.0000000

 Maximum Magnitude
 6.6000000

Alquist-Priolo Fault Zone No
Landslide No
Liquefaction No
Preliminary Fault Rupture Study Area No
Tsunami Inundation Zone No

Economic Development Areas

Business Improvement District None

Hubzone Not Qualified

Opportunity Zone No
Promise Zone None
State Enterprise Zone None

Housing

Direct all Inquiries to Housing+Community Investment Department

Telephone (866) 557-7368
Website http://hcidla.lacity.org

Rent Stabilization Ordinance (RSO) No [APN: 4260038029]

Ellis Act Property No

AB 1482: Tenant Protection Act See Notes
Assessor Parcel No. (APN) 4260038029

Address 2460 PURDUE AVE

Year Built 1937

Use Code 0100 - Residential - Single Family Residence

Notes The property is subject to AB 1482 only if the owner is a corporation,

limited liability company, or a real estate investment trust.

Public Safety

Police Information

Bureau West

Division / Station West Los Angeles

Reporting District 892

Fire Information

Bureau West
Batallion 9
District / Fire Station 59
Red Flag Restricted Parking No

CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number: CPC-2018-7547-CPU CPU-COMMUNITY PLAN UPDATE Required Action(s): ADOPT COMMUNITY PLAN POLICY DOCUMENT, GENERAL PLAN AMENDMENTS, AND ZONE CHANGES TO APPLY RE-CODE Project Descriptions(s): LA ZONING. Case Number: CPC-2014-1457-SP Required Action(s): SP-SPECIFIC PLAN (INCLUDING AMENDMENTS) Project Descriptions(s): SPECIFIC PLAN AMENDMENT Case Number: CPC-2013-621-ZC-GPA-SP ZC-ZONE CHANGE Required Action(s): GPA-GENERAL PLAN AMENDMENT SP-SPECIFIC PLAN (INCLUDING AMENDMENTS) Project Descriptions(s): ZONE CHANGE AND PLAN AMENDMENT FOR THE IMPLEMENTATION OF THE EXPOSITION CORRIDOR TRANSIT NEIGHBORHOOD PLAN. Case Number: CPC-2005-8252-CA Required Action(s): CA-CODE AMENDMENT AN ORDINANCE ESTABLISHING PERMANENT REGULATIONS IMPLEMENTING THE MELLO ACT IN THE COASTAL ZONE. Project Descriptions(s): Case Number: ENV-2014-1458-EIR-SE-CE EIR-ENVIRONMENTAL IMPACT REPORT Required Action(s): SE-STATUTORY EXEMPTIONS CE-CATEGORICAL EXEMPTION Project Descriptions(s): **ENVIRONMENTAL IMPACT REPORT** Case Number: ENV-2013-622-EIR EIR-ENVIRONMENTAL IMPACT REPORT Required Action(s): ZONE CHANGE AND PLAN AMENDMENT FOR THE IMPLEMENTATION OF THE EXPOSITION CORRIDOR TRANSIT Project Descriptions(s): NEIGHBORHOOD PLAN. Case Number: ENV-2005-8253-ND Required Action(s): ND-NEGATIVE DECLARATION AN ORDINANCE ESTABLISHING PERMANENT REGULATIONS IMPLEMENTING THE MELLO ACT IN THE COASTAL ZONE. Project Descriptions(s):

DATA NOT AVAILABLE

ORD-186402

ORD-186108

ORD-171492

ORD-171227

ORD-171227 ORD-163205





City of Los Angeles **Department of City Planning**

6/9/2021 PARCEL PROFILE REPORT

PRO	PERTY	ADDI	<u>RESS</u>	ES

2456 S PURDUE AVE

ZIP CODES

90064

RECENT ACTIVITY

None

CASE NUMBERS

CPC-2018-7547-CPU CPC-2014-1457-SP

CPC-2013-621-ZC-GPA-SP

CPC-2005-8252-CA

ORD-186402

ORD-186108 ORD-171492

ORD-171227

ORD-163205

ENV-2014-1458-EIR-SE-CE

ENV-2013-622-EIR

ENV-2005-8253-ND

Address/Legal Information

PIN Number

Lot/Parcel Area (Calculated)

Thomas Brothers Grid

Assessor Parcel No. (APN)

Tract

Map Reference

Block

Arb (Lot Cut Reference)

Map Sheet

Jurisdictional Information

Community Plan Area

Area Planning Commission

Neighborhood Council

Council District

Census Tract #

LADBS District Office

Planning and Zoning Information

Special Notes Zoning

Zoning Information (ZI)

General Plan Land Use

General Plan Note(s) Hillside Area (Zoning Code)

Specific Plan Area

Subarea

Specific Plan Area

Subarea

Historic Preservation Review Historic Preservation Overlay Zone Other Historic Designations

Other Historic Survey Information

Special Land Use / Zoning

CDO: Community Design Overlay CPIO: Community Plan Imp. Overlay

Subarea

Mills Act Contract

CUGU: Clean Up-Green Up HCR: Hillside Construction Regulation

NSO: Neighborhood Stabilization Overlay POD: Pedestrian Oriented Districts

RFA: Residential Floor Area District

123B153 493

7,500.1 (sq ft)

PAGE 632 - GRID B7

4260038030

TR 5842

M B 66-8

6

30 None

123B153

Palms - Mar Vista - Del Rev

West Los Angeles

West Los Angeles Sawtelle

CD 11 - Mike Bonin

2712.00

West Los Angeles

None

R3-1

ZI-2192 Specific Plan: West Los Angeles Transportation Improvement

and Mitigation

ZI-2490 Specific Plan: Exposition Corridor Transit Neighborhood Plan

ZI-2452 Transit Priority Area in the City of Los Angeles

ZI-2427 Freeway Adjacent Advisory Notice for Sensitive Uses

Medium Residential

Yes

EXPOSITION CORRIDOR TRANSIT NEIGHBORHOOD PLAN

WEST LOS ANGELES TRANSPORTATION IMPROVEMENT AND MITIGATION

None

None

No None

None None

None

None None

None

None No

No None

None

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RIO: River In., ... mentation Overlay No No SN: Sign District Streetscape No Adaptive Reuse Incentive Area None Affordable Housing Linkage Fee Residential Market Area High Non-Residential Market Area High Transit Oriented Communities (TOC) Tier 3 RPA: Redevelopment Project Area None Central City Parking No No Downtown Parking **Building Line** None 500 Ft School Zone No 500 Ft Park Zone No Assessor Information 4260038030 Assessor Parcel No. (APN) APN Area (Co. Public Works)* 0.172 (ac) 0100 - Residential - Single Family Residence Use Code Assessed Land Val. \$182,208 Assessed Improvement Val. \$54,054 Last Owner Change 12/30/2019 \$5,667,056 Last Sale Amount Tax Rate Area 67 649063 Deed Ref No. (City Clerk) 484988 418746 4-588 369665 198058 1454607 0799034 Building 1 Year Built 1937 D5C **Building Class** 1 Number of Units 2 Number of Bedrooms Number of Bathrooms 1,114.0 (sq ft) **Building Square Footage** Building 2 No data for building 2 No data for building 3 **Building 3** No data for building 4 **Building 4** No data for building 5 Building 5 No [APN: 4260038030] Rent Stabilization Ordinance (RSO) **Additional Information** None Airport Hazard None Coastal Zone Farmland Area Not Mapped YES Urban Agriculture Incentive Zone Very High Fire Hazard Severity Zone No No Fire District No. 1 Flood Zone Outside Flood Zone Watercourse No

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org

(*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

No

None No

Hazardous Waste / Border Zone Properties

Methane Hazard Site

High Wind Velocity Areas

Special Grading Area (BOE Basic Grid Map A- No

13372)

Wells None

Seismic Hazards

Active Fault Near-Source Zone

Nearest Fault (Distance in km) 1.780794

Nearest Fault (Name) Santa Monica Fault

Region Transverse Ranges and Los Angeles Basin

Fault Type B

Slip Rate (mm/year) 1.00000000

Slip Geometry Left Lateral ~ Reverse - Oblique
Slip Type Moderately / Poorly Constrained

 Down Dip Width (km)
 13.00000000

 Rupture Top
 0.00000000

 Rupture Bottom
 13.00000000

 Dip Angle (degrees)
 -75.00000000

 Maximum Magnitude
 6.60000000

Alquist-Priolo Fault Zone No
Landslide No
Liquefaction No
Preliminary Fault Rupture Study Area No
Tsunami Inundation Zone No

Economic Development Areas

Business Improvement District None

Hubzone Not Qualified

Opportunity Zone No
Promise Zone None
State Enterprise Zone None

Housing

Direct all Inquiries to Housing+Community Investment Department

Telephone (866) 557-7368

Website http://hcidla.lacity.org

Rent Stabilization Ordinance (RSO) No [APN: 4260038030]

Ellis Act Property No

AB 1482: Tenant Protection Act See Notes
Assessor Parcel No. (APN) 4260038030

Address 2456 PURDUE AVE

Year Built 1937

Use Code 0100 - Residential - Single Family Residence

Notes The property is subject to AB 1482 only if the owner is a corporation,

limited liability company, or a real estate investment trust.

Public Safety

Police Information

Bureau West

Division / Station West Los Angeles

Reporting District 892

Fire Information

Bureau West
Batallion 9
District / Fire Station 59
Red Flag Restricted Parking No

CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

CPC-2018-7547-CPU Case Number. के दिवसी अंदर यात्रीत है। Required Action(s): CPU-COMMUNITY PLAN UPDATE ADOPT COMMUNITY PLAN POLICY DOCUMENT, GENERAL PLAN AMENDMENTS, AND ZONE CHANGES TO APPLY RE-CODE Project Descriptions(s): LA ZONING. Case Number: CPC-2014-1457-SP SP-SPECIFIC PLAN (INCLUDING AMENDMENTS) Required Action(s): SPECIFIC PLAN AMENDMENT Project Descriptions(s): Case Number: CPC-2013-621-ZC-GPA-SP Required Action(s): **ZC-ZONE CHANGE GPA-GENERAL PLAN AMENDMENT** SP-SPECIFIC PLAN (INCLUDING AMENDMENTS) ZONE CHANGE AND PLAN AMENDMENT FOR THE IMPLEMENTATION OF THE EXPOSITION CORRIDOR TRANSIT Project Descriptions(s): NEIGHBORHOOD PLAN. CPC-2005-8252-CA Case Number: CA-CODE AMENDMENT Required Action(s): AN ORDINANCE ESTABLISHING PERMANENT REGULATIONS IMPLEMENTING THE MELLO ACT IN THE COASTAL ZONE. Project Descriptions(s): ENV-2014-1458-EIR-SE-CE Case Number: Required Action(s): **EIR-ENVIRONMENTAL IMPACT REPORT** SE-STATUTORY EXEMPTIONS CE-CATEGORICAL EXEMPTION **ENVIRONMENTAL IMPACT REPORT** Project Descriptions(s): Case Number: ENV-2013-622-EIR Required Action(s):

Project Descriptions(s):

EIR-ENVIRONMENTAL IMPACT REPORT

ZONE CHANGE AND PLAN AMENDMENT FOR THE IMPLEMENTATION OF THE EXPOSITION CORRIDOR TRANSIT

NEIGHBORHOOD PLAN.

Case Number:

ENV-2005-8253-ND

Required Action(s):

ND-NEGATIVE DECLARATION

AN ORDINANCE ESTABLISHING PERMANENT REGULATIONS IMPLEMENTING THE MELLO ACT IN THE COASTAL ZONE. Project Descriptions(s):

DATA NOT AVAILABLE

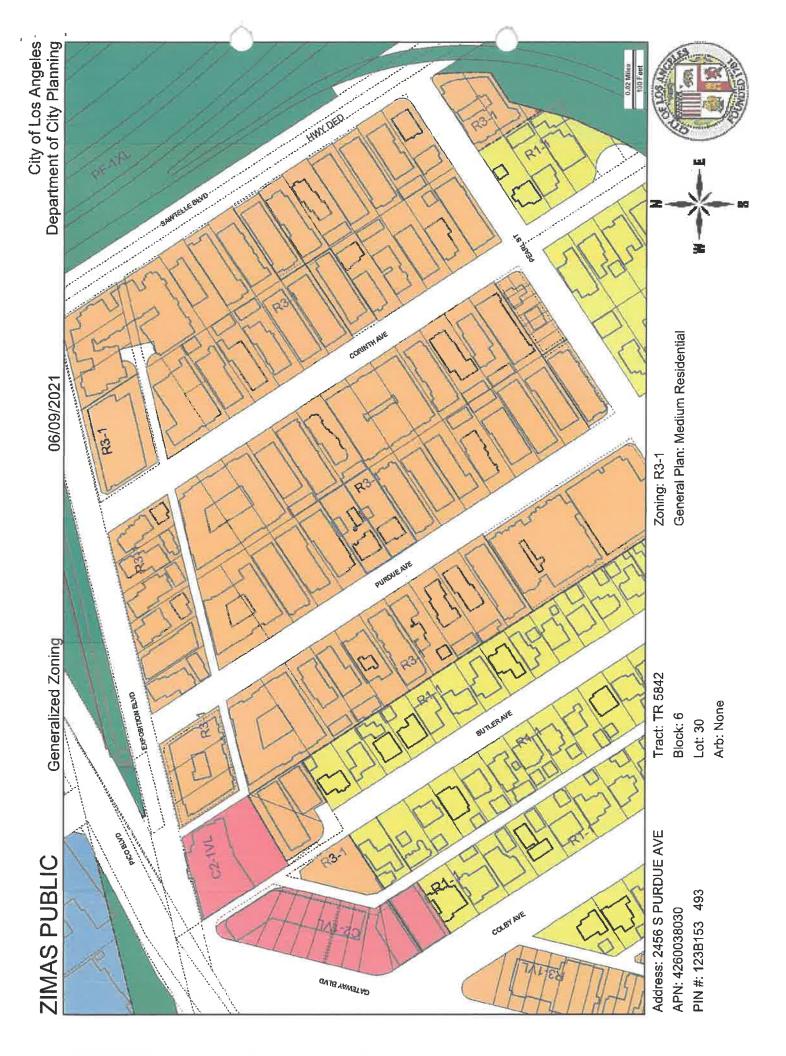
ORD-186402

ORD-186108

ORD-171492

ORD-171227

ORD-163205



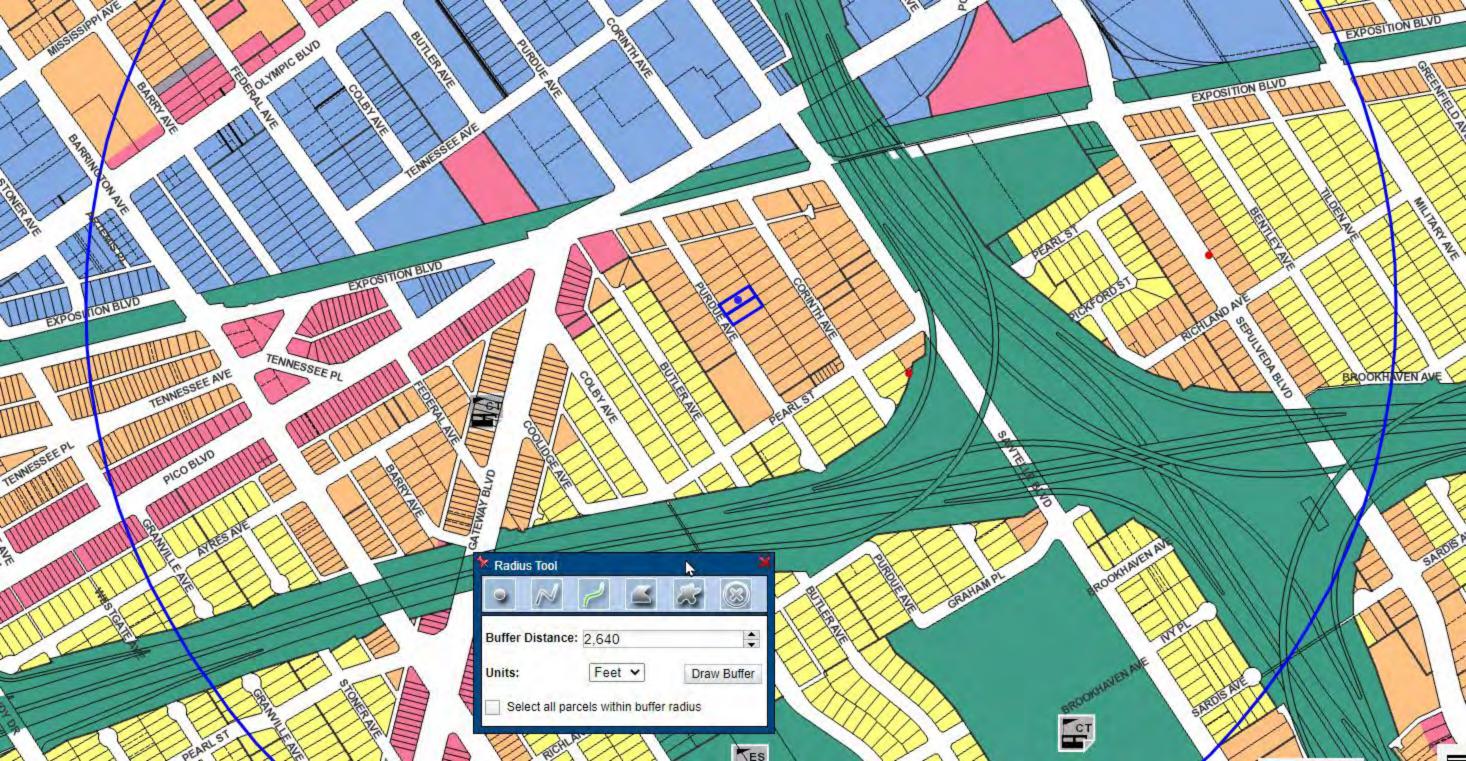


EXHIBIT E

Appeal Documents

E1– Application

E2- Justifications



APPLICATIONS:

APPEAL APPLICATION

Instructions and Checklist

Related Code Section: Refer to the City Planning case determination to identify the Zone Code section for the entitlement and the appeal procedure.

Purpose: This application is for the appeal of Department of City Planning determinations authorized by the Los Angeles Municipal Code (LAMC).

A. APPELLATE BODY/CASE INFORMATION

1.	APPELLATE BODY			
	☐ Area Planning Commission☐ Zoning Administrator	☐ City Planning Commission	☐ City Council	☐ Director of Planning
	Regarding Case Number:			
	Project Address:			
	Final Date to Appeal:			
2.	APPELLANT			
	Appellant Identity: (check all that apply)	□ Representative□ Applicant	☐ Property Owr ☐ Operator of the	
	☐ Person, other than the A	pplicant, Owner or Operator claim	ning to be aggrieved	I
	☐ Person affected by the de	etermination made by the Depart ı	ment of Building a	nd Safety
	☐ Representative☐ Applicant	□ Owner□ Operator	☐ Aggrieved Pa	arty
3.	APPELLANT INFORMATION			
	Appellant's Name:			
	Company/Organization:			
	Mailing Address:			
	City:	State:		Zip:
	Telephone:	E-mail:		
		your behalf or on behalf of anothe	, ,,	
	b. Is the appeal being filed to s	support the original applicant's po	sition? Π Yes	П №

4.	REPRESENTATIVE/AGENT INFORMATION	
	Representative/Agent name (if applicable):	_
	Company:	_
	Mailing Address:	_
	City: State: Zip:	_
	Telephone: E-mail:	_
5.	JUSTIFICATION/REASON FOR APPEAL	
	a. Is the entire decision, or only parts of it being appealed? ☐ Entire ☐ Part	
	b. Are specific conditions of approval being appealed? ☐ Yes ☐ No	
	If Yes, list the condition number(s) here:	<u> </u>
	Attach a separate sheet providing your reasons for the appeal. Your reason must state:	
	☐ The reason for the appeal ☐ How you are aggrieved by the decision	
	☐ Specifically the points at issue ☐ Why you believe the decision-maker erred or abused their discr	etion
В.		
	1. Appeal Documents	`
	a. Three (3) sets - The following documents are required for <u>each</u> appeal filed (1 original and 2 duplicates Each case being appealed is required to provide three (3) sets of the listed documents.	5)
	Appeal Application (form CP-7769) Justification/Reason for Appeal Copies of Original Determination Letter	
	 b. Electronic Copy □ Provide an electronic copy of your appeal documents on a flash drive (planning staff will upload during filing and return the flash drive to you) or a CD (which will remain in the file). The following its be saved as individual PDFs and labeled accordingly (e.g. "Appeal Form.pdf", "Justification Statement.pdf", or "Original Determination Letter.pdf" etc.). No file should exceed 9.8 MB in size. 	ems must
	 c. Appeal Fee □ Original Applicant - A fee equal to 85% of the original application fee, provide a copy of the original appreceipt(s) to calculate the fee per LAMC Section 19.01B 1. □ Aggrieved Party - The fee charged shall be in accordance with the LAMC Section 19.01B 1. 	oplication
	 d. Notice Requirement ☐ Mailing List - All appeals require noticing per the applicable LAMC section(s). Original Applicants must noticing per the LAMC 	·
	Mailing Fee - The appeal notice mailing fee is paid by the <u>project applicant</u> , payment is made to Planning's mailing contractor (BTC), a copy of the receipt must be submitted as proof of payment.	the City

SPECIFIC CASE TYPES - APPEAL FILING INFORMATION

C. DENSITY BONUS / TRANSIT ORIENTED COMMUNITES (TOC)

1. Density Bonus/TOC

Appeal procedures for Density Bonus/TOC per LAMC Section 12.22.A 25 (g) f.

NOTE:

- Density Bonus/TOC cases, only the on menu or additional incentives items can be appealed.
- Appeals of Density Bonus/TOC cases can only be filed by adjacent owners or tenants (must have documentation), and always <u>only</u> appealable to the Citywide Planning Commission.

☐ Provide documentation to confirm adjacent owner or tenant status, i.e., a lease agreement, rent receipt, utility bill, property tax bill, ZIMAS, drivers license, bill statement etc.

D. WAIVER OF DEDICATION AND OR IMPROVEMENT

Appeal procedure for Waiver of Dedication or Improvement per LAMC Section 12.37 I.

NOTE:

- Waivers for By-Right Projects, can only be appealed by the owner.
- When a Waiver is on appeal and is part of a master land use application request or subdivider's statement for a project, the applicant may appeal pursuant to the procedures that governs the entitlement.

E. TENTATIVE TRACT/VESTING

1. Tentative Tract/Vesting - Appeal procedure for Tentative Tract / Vesting application per LAMC Section 17.54 A.

NOTE: Appeals to the City Council from a determination on a Tentative Tract (TT or VTT) by the Area or City Planning Commission must be filed within 10 days of the date of the written determination of said Commission.

☐ Provide a copy of the written determination letter from Commission.

F. BUILDING AND SAFETY DETERMINATION

□ 1. Appeal of the <u>Department of Building and Safety</u> determination, per LAMC 12.26 K 1, an appellant is considered the Original Applicant and must provide noticing and pay mailing fees.

a. Appeal Fee

☐ Original Applicant - The fee charged shall be in accordance with LAMC Section 19.01B 2, as stated in the Building and Safety determination letter, plus all surcharges. (the fee specified in Table 4-A, Section 98.0403.2 of the City of Los Angeles Building Code)

b. Notice Requirement

- Mailing Fee The applicant must pay mailing fees to City Planning's mailing contractor (BTC) and submit a copy of receipt as proof of payment.
- □ 2. Appeal of the <u>Director of City Planning</u> determination per LAMC Section 12.26 K 6, an applicant or any other aggrieved person may file an appeal, and is appealable to the Area Planning Commission or Citywide Planning Commission as noted in the determination.

a. Appeal Fee

☐ Original Applicant - The fee charged shall be in accordance with the LAMC Section 19.01 B 1 a.

b. Notice Requirement

- ☐ Mailing List The appeal notification requirements per LAMC Section 12.26 K 7 apply.
- ☐ Mailing Fees The appeal notice mailing fee is made to City Planning's mailing contractor (BTC), a copy of receipt must be submitted as proof of payment.

G. NUISANCE ABATEMENT

1. Nuisance Abatement - Appeal p	rocedure for Nuisance Abatement per LAMC	Section 12.27.1 C 4
NOTE: - Nuisance Abatement is only appea	alable to the City Council.	
a. Appeal Fee Aggrieved Party the fee ch	arged shall be in accordance with the LAMC	Section 19.01 B 1.
2. Plan Approval/Compliance Rev Appeal procedure for Nuisance Ab	iew atement Plan Approval/Compliance Review բ	per LAMC Section 12.27.1 C 4.
	e fee charged shall be in accordance with the all be in accordance with the LAMC Section 1	
NOTES		
	NC) or a person identified as a member of a the Neighborhood Council; persons affiliated	
Los Angeles Municipal Code (LAMC) will make its best efforts to have apped due process to the appellant. If the appet the appeal prior to the last day to act, it	must act on your appeal within a time period pertaining to the type of appeal being filed. eals scheduled prior to the appellate body's pellate body is unable to come to a consensus the appeal is automatically deemed denied, a AMC may only be extended if formally agree	The Department of City Planning last day to act in order to provide s or is unable to hear and consider and the original decision will stand.
Base Fee:	This Section for City Planning Staff Use Only Reviewed & Accepted by (DSC Planner):	Date:
Dasc 1 66.	The viewed & Accepted by (DOC Flatilier).	Date.
Receipt No:	Deemed Complete by (Project Planner):	Date:

□ Determination authority notified

☐ Original receipt and BTC receipt (if original applicant)

To: Faisal Roble, Principal City Planner

Faisal.Roble@lacity.org

Michelle Singh, Senior City Planner

Michell.singh@lacity.org

Connie Chauv, City Planner

Connie.chauv@lacity.org

Norali Martinez Maza, City Planning Associate

Norali.martinez@lacity.org

Department of City Planning 200 North Spring Street, Room 525 Los Angeles, CA 90012-4801

To: Linda Lou, City Planner

Commission Office - LA City Planning

Linda.lou@lacity.or

cc: Cecilia Lamas, Sr. Administrative Clerk

Cecilia.lamas@lacity.org

To: Applicant/Owner/Representative

Amir Mehdizadeh

8801 South Beverly Glen Blvd.

Los Angeles, CA 90024

Resident/Stakeholder's Opposition to Director's Determination Case No. <u>DIR-2021-5596-TOC-HCA, CEQA: ENV-2021-5597-</u> ENV-2013-622-EIR

Applicant/Owner/Representative Aaron Belliston BMR Enterprises 5250 Lankershim Blvd., Ste 500 Los Angeles, CA 91601 Case No. DIR-2021-5596-

TOC-HCA

CEQA: ENV-2021-5597-CE /

ENV-2013-622-EIR

Location: 2456-2460 South Purdue

Avenue

Council District: 11-Bonin

Neighborhood Council: West Los Angeles Sawtelle Community Plan Area: Palms-Mar Vista-Del Rey Land

Use Designation: Medium Residential

Zone: R3-1

Legal Description: Lots 29-30, Block 6,

Tract 5842

Kathryn Schorr - Resident/Stakeholder in Opposition For:

> 2461-2463 ½ Purdue Avenue Los Angeles, CA 90064 kakischorr@yahoo.com

Ву:

Kelly Sayers Hamilton, Esq. 11796 Camino Ancho San Diego, CA 92128 lawprofwoman@yahoo.com

Memorandum in Opposition to Director's Determination Transit Oriented Communities Affordable Housing Incentive Program

August 8, 2022

Applicant/Owner/Representative Amir Mehdizadeh 8801 South Beverly Glen Los Angeles, CA 90024 Case No. DIR-2021-5596-TOC-HCA

CEQA: ENV-2021-5597-CE/

ENV-2013-622-EIR

Location: 2456-2460 South Purdue

Avenue, LA CA 90064

Council District: 11-Bonin

Neighborhood Council: West Los Angeles Sawtelle Community Plan Area: Palms-Mar Vista-Del Rey Land

Use Designation: Medium Residential

Zone: R3-1

Legal Description: Lot 29-30, Block 6, Tract TR5842

To: Norali Martinez Maza, City
Planning Associate
Norali.matinez@lacity.org
Department of City Planning
200 North Spring Street, Room 525
Los Angeles, CA 90012-4801

To: Applicant/Owner/Representative

Aaron Belliston BMR Enterprises

5250 Lankershim Blvd., Suite 500 Los Angeles, CA 91601

FR: Kathryn Schorr- Resident/Stakeholder in Opposition

2461-2463 ½ Purdue Avenue Los Angeles, CA 90064

Resident/Stakeholder's Opposition to Director's Determination Case No. <u>DIR-2018-3411-TOC</u>, CEQA: ENV-2018-3412-CE

I. Resident/Stakeholder in Opposition, Kathryn Schorr, ("Stakeholder in Opposition") is a resident-owner of adjacent property to 2465 Purdue Avenue, Los Angeles, California 90064 ("the Project") which Project is the subject of a Director's Determination ("Determination") granting certain "incentives" (discussed below) to Applicant/Owner/Representative, Ahmir Mehdizadeh ("Owner/Builder") whose representative Aaron Belliston is operating as: BMR Enterprises, 5250 Lankershim Blvd., Suite 500, Los Angeles, CA 91601. Said Resident / Stakeholder in Opposition owns property which is located at 2461-2463 ½ Purdue Avenue and is adjacent to the Project. The Resident/Stakeholder in Opposition hereby submits this Memorandum in Opposition to the Director's Determination dated per Norali Martinez, City Planner, as of July 28, 2022, pursuant to Los Angeles Municipal Code (LAMC) Section 12.22

A.31, Transit Oriented Communities Affordable Housing Incentive Program Guidelines ("TOC"), Residential Citywide Design Guidelines as well as California Environmental Quality Act, based on the following Director's erroneous findings:

- II. <u>Applicant/Owner/ Representative Ahmir Mehdizadeh, Aaron Belliston ("Owner/Builder") was</u> given a "Directors <u>Determination" ("Determination") in compliance with Transit Oriented Communities ("TOC") guidelines based on the following erroneous "Conditions of Approval":</u>
 - A. Project was erroneously slated as a "Tier 3" (Incentive Area Exemption Designation) but should be approved as a Tier 2. Said exemption is erroneous due to its failure to comply with the "One-half mile radius (2640 feet) proximity requirement around a MAJOR TRANSIT STOP" (Metro Exposition Line) as defined in subdivision (b) of section 2155 of the California Public Resources Code and provided in section II of the TOC guidelines. In actuality, said Project is in compliance with a Tier 2 compliance based on its proximity to the Metro Exposition Line.
 - B. TOC Determination of California Environmental Quality Act ("CEQA"). Article 19, Class 32 exemption (Environmental Impact) is in error. (See discussion below regarding CEQA Guidelines, Section 153300.2, Article 19 (Class 32), Exception 15300.2 subsections (a) "cumulative impact" specifically: (1) Traffic, (2) Noise (3) Air quality. (b) "unusual circumstances;" and (c) "scenic resources."
 - C. <u>The Project Fails to comply with Design Conformance-</u> Section V: APPLICATION AND APPROVALS (4)- <u>Design Conformance specifically:</u>

Projects seeking to obtain Additional Incentives* shall be subject to applicable design guidelines, including any Community Plan design guidelines, Specific Plan design guidelines and/or <u>Citywide Guidelines and may be subject to conditions to meet design conformance</u>. The conditions shall not preclude the ability to construct the building with the residential density permitted by section VI.

Specifically, Owner/Builder fails to comply with approximately 59 of 66 Citywide Design Guidelines, Community Plan Design Guidelines as well as West Los Angeles
Transportation Impact Mitigation Plan including traffic impact testing criteria. (See Los Angeles Department of City Planning - CPC- Form 4046 "Residential-Citywide Design Guidelines 11/01/16 - Multi-Family Residential and Commercial Mix-Used Projects
Checklist for Project Submittal Tier 3 of TOC guidelines - Ill sections 1-3 TOC -Affordable Housing Incentive Area.)

- D. The Determination fails to address (after formal notice) the California Law Civil Code Title 25, Section 42. Said law requires a manager, janitor, housekeeper, or other responsible person to live on the premises and have charge of every apartment complex that has sixteen (16) or more apartments units on the property if the property owner does not live on the premises.
- f. The Determination made an erroneous finding when it determined that the project adheres to the West Los Angeles Traffic Impact Mitigation Plan and the Los Angeles Department of Transportation guidelines (WLA TIMP and LADOT.) Where WLA TIMP Section 4, provides (among other requirements) Mitigation of Transportation Impacts to include in pertinent part:
 - (1) 42 or fewer Trips: An Applicant for a Project which generates 42 or fewer

- Trips, as calculated by LADOT, shall make the applicable highway dedications and improvements as required by LADOT or guarantee them pursuant to the Department of Public Works' 8-permit procedures...
- (2) 43 or more Trips: An Applicant for a Project which generates 43 or more Trips, as calculated by LADOT, shall make the applicable highway dedications and improvements as required by LADOT or guarantee them pursuant to the Department of Public Works' 8-permit procedures...*
- (3) <u>LADOT shall require that mitigation measures be undertaken or guaranteed</u> to reduce the Significant Transportation Impacts of a Project to a level of <u>insignificance</u>. If no feasible mitigation measures are available, LADOT may require reasonable measures to mitigate the adverse effects of the Significant Transportation Impacts of the Project. The mitigation measures may include but are not limited to the following:
 - a. Transportation Demand Management (TOM) measures such as ridesharing and Vanpool programs, shuttle buses, transit subsidies, parking cash outs, staggered work hours and employee incentive programs that encourage Carpool and Vanpool usage as described in Subsection G.
 - b. Traffic signal system improvements.
 - c. Street widenings and dedications.
 - d. Construction of off-site improvements.
 - e. Land dedications.
 - f Residential Neighborhood Traffic Mitigation Program.
 - g. Guarantee of Mitigation Measures. Prior to the issuance of any building, grading or foundation permit, the Applicant shall do the following:
 - 1. Guarantee the proposed mitigation measures required pursuant to Section 4 E of this Specific Plan, as determined by LADOT. The guarantees may only consist of one or more of the following: bonds for 8-permits on City streets; Encroachment Permits for State Highways; and cash payments for traffic signal systems such as ATSAC improvements.
 - 2. Sign and record a covenant and agreement pursuant to Section 4 B of this Specific Plan. (West Los Angeles Transportation Improvement and Mitigation Specific Plan, pp. 9-10.)
 - 3. The Determination allowing "Unbundling" of required parking on Purdue, sets a precedent which would create an adverse cumulative traffic impact adverse to CEQA guidelines and City Traffic Mitigation plans.

 Specifically, such monetization of parking in a residential community exponentially incentivizes traffic flow (see Los Angeles Department of Transportation Traffic Analysis and study discussion below.) Nor does this "unbundling" take into account the impact on other similarly situated "unbundled" parking projects which are known to rent their parking spaces to commercial interests resulting in vastly increased trips throughout the day including 6:00 pm peak hour trips.

Additionally, the traffic diversion as a result of WAZE and other

community- based traffic application devices currently send peak hour traffic down Purdue to avoid gridlock on Sawtelle, which diversion has already significantly increased daily trips down Purdue Avenue. This additional traffic continues to block driveways, create safety hazards for residents using sidewalks and creates a greater likelihood of delayed response times for emergency services.

- III. Pursuant to projects identified as eligible for "Additional Incentives" subject to section VII of the TOC Guidelines, the "Determination" has erroneously identified Owner/Builder as having complied with the "Open Space, Height" incentives as follows:
 - A. Open Space: Said "Determination" identifies a 25% reduction in open space for a "Tier 3" project. Notwithstanding the fact, as discussed above, said project does not qualify as "Tier 3, it reduces the open space from 4275 square feet to 3342 square feet of required open space but erroneously identifies the allowable reduction as "...providing useable open space as intended by the code." Specifically, said "Determination" fails to adequately describe what is considered "usable open space" therefore one can only assume (based on the proposed architectural plans) the "Determination" has concluded that the above-ground balconies and the concrete slab in the back of said property is "usable open space." This conclusion, however, is in opposition to the Los Angeles Municipal Code, which states:

For purposes of this subsection, usable open space shall mean an area which is designed and intended to be used for active or passive recreation... that "usable open space for each dwelling unit in the development, such space to be available and accessible to all residents of the development...

Useable open space may consist of private and/or common area as further defined and regulated herein. Parking areas, including access aisles, driveways, and required front and side yards...

Open space areas located above the first habitable room level, except as otherwise provided for herein, shall not qualify as usable open space.

(Information Bulletin P-ZC 2002-010 - Multiple Unit Development General Zoning Code Design Criteria for Multiple - Dwelling Development - Los Angeles Department Building Safety, pp. 6-7 of 8.)

There shall also be provided at least 10 square feet of indoor recreation space, and at least 50 square feet of usable open space for each dwelling unit in the development, such space to be available and accessible to all residents of the development. (Section 12.10.5 Los Angeles Municipal Code)

8. <u>Height Requirement:</u> Purdue Avenue is a R3-1 zoning designation with a 45-foot maximum height limit. Architectural plans for the instant project show a 56-foot building height with additional height allowance for mechanical equipment

and other unspecified structures located on the rooftop. This additional height violates "Residential Citywide Design Guidelines" Objective 1: Consider Neighborhood Context & Linkages & Site Design (.4) Relationship to Adjacent Buildings, which objective is in place to:

Ensure that new buildings are compatible in scale, massing, style, and/or architectural materials with existing structures in the surrounding neighborhood. In older neighborhoods, new developments should likewise respect the character of existing buildings with regards to height, scale, style, and architectural materials.

Therefore, at 67 feet in height (approximately six stories) this building would be nearly four times taller than twenty-five percent of all buildings and 22 feet taller than fifty percent of the buildings on Purdue Avenue and more than forty-feet taller than the remaining single-family residences and single-story multi-family dwellings on the street. Including the single-family residence directly across the street and the single-story multi-family dwelling directly across the street from the project.

The excessive height of this building as noted above, will cast shade, and block all sunlight to all properties to the north and west of said building. Furthermore, said shadow would block usable open space (yards) rendering said space unable to sustain its vibrant landscaping. This additional height violates "Residential Citywide Design Guidelines" Objective 1: Consider Neighborhood Context & Linkages & Site Design (.4) Relationship to Adjacent Buildings, which objective as stated above, is to "...provide a sensitive transition by maintaining a height compatible with adjacent buildings. Mitigate negative shade/shadow and privacy impacts..."

- C. Failure of Setback: The Determination letter states, "the project is consistent with the TOC Guidelines height incentive and setback requirements." Specifically, the letter identifies measurements and photographs from "Exhibit A" attached thereto, which measurements and photographs are clearly inconsistent with appropriate setback requirements beginning at 56-feet. Thus, the additional eleven feet of height incentives are not in fact 'setback' per TOC Guidelines "Height incentives."
- D. Given the proposed height of the instant project, the lack of "upper story setbacks" violates not only the above-described Residential Citywide Design Guidelines but is in direct contravention of CEQA air quality standards but is also in opposition to TOC Section VII: "Additional Incentives" (g) Height, ii. Transitional Height. 2. Tier 3 - which states in pertinent part:

The building height limit shall be stepped-back at a 45-degree angle as measured from a horizontal plane originating 25 feet above grade at the property line of the adjoining lot in the RWI Zone or more restrictive residential zone or Specific Plan subarea (See Exhibit.)

E. Improper Class 32 Categorical Exemption Due to Failure to Meet Exception Criteria: Pursuant to Class 32 Categorical Exemption-Los Angeles Department of City Planning Special Requirement Criteria and the State of California Public Resource Code, Division 13 Environmental 8

Quality and the State of California Environmental Quality Act and CEQA Guidelines, Section 15300, A Class 32 Exemption based on a discretionary action such as the instant "Determination" in favor of the Applicant/ Builder, requires environmental review pursuant to CEQA. However, the CEQA Guidelines include a list of classes of projects which have been determined to not have a significant effect on the environment, also known as Categorical Exemptions. However, the project which is the subject of the instant "Determination" should not be exempt from said Guidelines due to the fact that the project fails to meet relevant exemption criteria pursuant to the provisions of CEQA and in fact would fail an appropriate environmental review as required by CEQA Guideline Section 15300.2.

Specifically, the Class 32 "Infill" Categorical Exemption (CEQA Guideline Section 15332, hereafter referred to as the Class 32 Exemption), exempts infill development within urbanized areas if it meets certain criteria. The class consists of environmentally benign infill projects that are consistent with the General Plan and Zoning requirements. (Which General Plan failures have already been discussed above.) This class is not intended for projects that would result in any significant traffic, noise, air quality, or water quality impacts. This exemption is not limited to any use type and may apply to residential, commercial, industrial, public facility, and/or mixed-use projects.

Furthermore, the Class 32 Exemption is not available for any project that requires mitigation measures to reduce potential environmental impacts to less than significant. Additionally, there are exceptions to the exemptions depending on the nature or location of the project, pursuant to CEQA Section 15300.2. For a proposed project to qualify, none of the following Exceptions can apply to the project:

a. The project and successive projects of the same type in the same place will result in cumulative impacts.

NOTE: Resident/Stakeholder in Opposition notes that this project and successive projects of its type would have an adverse cumulative impact on the environment to include:

- 1. Traffic: See argument discussing the adverse impact due to the "unbundling" of required parking (discussed above);
- 2. Noise: The above discussion regarding traffic would increase noise as well as the added population density with the close proximity to adjacent dwellings would increase noise.
- 3. Air quality: According to the City of Los Angeles Department of City Planning Zoning Information File (ZI NO 2427) Freeway Adjacent Advisory Notice "All applicants filing a discretionary application for a new and/or expanded project located within 1,000 feet of a freeway shall, according to "Project Requirements" must be in conformance to the Los Angeles General Plan (the "Plan") and is expected to adhere to the Citywide Design Guidelines ("Guidelines"). As discussed above, the instant project has failed in numerous ways to conform to said Plan and Guidelines criteria.

Furthermore, as part of the "Clean Up Green Up" initiative, on April 26, 2016, the City Council amended Articles 5 and 9 of Chapter IX of the Los Angeles Municipal Code (L.A.M.C.) addressing sources of outside air in buildings and requiring all new mechanically ventilated

buildings located within 1,000 feet of the freeway to install air filtration media that provides a Minimum Efficiency Reporting Value (MERV) of 13 (Ordinance 184245).

- b. There are unusual circumstances creating the reasonable possibility of significant effects.
- V. Resident/Stakeholder in Opposition notes the following unusual circumstances which create a reasonable possibility of significant adverse effects:
- 1. The project is **miss-classified as TIER 3** and as such affords greater incentive allowances pursuant to TOC incentive Guidelines (discussed above);
- 2. The project fails to comply with "Design Conformance" guidelines (discussed above);
- 3. The project "Determination" fails to address the requirement of on-site resident manager pursuant to California Civil Code Title 25, Section 42 (discussed above);
- 4. The project fails to adhere to the West Los Angeles Traffic Impact Mitigation Plan and the Los Angeles Department of Transportation Guidelines (discussed above).
- 5. The project fails to adhere to "Open Usable Space" criteria as mandated by TOC Guidelines (discussed above).
- 6. The project fails to provide for appropriate front and side yard set-back criteria in opposition to "Objective 1, of the Residential Citywide Design Guidelines (discussed above);
- 7. The project **fails to provide appropriate side yard landscaping** in opposition to Objective 1, of the Residential Citywide Design Guidelines (discussed above);
- 8. The project **fails to meet the appropriate height requirement** in opposition to Objective 1, of the Residential Citywide Design Guidelines (discussed above);
- 9. The project **fails to meet the appropriate "setback height"** requirement in opposition to Objective 1, of the Residential Citywide Design Guidelines (discussed above);
- The project may result in damage to scenic resources, including, but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within an officially designated scenic highway.
- VI. <u>Directors' Determination Aggrieves Appellant among other reasons as egregious Abuse of Discretion</u> as follows:
 - A. Resident/Stakeholder in Opposition notes that based on the architectural plans for said project, the proposed basement parking will either destroy a historic fir tree (which overlooks the street with a majestic, in excess of a three story sweep) on Purdue Avenue, by cutting its root system to allow for said parking or, in the alternative, said parking plan will compromise the stability of said historic fir due to the obvious necessity of the cutting of the tree's root system to allow for the project's parking structure.
 - The project was also incorrectly described as being located approximately "2000 feet from the Expo/Sepulveda Metro Station of the Metro Exposition Line. When in fact, said property is over 2645 feet from said Metro Line. Therefore, said project is not in compliance with Tier 3 incentive criteria.
 - 2. Additionally, but for the exception of one structure, the tallest building on Purdue Avenue is a single, three-story multi-family dwelling, which is built on three lots. Therefore, the description of said Project within the Determination letter as being, "similar in scale and size" to other dwellings on the street is grossly inaccurate, as there is not one other structure on Purdue Avenue nor the surrounding single-family home neighborhoods that is remotely similar in

scale or size. (See Exhibits A and B.)

- 3. Description of Surrounding Properties: As described in the Determination letter Purdue Avenue is described as having "one to six-story multi family residential buildings." When in fact, Purdue Avenue has primarily one to three-story residential buildings. Further, what is glaringly absent in said Determination Letter is the fact that not only is the southern end of Purdue Avenue zoned as R-1, (one-story, single-family dwellings) but the three adjacent streets are entirely zooned Rl. Such designation to the west and south of Purdue Avenue would normally require a "step down" zoning designation of R2 which would require by definition lower building density. Accordingly, Purdue Avenue should in fact be designated as "R2" which zoning would disallow projects such as that under discussion herein.
- 4. TOC Incentives require on-sight "restricted affordable units" at minimum percentages per tier. Eligible projects receive incentives based on providing affordable housing units. While this project and others of its kind apparently receive approvals and incentives for affordable housing there is NO oversight or compliance mechanism to ensure that such affordable housing is in fact provided by the builder. Accordingly, the city's Systemic Code Enforcement Program inspection and compliance oversight for this and other aspects of such projects is woefully inadequate serving to benefit builders to the detriment of the neighborhoods they invade.

THEREFORE, based on the foregoing arguments, Resident/Stakeholder in Opposition requests that the Director's Determination in favor of the aforementioned Project be modified to conform to the applicable authorities as stated above, or in the alternative be suspended in its entirety.

Respectfully submitted,	Dated:

EXHIBIT F

Agency Correspondence

- F1 DCP Housing Services Unit- Transit Oriented Communities Referral
- F2 Department and Safety Preliminary Zoning Assessment
- F3 Los Angeles Housing Department-Replacement Unit Determination
- F4 Bureau of Engineering
- F5 Geographic Project Planning Referral

PAR- 2020 - 4002 - TOC



REFERRAL FORMS:

TRANSIT-ORIENTED COMMUNITIES - REFERRAL FORM LOS ANGELES CITY PLANNING DEPARTMENT

This form is to serve as a referral to the Department of City Planning Development Services Center for Affordable Housing case filing purposes (in addition to the required Department of City Planning Application and any other necessary documentation) and as a referral to HCIDLA, CRA, Building and Safety, or other City agency for project status and entitlement need purposes. This form shall be completed by the applicant and reviewed and signed by Department of City Planning staff prior to filing an application for a case or building permit. Any modifications to the content(s) of this form after its authorization by the Department of City Planning staff is prohibited. The Department of City Planning reserves the right to require an updated form for the project if more than 180 days have transpired since the approval date, or as necessary, to reflect project modifications, policy changes and/or amendments to the LAMC, local laws, and State laws.

STAFF USE ONLY
ding SB35 Other:
Planning Staff Signature Mandafama
Expiration Date 7/11/2021
ant
MR Enterprises 323-839-4623 aaron@bmrla.com -038-029 Number of Lots: 2 Lot Size: 15,000.247 s.f. Land Use Designation: Medium Residential B CRA CPIO specify): te intersection or metro stop)¹: Sepulveda Blvd / Exposition Blvd.
: Metro & Line (Expo Sepulveda) [420 min / # of trips] ² [420 min / # of trips]

² This figure (420 minutes) is based on the total number of minutes during the peak hours of 6 am to 9 am as well as 3 pm to 7 pm.

³ If project is 100% affordable, it is eligible for the designated Tier to be increased by one.

¹ Per AB 744, A Major Transit Stop means a site containing an existing rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods. It also includes major transit stops that are included in the applicable regional transportation plan.

III. Project Information (if applicant is requesting additional incentives) - To be completed by applicant 3. DESCRIPTION OF PROPOSED PROJECT Construct new 6-story 27 Unit Apartment Building in TOC Tier 3 using the following incentives: 1. Increase in Number of Dwelling Units, 2. Parking Reductions to 0.5 Spaces per Unit, 3. FAR Increase of 50%. Additional Incentives: 1. Height - 22' Increase in Maximum Building Height, 2. Open Space - 25% Reduction, 3. Setback - 30% Reduction Side Yard Setback. **EXISTING USE** A. Describe Existing Development: 2456 S. Purdue - Single Family Dwelling, 2460 S. Purdue - Single Family Dwelling Characteristic of existing use Existing # of Units or Dwelling Unit (DU), Commercial/ Existing # of Units or Proposed # of Units or Non-Residential SF To Industrial, or Other Non-Residential SF Non-Residential SF Be Demolished **Guest Rooms** Studio One Bedroom Two Bedrooms 2 . Four Bedrooms 2 Five Bedrooms 19 Non-Residential Square Feet Other: B. Previous Cases Filed (1) (2) (3) Case Number(s): Date Filed: Date Approved: End of Appeal Period: Environmental No. 5. TYPE OF APPLICATION Transit-Oriented Communities (per TOC Guidelines) with Base Incentives filed in conjunction with another discretionary approval. Transit-Oriented Communities (per TOC Guidelines) with Additional Incentives (please specify, max of three): 1) Height - 22' Increase in Maximum Building Height 2) Open Space - 25% Reduction in Open Space 3) Setback - 30% Reduction in Side Yard Setback ☐ If applicable, projects adhering to the Labor Standards in LAMC 11.5.11 may be granted two more Additional Incentives as listed in the TOC Guidelines (please specify): 5) Site Plan Review per LAMC Sec. 16.05 Specific Plan Project Permit Compliance per LAMC Sec. 11.5.7.C Community Design Overlay per LAMC Sec. 13.08 Coastal Development Permit per LAMC Sec. 12.20.2 or 12.20.2.1 ☐ Tract or Parcel Map per LAMC Sec. 17.00 or 17.50

Other entitlements requested (please specify):

⁴ Replacement units, per AB 2556, shall be equivalent to the number of units and number of bedrooms of the existing development.

	Not filed							
	Filed (indicate case number):		E-WITCH TO STATE					
НО	USING DEVELOPMENT PRO	JECT .	TYPE (please check all the	nat apply):				
	For Sale		Moderate Income			Other (plea	ase describe)	
-	For Rent		20/20/20/20/20/20/20/20/20/20/20/20/20/2			-		
	Extremely Low Income					-		
	Very Low Income Low Income		Senior Chronically Homeless			-		
	Low income	ы	Citionically Floriteless					
DE	NSITY CALCULATION							
A.	Base Density: Maximum de	nsity a		55.29				
	Lot size		15,000	s.f. (a)	~~~	nor unit /hl		
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В.	Maximum Allowable Density	Bonu	s: 33	units (e)				
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C.	affordability set by each categ contact the Housing and Com	dicate t	[e = d > in RD Zones otal number of Units requ CD or HUD). For informa	d x 1.5 (Tier 1), d x 1.35 (Tier uested as well tion on HCD	rs 1 as band l	and 2), 1.4 (roun breakdown b HUD levels	Tier 3) or 1.4 nd up to whole by levels of of affordability	5 (Tier e numb y pleas
C.	affordability set by each categ	dicate t	[e = d > in RD Zones otal number of Units requ CD or HUD). For informa	(1.5 (Tier 1), d x 1.35 (Tier uested as well tion on HCD a of Los Angele	rs 1 as b and l es (H	and 2), 1.4 (roun breakdown b HUD levels	Tier 3) or 1.4 nd up to whole by levels of of affordability	5 (Tier e numb y pleas 3 or TCAC)
C.	affordability set by each categ contact the Housing and Com	dicate t	[e = d) in RD Zones otal number of Units requ CD or HUD). For informa Investment Department	(1.5 (Tier 1), d x 1.35 (Tier uested as well tion on HCD a of Los Angele	rs 1 as b and l es (H	and 2), 1.4 (roun preakdown b HUD levels (CIDLA) at (2 State) N/A	Tier 3) or 1.4 and up to whole by levels of of affordability 213) 808-884.	5 (Tier e numb y pleas 3 or TCAC) N/A
c.	affordability set by each categ contact the Housing and Com hcidla.lacity.org. ⁶ Market Rate Managers Unit(s) - Market Ra	dicate to	[e = d > in RD Zones otal number of Units requ CD or HUD). For information investment Department of the control of the contro	(1.5 (Tier 1), d x 1.35 (Tier uested as well tion on HCD a of Los Angele	rs 1 as b and l es (H	and 2), 1.4 (roun preakdown b HUD levels (CIDLA) at (2 State) N/A N/A	Tier 3) or 1.4 and up to whole by levels of of affordability 213) 808-884.	5 (Tier e numb y pleas 3 or TCAC)
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c.	affordability set by each categontact the Housing and Comhcidla.lacity.org. ⁶ Market Rate Managers Unit(s) - Market Rate Extremely Low Income Very Low Income Low Income	dicate to	[e = d > in RD Zones otal number of Units requ CD or HUD). For information investment Department of the control of the contro	(1.5 (Tier 1), d x 1.35 (Tier uested as well tion on HCD a of Los Angele	rs 1 as b and l es (H	and 2), 1.4 (roun preakdown b HUD levels (CIDLA) at (2 State) N/A N/A	Tier 3) or 1.4 and up to whole by levels of of affordability 213) 808-884.	5 (Tier e numb y pleas 3 or TCAC) N/A
c.	affordability set by each categontact the Housing and Comhcidla.lacity.org. ⁶ Market Rate Managers Unit(s) - Market Rate Extremely Low Income Very Low Income Low Income Moderate Income	dicate to discovery (History) (Histo	[e = d > in RD Zones otal number of Units requested on HUD). For information Investment Department Total 23 1 3	(1.5 (Tier 1), d x 1.35 (Tier 1), d x 1.35 (Tier 1), uested as well tition on HCD a of Los Angele	rs 1 as b and l es (H	and 2), 1.4 (roun preakdown b HUD levels (CIDLA) at (2 State) N/A N/A	Tier 3) or 1.4 and up to whole by levels of of affordability 213) 808-884.	5 (Tier e numb y pleas 3 or TCAC) N/A
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Ministerial Projects (aka, "By-Right") do not require any discretionary Planning approvals.
 HCD (State) = Published affordability levels per California Department of Housing and Community Development. HUD (TCAC) = Published affordability levels per the United States Department of Housing and Urban Development.

		VIO) - Z	victing unite = 16 unite			
NO, Site Plan Review is not required			xisting units = 16 units			
7 Exempt (please specify):	if Base Density	nt units minus exist	sting units is equal to or greater t			
= Exempt (picase specify)	, ii Dade Delicity	unito minuo exist	ang units is iess than 50			
NCENTIVES						
A. Base Incentives (Please check all ti	hat apply)					
(1) Floor Area Ratio ^a :	(1) Floor Area Ratio ⁸ :					
		FAR	(whichever is greater)			
Tier 1		40% or 2.75:1 in commercial zone				
Tier 2		45% or 3.25:1 in commercial zone				
Tier 3		50% or 3.75:1 in commercial zone				
Tier 4		55% or 4.25:1 in commercial zone				
RD Zones or Specific Plans/Overlay Districts that Regulate FAR		45%, unless Tier 1				
If Base FAR < 1.25:		2.75:1				
Greater Downtown Housing Inc	entive Area ⁹		40%			
Final Floor Area Ratio ¹⁰	Required (p 3:1	per LAMC)	Proposed (per TOC) 4.5:1			
(2) Parking Reductions Allowed						
	Minimum Parking Requirements					
	Charles and the control of the contr	lential	Ground Floor Commercial			
Tier 1	0.5 spaces p	per bedroom	10% Reduction			
Tier 2	1 space	per unit	20% Reduction			
Tier 3	0.5 space		30% Reduction			
Tier 4	No parking re	equirements	40% Reduction			
100% Affordable Housing	No parking requirements					
Total number of bedrooms Total number of residential units Non-residential Parking per code	11 2					
Final Residential Parking		rTOC	Proposed (per TOC)			
Final Non-Residential Parking 14 p)	0			

Site Plan Review may also be required if other characteristics of the project exceeds the thresholds listed in Sec. 16.05 of the LAMC.
 Refer to TOC Guidelines Section VI.1.b. for exceptions
 Calculated per LAMC 12.22 A.29(c)(1)
 Refer to TOC Guidelines Section VI.1.b. for exceptions

_	The second secon			1242	
	Qualification for	r Additional	Incontinge:	(Dinasa char	ak antu anal
ю.	Wualiilleanon iu	II MUUIHUHAI	micentives.	I FIGOSE CHEC	A CHILL OHE

Minimum Required Restricted Affordable Housing Units, calculated as a percentage of the base density allowed on the date of the application.

Incentives	% Extremely Low Income		% Very Low Income		% Low Income	
One		4%		5%		10%
Two		7%		10%		20%
Three	Ø	11%		15%		30%

C. Additional Incentives (Please check selected incentives as qualified according to Section 9B)

- 4	i la	Required (per LAN	(C) Proposed (per TOC)		
0	RAS 3 Yards (only f Front	for commercial zones – p	n Tiers 1 and 2; two yards count as 1 in Tiers 3 and 4) blease specify numbers below, but only check this box)		
0	Rear Side (1)	9'-0"	6'-4"		
	Side (2)				
			Side and Rear Yards		
	Tier	1	25%		
	Tier	2	30%		
	Tier	3	30% or depth of two yards		
	Tier	4	35% or depth of two yards		
W	hen Abutting R1 or Mo	ore Restrictive Zones	No Reductions Allowed		
	Lot Coverage Lot Width				
	Height/ # of Stories	45'	67'		
			Height		
	Tier	1	11 feet for one story		
	Tier	2	11 feet for one story		
	Tier	3	22 feet for two stories		
	Tier 4		33 feet for three stories		
	Lots with Height Limits of 45 feet or less		Second and third additional stories must be stepped-back at least 15 feet from any frontage		
Tran	nsitional Height (check o	one): 🗆 Per LAMC	☐ Per TOC Guidelines ¹¹ ☐ Not Applicable		
	Open Space	4,325 s.f.	3.244 s.f.		
	Density Calculation	4 to 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2			
1 (1)	(7) Averaging (all count as 1 incentive – mark as ma FAR		any as needed)		
	Density	ö			
	Parking				
	Open Space				
J (8)	Vehicular Access Public Facility Zone				
	# of Additional Incenti	ves Requested: 3			
	er Incentive Notes:				

¹¹ Please provide elevations that show the 45 degree angle as allowed by the TOC guidelines to determine the allowed height.

11. COVENANT:

All Transit Oriented Communities projects are required to prepare and record an Affordability Covenant to the satisfaction of the Los Angeles Housing and Community Investment Department's Occupancy Monitoring Unit before a building permit can be issued. Please contact the Housing and Community Investment Department of Los Angeles (HCIDLA) at (213) 808-8843 or hcidla.lacity.org

12. REPLACEMENT UNITS:

AB 2222, as amended by AB 2556, requires that density bonus eligible projects replace any pre-existing affordable housing units on the project site. Replacement units include the following: (Answer the following with "yes" if any of these items apply to what is currently existing on the site or "no" if they do not. Write in N/A if the item is not applicable to your project)

A. Units subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income? No

B. Units occupied by lower or very low income households below 80% AMI per California Department of Housing and Community Development Department levels not already listed above? No

C. Units subject to the Rent Stabilization Ordinance not already listed above? No

D. Units that have been vacated or demolished in the last 5 years? No

E. Per AB 2556, are the number of replacement units and number of bedrooms equivalent to that being demolished (as shown on Existing Development Table on page 2 above)? N/A

Disclaimer: This review is based on the information and plans provided by the applicant at the time of submittal of this form. Applicants are advised to verify any zoning issues such as height, parking, setback, and any other applicable zoning requirements with Building and Safety.



REFERRAL FORMS:

Preliminary Zoning Assessment

Referral between the Department of City Planning (DCP) and the Department of Building & Safety (DBS)

This form is to serve as an inter-agency referral for City Planning applications associated with Housing Development Projects consisting of residential-only development creating two or more dwelling units, Transitional Housing, Supportive Housing, or mixed-use development with at least two-thirds of the square footage dedicated to residential uses. This completed form shall be accompanied by plans signed by a DBS Plan Check engineer as part of a City Planning application.

INSTRUCTIONS: Preliminary Zoning Assessment Referrals

Appointments: Each involved agency may require appointments to complete individual portions of this referral form.
 Please inquire with individual agency staff to determine whether an appointment is required.

After receiving a completed Preliminary Zoning Assessment Referral Form, an appointment to file a City Planning application at the Development Services Centers is also required and must be made via the City Planning website: http://planning.lacity.org.

- 2. Review Materials: Review of the referral form by staff is intended to identify and determine compliance with City zoning and land use requirements necessary to achieve the proposed project. Materials submitted for Project Screening and the Preliminary Zoning Assessment must comply with the respective agency's criteria for submittal. Please consult the respective agency for specific submittal requirements.
 - a. <u>Project Screening</u>: Projects must be screened to determine whether a Preliminary Zoning Assessment is required. Screening will be conducted by City Planning staff prior to completion of a zoning Plan Check with the Department of Building & Safety. A site plan and floor plans are required to complete the screening.
 - b. <u>Preliminary Zoning Assessment</u>: Applicants will need to submit for zoning Plan Check with the Los Angeles Department of Building and Safety (LADBS) to ascertain if there are any zoning issues or necessary approvals associated with the project and site that should be resolved.

3. Contact Information:

DOWNTOWN OFFICES:	Department of Building and Safety, Metro Office 201 N. Figueroa St., 4th Floor Los Angeles, CA 90012 Phone: (213) 473-3231 Website: http://www.ladbs.org	Department of City Planning DSC Preliminary Application Review Program (PARP) Unit Figueroa Plaza 201 N. Figueroa St., 5th Floor Los Angeles, CA 90012 Email: planning.PARP@lacity.org
		Department of City Planning DSC Metro Counter Figueroa Plaza 201 N. Figueroa St., 4th Floor Los Angeles, CA 90012 http://planning.lacity.org
VALLEY OFFICES:	Department of Building and Safety, Van Nuys Office 6262 Van Nuys Blvd., Suite 251 Van Nuys, CA 91401	Department of City Planning DSC Valley Counter Marvin Braude Building 6262 Van Nuys Blvd., Suite 251 Van Nuys, CA 91401 Phone: (818) 374-5050
NEST LA OFFICES:	Department of Building and Safety, West Los Angeles Office 1828 Sawtelle Blvd. Los Angeles, CA 90025	Department of City Planning DSC West Los Angeles Counter 1828 Sawtelle Blvd., 2nd Floor West Los Angeles, CA 90025 Phone: (310) 231-2598

	ection I. Project Information - To be compl		t'			
1.	PROJECT LOCATION, ZONING & LAND USE.	JURISDICTION				
	Project Address: 2456 and 2460 S. Purdue Ave. Los	Angeles, CA 90064				-
	Project Name (if applicable):					-
	Assessor Parcel Number(s): 4260-038-030 and 42	60-038-029		D 0		
	Legal Description (Lot Block, Tract); Lots 29 and	30, Block 6 of 1R 584	2, Map Book 66	, Page 8		
	Community Plan: Palms - Mar Vista - Del Rey	Number of Pa	arcels: 2.00	Lot Area:	15,000.00	S.f.
	Current Zone(s) & Height District(s): R3-1	Land	Use Designation	on: Medium Reside	ntial	
	Alley in rear				Yes	S WINO
	Coastal Zone				Yes	PINO
	Downtown Design Guide Area				⊔Yes	E WINO
	Enterprise Zone				Yes	RINO
	Greater Downtown Housing Incentive Area				ures	FIIAO
	Hillside Area (Zoning)				Yes	MINO
	Site contains Historical features					S WINC
	Special Grading Area (BOE) Area					E MINO
	Very High Fire Hazard Severity Zone Area					s ⊡No
	Specific Plan: Exposition Corridor Transit Neigh	borhood Plan				
	☐ Historic Preservation Overlay Zone (HPOZ):					
	Redevelopment Project Area: N/A					
	Overlay Zone (CPIO/CDO/POD/NSO/RIO/CI	IGU/etc.): N/A				
	Q-condition/ D-limitation/ T-classification (ord	linance + subarea):	N/A			
	- A A A A A A A A A A A A A A A A A A A	manos onen co,				
	· · · · · · · · · · · · · · · · · ·					
	ZI ZI-2452 Transit Priority Area City of LA, ZI-242	7 Freeway Adjacent	Sensitive Uses	, ZI- Specific Plan		
		27 1 100 may majaretin				
	Affidavits N/A					
	Easements N/A	Hausing Carriage)	Tier 3			
	TOC Tier (must be verified by City Planning,	Housing Services)	1101 0			
2.	PROJECT DESCRIPTION					
2.	Project Description/Proposed Use Construct (N) 6	story 27 Unit Apartm	ent Building in T	OC Tier 3 using the	following	
	incontinger 1 Increase in Number of Dwelling Units, 2	 Parking Reductions 	to 0.5 Spaces p	er Unit, 3. FAH Incre	ease to 50%.	
	Additional Incentives: 1. Height - 22' Increase in Maxim	num Building Height,	2.Open Space -	25% Reduction, 3.	Setback - 30	%
	Increase in Front Yard and Side Yard Setback, count	s as one.				
		welling Units:	27	Floor Area: _	45,599.6	7
	Existing Use/No. of Units: 2 Single Family Homes	woming ormer				
	Permanent Supportive Housing (LAMC Sec. 14.	OO) D Ves P No	UDU (LAM	C Sec. 14.00) 🗆 Y	'es ☑ No	
	Permanent Supportive Housing (LAWIC Sec. 14.	00) = 103 = 110	000 (2			
3.	APPLICANT INFORMATION					
	Name: Daniel Pourbaba					_
	Phone: (323) 951-0242					-
	Email: daniel@properdevelopment.com					
A	REPRESENTATIVE INFORMATION					
4.	REPRESENTATIVE INFORMATION Name: Aaron Belliston - BMR Enterprises					

Email: aaron@bmrla.com

¹ All fields in this form must be completed. If an item is not applicable, write N/A.

Section II. Project Screening - To be completed by applicant and verified by DCP staff

If a project meets any one (1) of the following criteria, then the project is a Housing Development Project, and Section III is required and must be completed by LADBS staff. If none of the criteria below applies, then the project is not a Housing Development Project and does not require Section III of this form to be completed prior to filing a City Planning application.

Screening Criteria (To be Determin		Please Write: Yes or No
(a) The residential-only housing development project creates 2 ur		
(b) Mixed-use developments consisting of residential and nonre square footage designated for residential use.		Yes
(c) Transitional Housing		No
(d) Supportive Housing		No
NOTES:		No
DCP Staff Name and Title		
Maritza Lel, City Planning Associate	DCP Staff Signature Mautra Leel	Date 10 /21 / 2020

ltem No.	Zoning Standard	Proposed	Required/Allowed	Standard Met	Applicable Section No.1	Comment/ Description/ Factor/ Ratio
1	Use	Apartment/ Barage	Apartment/ Garage	ØYES □NO	12.104	□Conditional Use (LAMC Sec. 12.24) for

¹ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.
CP-4064 Preliminary Zoning Assessment Referral Form DCP & DBS (1/3/2020)
Page 3 of 9

tem No.	Zoning Standard	Proposed	Required/Allowed	Standard Met	Applicable Section No.	Comment/ Description/ Factor Ratio
2	Height	67'	67'	MYES	12.22A.31	□Transitional Height applies (12.21.1-A.10) □Commercial Corner Development/Mini- Shopping Center height applies (12.22-
	control de la co					A.23(a)(1))
3	No. of Stories	6	Not limited in stories	MYES INO IN/A	12.21.1 (if code prevails)	
4	Base FAR (Floor Area Ratio)	4.12:1	3:1	□YES □NO □N/A	12.21.14.1	
5	Bonus FAR (Floor Area Ratio)	4.12:1	4.5:1	MYES ONO ON/A	12.224.31	
6	RFAR (Residential Floor Area Ratio)			□YES □NO ☑N/A		

Item No.		Proposed	Required/Allowed	Standard Met	Applicable Section No.	Comment/ Description/ Factor/ Ratio
7	By-right Density	27 mits	19 mits	DYES NO DN/A	12.10 C.4	Density Factor: 1/800 Site Plan Review (16.05) / Major Project CUP (12.24-U.14)
8	Bonus Density	27 uuits	33 mits	MYES ONO ON/A	12.224.31	
9	Setback (Front)	10.5' (15.5'activ highway dedication)	Within 5 by Prevailing Setback (19,6)	MYES ONO	Specific Plan	Lot Line Location (Street): Lot Line Location (Street):
10	Setback (Side)		9'	□YES	12.10 C. 2	Offset/plane break met (if applicable)
11	Setback (Rear)		15'	□YES □NO □N/A	12.106.3	
2	Building Line			□YES □NO □N/A	Per Ordinance No.:	

tem No.	Zoning Standard	Proposed	Required/Allowed	Standard Met	Applicable Section No.	Comment/ Description/ Factor Ratio
13	Parking (automobile)	Residential: 45	Residential: 14	YES NO NA	W.22.4.31	Design standards met: □YES □NO
		Non-Residential:	Non-Residential:			
14	Parking (bicycle)	Long-term: 30	Long-term: 27	MYES □NO □N/A	12.21 A.16	Facility standards met: ☑YES ☐NO Location standards met:
		Short-term: 3	Short-term: 3	And the second s	And the state of t	MYES ONO
15	Open Space	Total (s.f.): 3, 37534		MYES □NO □N/A	12.21-G (if code prevails)	Units/Habitable Room <3: 6 =3: >3: 21
		Common (s.f.): 3,319 Private (s.f.):	Common: 1,49631 Private:		12. R.2. A. 31	Dimensions met: ☑YES □NO
16	Retaining Walls in Special	Max Height:	Max Height:	□YES □NO	12.21-C.8 (if code prevails)	
and an inches	Grading Areas	Max Quantity:	Max Quantity:	⊠N/A	pierano)	

Item No.		Proposed	Required/Allowed	Standard Met	Applicable Section No.	Comment/ Description/ Factor/ Ratio
17	Grading (Zoning & Planning limitations)			□YES □NO □N/A		
18	Lot Coverage	64.45%	80% max	TYES DNO DN/A	Specific Plan	
19	Lot Width	100	50′	MYES ONO ON/A	12.10C.4	
20	Space between Buildings			□YES □NO □N/A	12.21-C.2(a) (if code prevails)	
21	Passageway	18'	18'	☑YES □NO □N/A	12.21-C.2(b) (if code prevails)	
22	Location of Accessory Buildings			□YES □NO ☑N/A	12.21-C.5 (if code prevails)	
23	Loading Area			□YES □NO ☑N/A	***************************************	

tem No.	Zoning Standard	Proposed	Required/Allowed	Standard Met	Applicable Section No.	Comment/ Description/ Factor/ Ratio	
24	Trash & Recycling	6081	6081	MYES INO IN/A	12.21-4.19		
25	Commercial Corner Development/ Mini-Shopping Center			□YES □NO ☑N/A	12.22-A.23 (if code prevails)	□ Exempt	
26	Landscape	Conformance dete	ermined by Los Angeles C	City Planning			
27	Private Street	□YES □NO □N/A	□YES □NO □N/A	UYES UNO UN/A			
	Other (use additional See additional sheets, if applicable sheet(s) attached)					Additional Sheet(s) attached:	
NOTE	ES:						
DBS	Staff Name and Title	ual Engineel-Ass	DBS Staff Signal	ture		05/11/2021	

ADDITIONAL ZONING AND LAND USE STANDARDS REVIEWED - to be completed by DBS Staff

No.	Zoning Standard	Proposed	Required/Allowed	Standard Met	Standard Section No.	Comment/ Description/ Factor/ Ratio
				□YES □NO		
				□YES □NO		
				□YES □NO		
				□YES □NO		
				□YES □NO		
	niconing management			□YES □NO		





DATE: October 19, 2020

TO: Camden Holdings LLC, a California limited liability company, as to an undivided 85% interest,

JAM Capital Real Estate, LLC, a California limited liability company, as to an undivided 13.25% interest, and Daniel Pourbaba, a single man, as to an undivided 1.76%, as Tenants in Common,

Owner

FROM: Marites Cunanan, Senior Management Analyst II

Los Angeles Housing and Community Investment Department

SUBJECT: Housing Crisis Act of 2019 (SB 330)

(TOC) Replacement Unit Determination

RE: 2456 S. Purdue Ave., Los Angeles, CA 90064 2460 S. Purdue Ave., Los Angeles, CA 90064

Based on the Application for a Replacement Unit Determination (RUD) submitted by Aaron Belliston of BMR Enterprises (Owner Representative) on behalf of Camden Holdings LLC, a California limited liability company, as to an undivided 85% interest, JAM Capital Real Estate, LLC, a California limited liability company, as to an undivided 13.25% interest, and Daniel Pourbaba, a single man, as to an undivided 1.76%, as Tenants in Common (Owner), for the above referenced property located at 2456-2460 S. Purdue Ave., Los Angeles, CA 90064 (APNs: 4260-038-029, 4260-038-030) (Property) the Los Angeles Housing and Community Investment Department (HCIDLA) has determined that two (2) units (as detailed below) are subject to replacement pursuant to the requirements of the Housing Crisis Act of 2019 (SB 330).

PROJECT SITE REQUIREMENTS:

SB 330 prohibits the approval of any proposed housing development project on a site that will require the demolition of existing residential dwelling units or occupied or vacant "Protected Units" unless the proposed housing development project replaces those units as specified below. The replacement requirements below are applicable only to those proposed housing development projects that submit a complete application pursuant to California Government Code Section 65943 to the Department of City Planning on or after January 1, 2020.

Replacement of Existing Residential Dwelling Units.

The proposed housing development project shall provide at least as many residential dwelling units as the greatest number of residential dwelling units that existed on the project site within the past 5 years.

Replacement of Existing or Demolished Protected Units.

The proposed housing development project must also replace all existing or demolished "Protected Units." Protected Units are those residential dwelling units that are or were within the 5 years prior to the owner's application for a Replacement Unit Determination: (1) subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income, (2) subject to any form of rent or price control through a public entity's valid exercise of its police power within the 5 past years, (3) occupied by lower or very low income households (an affordable Protected Unit), or (4) that were withdrawn from rent or lease per the Ellis Act, within the past 10 years.

Whether a unit qualifies as an affordable Protected Unit, is primarily measured by the income level of the occupants (i.e. W-2 forms, tax return, pay stubs etc.). In the absence of occupant income documentation, affordability will default to the percentage of extremely low, very low, and low income renters in the jurisdiction as shown in the latest

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HUD Comprehensive Housing Affordability Strategy (CHAS) database, which is presently at 32% extremely low income, 19% very low income and 19% low income for Transit Oriented communities (TOC) projects and 51% very low income an 19% low income for Density Bonus projects. The remaining 30% of the units are presumed abovelow income and if subject to the Rent Stabilization Ordinance ("RSO"), must be replaced in accordance with the RSO. All replacement calculations resulting in fractional units shall be rounded up to the next whole number.

Relocation, Right of Return, Right to Remain for Occupants of Protected Units.

SB 330 also provides the right of first refusal for comparable units (i.e. same bedroom type) in the owner's proposed new housing development to occupants of Protected Units. Therefore, for occupied units, the replacement units must be of the same bedroom type of the units demolished. The comparable replacement units must be provided at a rent or sales price affordable to the same or lower income category. Occupants of Protected Units also are entitled to receive relocation to state or local law, whichever provides greater assistance and the right to remain in their unit until 6 months before the start of construction.

THE PROPOSED HOUSING DEVELOPMENT PROJECT:

Per the statement received by HCIDLA on June 10, 2020, the Owner plans to construct a twenty-seven (27) unit apartment on the Property pursuant to Transit Oriented Communities (TOC) Guidelines.

PROPERTY STATUS (AKA THE "PROJECT SITE"):

Owner submitted an Application for a RUD for the Property on June 10, 2020. In order to comply with the required **10** year look back period, HCIDLA collected and reviewed data from June 2010 to June 2020.

Review of Documents:

Pursuant to the Grant Deed, Owner acquired the Property on December 30, 2019.

Google Earth, Google Street View, and an internet search confirm that there are two single family dwellings on the Property.

Department of City Planning (ZIMAS), County Assessor Parcel Information (LUPAMS), DataTree database, Billing Information Management System (BIMS) database, and the Code, Compliance, and Rent Information System (CRIS) database indicate a use code of "0100-Single Family Dwelling" for 2456 S. Purdue Ave. The Rent Stabilization Ordinance (RSO) Unit confirms that the property is a single family dwelling not subject to the RSO.

Department of City Planning (ZIMAS), County Assessor Parcel Information (LUPAMS), DataTree database, Billing Information Management System (BIMS) database, and the Code, Compliance, and Rent Information System (CRIS) database indicate a use code of "0100-Single Family Dwelling" for 2460 S. Purdue Ave. The Rent Stabilization Ordinance (RSO) Unit confirms that the property is a single family dwelling not subject to the RSO.

The Los Angeles Department of Building and Safety database indicates that the Owner has applied for Demolition Permits # 20019-30000-02659 and 20019-30000-02662 (permits not issued yet), but has not applied for any Building Permit yet.

REPLACEMENT UNIT DETERMINATION:

The Existing Residential Dwelling Unit at the Property:

ADDRESS	BEDROOM TYPE	"PROTECTED?"	BASIS OF "PROTECTED" STATUS
2456 S. Purdue Ave.	2 Bedrooms	Yes	Affordable Protected Unit

Page 3

2460 S. Purdue Ave.	2 Bedrooms	Yes	Affordable Protected Unit
Totals: 2 Units	4 Bedrooms		

Pursuant to (SB 330), where incomes of existing or former tenants are unknown, the required percentage of affordability is determined by the percentage of extremely low, very low, and low income rents in the jurisdiction as shown in the HUD Comprehensive Housing Affordability Strategy (CHAS) database. At present, the CHAS database shows 32% Extremely Low (Below 31% Area Median Income [AMI]), 19% Very Low ([31% to 50% AMI]), and 19% Low ([51% to 80% AMI]) renter households for Los Angeles (for a total of 70%). The balance of these unit(s) (i.e. 30%) are presumed to have been occupied by persons and families above-lower income.

Number of Existing Resident Owner's application:	ial Dwelling Units and	Protected Units within five (5) years of	of 2	
Number of Protected Units Ell	ised within the last (10)	years:	0	
Number of Affordable Replacement Units required per CHAS:				
_	2 Units x 70%	2 Units		
	32% Extremely Low	1 Unit	2	
	19% Very Low	1 Unit		
	19% Low	0 Units		
Number of Unit(s) presumed t	o be above-lower income	subject to replacement:	0	

For Rental:

No income documents were provided for the two (2) residential unit(s). Pursuant to CHAS, two (2) unit(s) need to be replaced with equivalent type, with one (1) unit restricted to Extremely Low Income Households, and one (1) unit restricted to Very Low Income Households.

Per the Owner's statement, the property has two single family dwellings on the site, and were owner occupied at the time of purchase before becoming vacant. No response was received for the tenant income verification letters that were mailed to the properties addresses.

On October 16, 2020, a SoCal Gas representative verified that there has been no active customer for either addresses 2456 S. Purdue Ave. or 2460 S. Purdue Ave. since January 2020, and the service has been abandoned since. This indicates that the units were vacant at the time of application.

Please note that all the <u>new</u> units may be subject to RSO requirements unless the RSO is not applicable, or an RSO Exemption is filed and approved by the RSO Section. This determination is provisional and subject to verification by the RSO Section.

This RUD only applies if the proposed project is a rental TOC project and NOT condominiums. In the event the project changes to condominiums, the owner needs to request a RUD amendment to reflect 100% replacement of the units. In addition, if the project is changed from TOC to Density Bonus, a RUD amendment will also be required.

WARNING LOT TIES AND EXISTING PRE-1978 SINGLE FAMILY DWELLING ON ONE LOT

ISSUE:	Is a LOT TIE required for the NEW proposed housing development project?					
IF NO:	Owner's existing Rent Stabilization (RSO) replacement obligation, if any, remains the SAME as					
	above.					
IF YES:	Owner's existing RSO replacement obligation, if any, will INCREASE by one and the proposed					
IF YES:	Owner's existing RSO replacement obligation, if any, will INCREASE by one and the proposed housing development project will also be subject to the RSO, unless the existing single family					

NOTE: This determination is provisional and is subject to verification by HCIDLA's Rent Division.

SB 330 Determination: 2456-2460 S. Purdue Ave., Los Angeles, CA 90064 Page 4

If you have any questions about this RUD, please contact Doris Kwok at doris.kwok@lacity.org

cc: Los Angeles Housing and Community Investment Department File
Camden Holdings LLC, a California limited liability company, as to an undivided 85% interest,
JAM Capital Real Estate, LLC, a California limited liability company, as to an undivided 13.25%
interest, and Daniel Pourbaba, a single man, as to an undivided 1.76%, as Tenants in Common,
Owner
Planning.PARP@lacity.org, Department of City Planning

MAC:dk



*TENANT INFORMATION TABLE

ERIC GARCETTI, MAYOR RUSHMORE D. CERVANTES, GENERAL MANAGER

Project Address:	2456 - 2460 S. Purdue Ave.
, ,	Los Angeles, CA 90064

Owner Name: Daniel Pourbaba

Name(s) of *Tenant(s)	Unit Number	Rent Amount	Tenancy Dates	Contact Number	Contact Email Address	Bedroom Type
2456 S. Purdue Ave.	N/A	11/14	AIR	NIL	NIA	
2460 S. Purdue Ave.	N/A N/A	N/A	NA N/A	N/A N/A	N/A	
	Mit	10/14	10/14	19/1	N/AT	
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^{*}For single family dwellings (SFDs), information regarding the occupants of SFDs will also need to be provided.

Under the penalty of perjury, I certify that the information presented in this form is true and accurate to the best of my knowledge. Title 18, Section 1001 of the U.S. Code States that a person is guilty of felony for knowingly and willingly making false or fraudulent statements to any department of the United States Government.

Signature of Owner:	Date: _	6/3	120	
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PLANNING CASE REFERRAL FORM (PCRF)
City of Los Angeles, Bureau of Engineering (BOE) / Department of City Planning (DCP)

Reference Number: 202000318

Part I. To be Completed by	y Applicant	DCP Case Number	
Applicant	BMR Enterprises	Address	5250 Lankershim Blvd Suite 500 Los Angeles, CA 91601
Phone	3238394623	Email	Aaron@bmrla.com
Owner	Daniel Pourbaba	Address	8271 Melrose Ave. Ste 207 Los Angeles, CA 90046
Project Address	2456 and 2460 S. Purdue Ave.	APN	4260-038-030 and 4260-038-029
Engineering District	West LA		
	ZIMAS map with highlighted pa R 5842, Proposed 27 unit apa		1
Is there a tract or parcel ma	p being filed in conjunction wi	th this:	[]Yes [X]No
If yes,Tract Map No.		Parcel Map No.	
_	been prepared and submitted act or Parcel map conditions,		[]Yes [X]No
Is any part of this project on	a corner lot?		[] Yes [X] No

Engineering Case Referral Form(PCRF)
Rev. 7/22/2010 H: Private Development / Written Procedures

Reference Number: 202000318

	Neierence Number. 2020003
Part II. To be Completed by BOE Staff	
What is/are the street classification(s) for the adjacent streets (list all)? Purdue Ave - Standard Local Street	
Does the project front an intersection of two major or secondary highways?	[]Yes [X]No
If yes, additional dedication may be required for dual left-turn pockets. If no, how far is major/secondary intersection? Additional dedication may be required if within the stan and improvements are to be consistent with Standard Street Dimensions. See Standard Street Dimensions.	dard flare section. Dedication
Apparent width of existing half right of way (street centerline to property line):	Purdue Ave - 25 ft
Standard dimension for half right of way (from S-470-1), (street centerline to property line):	Purdue Ave - 30-ft ft
Apparent width of existing half roadway (street centerline to curb face):	Purdue Ave - 14.55-ft ft
Standard street dimension for half roadway (street centerline to curb face):	Purdue Ave - 18-ft ft
Is the lot connected to the sewer?	[X]Yes []No
Distance from subject lot to nearest main line sewer	ft
Is the subject lot(s) within the hillside ordinance boundary?	[]Yes [X]No
Preliminary Required Improvements:	
Planning Case Referral Form Recommendation:	
Dedication Required:	[X]Yes []No
Street Widening Required:	[X]Yes []No
Other Improvements Required:	[X]Yes []No
If yes, please list preliminary required improvements:	Dedicate 5- ft along the property street frontage to complete the 30-ft half Purdue Ave right-of-way. Widen and improve the existing 14.55-ft half roadway to 18-ft along property frontage with construction of new asphalt pavement, new integral concrete curb and 2-ft gutte and full width concrete sidewalk (ADA) to abut the new property line. Close all unused driveways (with full width sidewalk, new integral concrete curb and 2-ft gutter). All non-standard improvements and encroachments located in the public right-of-way must be removed or permitted under a Revocable permit.

Engineering Case Referral Form(PCRF) Rev. 7/22/2010 H: Private Development / Written Procedures Install street trees to the satisfaction of the Urban

Forestry Division of the Bureau of Street Services. Install street lights as required by the Bureau of Street Lighting. All improvements shall be to the satisfaction of the City Engineer. This planning case referral form is only a preliminary recommendation by Bureau of Engineering and is not to be used as official requirements of Bureau of Engineering.

Reference Number: 202000318

NOTE: The information on this PCRF is only a "preliminary recommendation" by BOE, which provides the applicant with a general understanding of what <u>may</u> be required by BOE. If the PCRF Recommendations for Dedication or Street Widening is marked "Yes", a formal investigation and engineering report will be required. The engineering report will be provided after submittal of all documentation and payment of fees. Measurements and statements contained herein may be adjusted in the engineering report.

Street Trees: If the PCRF Recommendation for Street Widening is marked "Yes", Street tree removals may be required. All street tree removals must be approved by the Board of Public Works. Applicant shall contact the Urban Forestry Division at (213) 847-3077 before proceeding with the Master Land Use Application.

In all cases, the Applicant will be required to close any unused driveways; remove and reconstruct broken, off-grade, or bad order concrete curb, gutter, driveways or sidewalk,; and install/replace public improvements, such as driveway aprons and access ramps, to meet ADA requirements.

Applicants with PCRF Recommendation of "Yes" for Dedication or Street Widening are advised to submit the following documents and pay the BOE investigation fee.

1. BOE investigation fee.

Prepared by: Nikta Mousavi

- 2. Two (2) copies of the Planning Master Land Use Application.
- 3. Two (2) copies of the project site plan.
- 4. Two (2) copies of the radius map.
- 5. Picture of the existing building, sidewalk, curb, and gutter.

Due to the possible implications that dedications and improvements may have on the development of a project, applicants that do not pay the BOE investigation fee for the preparation of a detailed engineering report may have their application placed on hold until such information is provided. Questions and concerns regarding the engineering report may be presented at the hearing.

Date: 06/19/2020

Engineering Case Referral Form(PCRF)
Rev. 7/22/2010 H: Private Development / Written Procedures



REFERRAL FORMS:

GEOGRAPHIC PROJECT PLANNING REFERRAL

APPLICABILITY: This form, completed and signed by appropriate Planning Staff, <u>must</u> accompany any application submitted to the Department of City Planning regarding any of the following proposed project types:

- Specific Plan area
- Community Design Overlays (CDO)
- Neighborhood Oriented District (NOD)
- Sign District (SN)
- Zone Change

- Design Review Board (DRB)
- Pedestrian Oriented District (POD)
- Community Plan Implementation Ordinance (CPIO)
- Public Benefit Alternative Compliance
- Zone Variance

NOTE: The Department of City Planning reserves the right to require an updated form for the project if more than 180 days have transpired since the date of the Project Planning Signature, or as necessary, to reflect project modifications, policy changes and/or amendments to the LAMC, local laws, and State laws.

PROJECT SUMMARY

1.	. Subject Property Address:						
2.	 Community Plan Area Name: a. Specific Plan Name, DRB, CDO, POD, NOD, CPIO, or SN, including subarea if applicable: (If this Density bonus, Small Lot Subdivision or Zone Variance case, please write in the application type). 						
3.	Project Type (check al	l that apply)					
	☐ New construction☐ Change of Use	☐ Addition ☐ Grading	☐ Renovation☐ Density Bonus	☐ Sign ☐ Small Lot Subdivision			
	☐ Other (describe)						
	If Change of Use, what is: Existing Use? Proposed Use?						
	Description of proposed	project:					
	Ite	ems 4-7 to be com	oleted by Department of	City Planning Staff Only			
4.	AUTHORIZATION TO F	ILE (check all the	at apply)				
	Specific Plan/SN E	xpo TNP					
	 □ Project Permit ○ Minor (3 signs or less OR change of use) ○ Standard (Remodel or renovation in which additions are no greater than 200 sq. ft. more than 3 signs, wireless equipment ○ Major (All other projects, e.g. new buildings, remodels that include an addition of more than 200 sq. ft. □ Modification 			oment	nt on		

	Design Review Board N/A		
	☐ Preliminary Review ☐ Final Review		
	CDO/POD/NOD N/A		
	☐ Discretionary Action		☐ Sign-off only
	 Minor (3 signs or less OR change of use) Standard (Remodel or renovation in which ad greater than 200 sq. ft. more than 3 signs, wire Major (All other projects, e.g. new buildings, reinclude an addition of more than 200 sq. ft. 	eless equipment	☐ Not a Project
	Community Plan Implementation Overlay (CPIO)	N/A	
	☐ Administrative Clearance (Multiple Approvals) ☐ Potentially Historic Resource	CPIO Adjustment (CPIOA)	☐ CPIO Exception (CPIOE)
	Affordable Housing TOC with Additional Incentives	S	
	☐ Density Bonus☐ Affordable Housing Referral Form○ Off-menu incentives requested	☐ Conditional ☐ Public Bene	
	Small Lot Subdivision N/A		
	☐ Consultation completed		
	Streetscape Plan N/A		
		· N/A under Streetscape Plan	:
5.	ENVIRONMENTAL CLEARANCE	·	(Insert Streetscape Plan Area)
	□ Not Determined		
	☐ Categorical Exemption ☐	Environmental Assessment	Form (EAF)
	☐ Class 32 Categorical Exemption ☐ Existing ENV Case Number:	Other Entitlements needed	
	☐ ENV Addendum Case Number:		
6.	PUBLIC NOTICING N/A No Hearing		
	☐ Standard (BTC to mail hearing notice) ☐ Special (At time of filing applicant must pay BTC to r ☐ Abutting owners ☐ Abutting occupants	nail determination letters only	()
7.	NOTES		
	Project Planning Signature: Dulou Sittion	Phone Number: 242 070	
	i year saag	213-976	-1197
P	rint Name Dylan Sittig	Date July 6, 2020	

INSTRUCTIONS: Project Planning Referrals

- 1. Appointments A <u>pre-filing appointment</u> with the assigned planner is required to complete this referral form. City Planning's current Assignment List can be found on our website at http://planning.lacity.org under the "About" tab. [After the form is completed an <u>appointment to file</u> your application at the Development Services Centers is also required and must be made via the City Planning website.]
- 2. Review Materials Review of the application by assigned staff is intended to identify the level of review required for the project and to provide the Applicant with early notification of any issues with regard to requested actions or the adequacy of application exhibits/materials which could subsequently delay processing.
 - **a.** Provide the assigned planner with a copy of this form with items in the Project Summary section completed.
 - **b.** Provide a complete copy of all application materials as specified in the Master Filing Instructions (e.g. completed DCP Application, plot plans, photographs, etc.).
 - **c.** Provide the Specialized Requirements/Findings or Instructions pertinent to your project (e.g. Specific Plan filing instructions, DRB filing instructions, Tentative Tract filing instructions, etc.).
- 3. Other Applicable Approvals Applicants are strongly advised to obtain a pre-plan check consultation with the Los Angeles Department of Building and Safety (LADBS) to ascertain if there are any other issues or necessary approvals associated with the project/site which should be resolved prior to filing. The design of the proposed project may require alterations in order to comply with the Los Angeles Municipal Code.

City of Los Angeles Department of City Planning WEBSITE: http://planning.lacity.org

DOWNTOWN OFFICES:	Central Project Planning Offices Los Angeles City Hall 200 N. Spring Street, Room 621 Los Angeles, CA	West/South/Harbor Project Planning Offices Los Angeles City Hall 200 N. Spring Street, Room 720 Los Angeles, CA	DSC Metro Counter Figueroa Plaza, 4 th Floor 221 N. Figueroa St. Los Angeles, CA	
VALLEY OFFICES:	Valley Project Planning Offices Marvin Braude Building 6262 Van Nuys Blvd., Suite 430 Van Nuys, CA		DSC Valley Counter Marvin Braude Building 6262 Van Nuys Blvd., Suite 251 Van Nuys, CA	
WEST LA OFFICE:			DSC West Los Angeles Counter 1828 Sawtelle Blvd., 2nd Floor West Los Angeles, CA 90025	

EXHIBIT G

Public Comments

- G1 –James Bennet
- G2 Robert and Agnes Adler
- G3 Matt Went
- G4 West Los Angeles Sawtelle Neighborhood Council



Proposed Apts 2456 Purdue ave

1 message

James Bennett <jimmyb865@gmail.com>

Sun, Sep 19, 2021 at 3:37 PM

To: dylan.sittig@lacity.org, len.nguyen@lacity.org, jayr@westlasawtelle.org, Arianne Garcia <arianne.garcia@lacity.org>, Hannah Levien <Hannah.Levien@lacity.org>

I am writing to everyone involved that are block/neighborhood has been through two major construction jobs in the past two years. And yes it has taken almost that long.

I have been living on Purdue since 2010 and have family friends in the area for 30 years.

I am not opposed to upgrades but what we have been through are many disturbances.

Multiple street shut downs.(40 ft lowbed trailers and tractors)

Multiple temporary "no parking" signs and cones. (On Purdue as well as Pearl)

Many early morning(before 7am) start ups.

Saturday construction and more street shut downs on weekends.

Our street(Purdue) is NOT a wide WestLa street. As a matter of fact when construction is on going there is not enough room for the Fire Dept (14 foot) to get by at times.

We typically have first come first serve street parking.

Is this going to be an issue and are the planners addressing this?

Explain what is going to be done for parking and as well to reduce or eliminate street closures.

J Bennett



Fwd: 2456 Purdue Ave. comments

2 messages

A. Adler <agiadler@gmail.com>
To: "dylan.sittig@lacity.org" <dylan.sittig@lacity.org>

Wed, Sep 22, 2021 at 9:36 PM

We are the owners of 2450 Purdue avenue, an 8 unit building.... Right next door (north) to this proposed building.

I was very concerned about the incentives for increased units that included reduced parking and setbacks. This block is notorious for extremely limited street parking already. This 27 unit building will clearly add so many more tenants and VISITORS that I think the necessary parking spots must be INCREASED to alleviate adding to the parking dilemma for the rest of the neighborhood, NOT DECREASED! Please reconsider.... Or help us figure out how to allow more parking for the existing buildings. Perhaps there is a need to reevaluate the limited parking on exposition Blvd. HELP!! I feel so sorry for my current tenants who are always scrambling for spots... even blocks away!

The setback is also a concern. My building is just 2 stories. I understand the building will be 6 stories and that can't be resolved, but wouldn't the standard setback be a bit more fair way to give my tenants a bit of air and sunshine? Seems pretty thoughtless to give a new property benefits that override the rights of existing tenants and property owners! If the benefits are given because of the 2 affordable housing units, I have 5 units that are currently way under market value... therefore are affordable. Do I get any benefit for that??

Please help the existing Purdue community with this parking issue. It's become so challenging. This building will surely exacerbate the problem. Thanks for your consideration.

Robert and Agnes Adler

Dylan Sittig <dylan.sittig@lacity.org>
To: "A. Adler" <agiadler@gmail.com>

Mon, Sep 27, 2021 at 11:06 AM

Hello,

Thank you for your comment. It has been received and will be added to the case file.

I will add you as an interested party in this case so that you are made aware of major milestones.

Sincerely, Dylan

[Quoted text hidden]



DIR-2021-5596-TOC-HCA: 2456 Purdue - public comment

Jay Ross <ross_jay@hotmail.com>
To: Dylan Sittig <dylan.sittig@lacity.org>

Thu, Nov 18, 2021 at 4:13 PM

To Planning Dept.

See a ached public comment at the WLASNC mee ng last night.

From: Matt Went <matthewwent@gmail.com>

Date: November 17, 2021 at 1:42:03 PM PST

As a resident of the 2400 block of Purdue, we would like to voice our strong opposition to a new construction of 2456 Purdue. We can point you across the street to all the issues our neighborhood experienced the last 1-2 years from the construction of 2465 Purdue building. That construction has finally ended, but it will only continue in our neighborhood with this new building. These constructions just push people out of our neighborhood and create problems. When will our neighborhood have peace?! Please note this does not even include the recent condo/townhome construction on Pearl Street or the upcoming construction on the Fantasy Island lot - both of which have or will drastically increase density in this area.

All our concerns about the 2456 Purdue building, which we brought forward at our city council meeting, ended up becoming our reality. Here's a small list of complaints that have not been addressed with the 2456 Purdue building owner, 311, or 911.

- Trucks blocking the whole street for significant amounts of time, so we can't drive on our street
- Trucks and workers ruining our sidewalks and private property oil slicks, cracks, general destruction
- · Workers trashing our neighborhood garbage, food, nails, materials, etc left all over our yards
- · Didn't follow city guidelines to install sewer unit, which ended up in more construction and delays
- Building violations ie. working on Sunday and starting construction before permitted hours
- New building alarm going off all weekend (twice now) without anyone coming by shutting it off
- Neighborhood parking is already a nightmare and it will now be worse than ever workers take all
 parking spaces and the fact that the buildings themselves have far fewer parking spots than units is
 only making the problem worse. No one takes the train these buildings need to have at least two
 spaces per unit.
 - Construction workers for 2465 Purdue couldn't even find parking, so they started parking illegally on 2456 Purdue's property or they would move the LA city parking signs around at their convenience to save parking for them
 - The 2465 Purdue building would leave the dumpster on our street to save spot or block a spot
- Landscape destroyed beautiful trees that have been here for at least 40-50 years and one of the
 last fully-mature pine trees on the block will be destroyed. The lots at 2456 have been abandoned so
 long they are practically a nature preserve and this development will kill or displace all the animals
 that live there

Further, these buildings aren't helping anyone but developers. They are driving up rents, ruining sightlines and sunlight access, destroying trees and natural landscape, and making parking all but impossible. Plus they are not doing anything to help house the homeless. Please help us understand how 6 "affordable units" will address the homeless situation in LA. We would understand if the whole building was for the homeless, but 6 units with an estimated 50,000 homeless in LA - let's do the math, 6 divided by 50,000 equals .00012%. It looks to us a convenient statement for the developers to say, 6 "affordable units" for them to build huge complexes to get disgusting profits. Not to mention, in our neighborhood alone, we have homeless living in 15 tents or more, so 6 units wouldn't even help our neighborhood. We give these developers an inch, they are taking our whole neighborhood!

Finally, when we went to the council meetings in regards to 2465 Purdue back in 2019, we were told the TOC rules only allowed a max of 5 stories for our neighborhood, so we would like to know how they are

WLASNC Board FY 2020-2021

Jamie Keeton - Chair/ Organizational Rep. Ron Migdal - Vice Chair/ At Large Rep. Jay Handal - Treasurer/ Business Rep. Jay Ross- Secretary/ Organizational Rep.

Farzad Hassani - North West Rep. Mollie Rudnick - North East Rep. Arman Ghorbani - South East Rep. vacant- South West Rep. Galen Pindell - At Large Rep. Ehsan Zahedani - At Large Rep. Jean Shigematsu - At Large Rep. Teri Temme - At Large Rep. Pierre Tecon - At Large Rep. Danilo Torro - Business Rep. Diedra Greenaway- Business Rep.



1645 Corinth Ave. Los Angeles Calif. 90025 (310) 235-2070

E Mail: Info@WLANC.COM www.WestLASawtelle.org

Planning Dept.

Re: Resolution: 2456 S. Purdue Ave. apartments – Opposition to project DIR-2021-5596-TOC-HCA. ENV-2021-5597-EAF.

To the City,

At the Nov. 17, 2021, meeting of the West Los Angeles Sawtelle N.C., the Board of Directors voted 9-0-2, to oppose the project as designed, and authorize the Chair to submit Community Impact Statements in the future.

Facts and background:

- 1. The large units (5-bedrooms) may house numerous unrelated people with their own numerous vehicles -- not families with a limited number of vehicles.
- 2. Parking is ~1.0 spaces per bedroom, and includes tandem spaces that must be for the same unit and cannot be dispersed among other units.
- 3. Bicycle parking is 30 spaces for 27 units, ~1.0 per unit (including the 5-bedroom units).
- 4. 6 incentives are requested (reduced setbacks, reduced open space, extra height, reduced parking).

Findings and justifications:

- 1. The TOC location justifies more bicycle parking.
- 2. The large number of incentives justifies that the developer agree to design revisions that the NC requested:
 - a. EV chargers shall be install in 10% of spaces, and stubbed for 25% of spaces.
 - b. The 5th and 6th stories shall have 10 ft. stepbacks in the rear (total of 25 ft from rear property line).
 - c. 1 street lamp shall be installed.
 - d. 4 x 36-inch box trees shall be planted in dirt (not planters).
 - e. If parking permits are enacted for the block, this project's residents shall be prohibited from receiving them.

Ex parte communications: None disclosed by any committee members.

<u>Disclosures and conflicts of interest</u>: None disclosed by any committee members.

<u>To government agencies</u>: Only the Chair and designated Boardmembers may testify to public agencies on behalf of the West L.A. Sawtelle NC. The Board requests that the Council Office and private/non-profit entities do not testify or speculate on behalf of the NC.

/s/ Jamie L. Keeton

Jamie L. Keeton, Chair WLASNC

cc: Len Nguyen, Council District #11 (Len.Nguyen@LACity.org)

considering a 6 story building? Our neighborhood had nothing over 4 stories which includes parking on the first story until these ridiculous TOC rules. This is becoming very frustrating! It seems like these developers can do whatever they like and we pay the price! When will the residents have a voice and say?

Let me know if I am contacting the wrong person and/or who I should conta	itact.
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Thank you,

Matthew W.

EXHIBIT H

Citywide Design Guideline Compliance Review Form



SPECIAL REQUIREMENTS

CITYWIDE DESIGN GUIDELINES

Compliance Review Form

AUTHORIZING PROVISION: The Los Angeles City Planning Commission adopted the *Citywide Design Guidelines* on October 24, 2019.

PURPOSE: The Citywide Design Guidelines are intended among other things to communicate the City's design expectations, facilitate fair and consistent application of design objectives and to encourage the development of projects appropriate to the context of the City's climate and urban environment.

General Information

With the exception of residential projects with four or less units, projects utilizing the PSH ordinance, or projects utilizing an applicable State streamlining measure (SB 35, SB 2162), all projects that are either constructing a new main building or pursuing a vesting tract map shall complete this Citywide Design Guidelines Compliance Form CP-4056 and submit it as part of the project application.

Project I	Information
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Case Number:	Site Address: 2456 - 2460 S. Purdue Ave.
Project Request:Demolish 2 (E) SFDs, construct (N) 6 story 27 Unit Apartment Building in TOC Tier 3 using base
incentives: 1. Increase in number of dwelling units, 2	2. Parking Reductions to 0.5 Spaces per Unit.
3. FAR increase to 50% and Add'l Incentives: 1. He	ight - 22' Increase in maximum building height.
2. Open Space - 25% Reduction,	, 3. Setback - 30% Reduction in Side Yard Setback.

Instructions

Please provide a short paragraph describing how, and to what extent, the project has complied with each of the ten *Citywide Design Guidelines*. Indicate how the project achieves the intent of the Guidelines and provide information as to the appropriate sheet number(s) on which information can be found illustrating alignment with each Guideline. If a particular guideline is not applicable please indicate this in the appropriate box. Example language is provided on the *Sample Citywide Design Guidelines Compliance Form*, CP-4057.

PEDESTRIAN-FIRST DESIGN

Guideline 1: Promote a safe, comfortable and accessible pedestrian experience for all.
This project it set back more than fifteen feet from the property line, allowing more than enough space for planters and pedestrian
access. An eighteen foot wide set of steps at the center is provided
at the front of the building, which is surrounded by landscaping to
promote a welcoming entry.
Guideline 2: Carefully incorporate vehicular access such that it does not degrade the pedestrian experience.
Vehicular access for this project is at one end of the property,
separate from the main pedestrian access. With the parking ramp
also more than fifteen feet from the property line, there is enough
buffer space between exiting vehicles for when pedestrians are
present.

Guideline 3: Design projects to actively engage with streets and public space and maintain human scale.
The project provides a lot of planters at the front with wide entries
into the building. With the entry gate and fence being a transparent
perforated metal panel, the building will be secure and welcoming
as it won't look completely closed off from the public.
as it won't look completely closed on from the public.
360 DEGREE DESIGN
Guideline 4: Organize and shape projects to recognize and respect surrounding context.
The project uses materials such as wood and stucco, which is
relevant to its surrounding neighbors. Without colors that clash with
neighboring buildings, the neutral and warm color palette of the
project fits well within the neighborhood.
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Guideline 5: Express a clear and coherent architectural idea.

This project allows residents and guests to experience the building
with pleasure at the exterior and the interior. The building is
exposed to a lot of light through many and large windows. The
chamfered walls at the front facade, allows various shadows giving
depth and animation to the building's face. The intent of the
building design is to be fun and welcoming.
Guideline 6: Provide amenities that support community building and provide an inviting, comfortable user experience.
This project provides many amenities including a gym, large rec
room, open breezy courtyard, a spacious roof deck and another
open space in the rear of the building. Each populated with
landscaping, residents and guests will be able to spend time at all
places for many various activities.

Guideline 7: Carefully arrange design elements and uses to protect site users.
By using landscaping as a buffer between the outside of the
building to the windows into the units at the ground level, residents
will be able to get privacy and feel safe. Security gates will also
allow residents to feel safe within the property.
CLIMATE-ADAPTED DESIGN
Guideline 8: Protect the site's unique natural resources and features.
With the site located in West Los Angeles, the building is provided
with many outdoor spaces for residents to be able to enjoy the sun
and cool breeze that the site has.

Guideline 9: Configure the site layout, building massing and orientation to lower energy demand and increase the comfort and well-being of users. This project is provided with many outdoor spaces for residents to be able to enjoy the sun and cool breeze that the site has. The building's roof deck is at its southwest elevation, allowing plenty of sunlight during the day, in hopes the residents will be able to save energy on heating. The project's courtyard will get plenty of breeze from the ocean and will promote natural cooling through cross ventilation. Guideline 10: Enhance green features to increase opportunities to capture stormwater and promote habitat. The project is surrounded by landscaping, including LID planters that will have various drought resistant plants that catch the stormwater from the roof through downspouts.



Department of City Planning

City Hall, 200 N. Spring Street, Room 525, Los Angeles, CA 90012

October 31, 2022

TO: City Planning Commission

FROM: Norali Martinez, City Planning Associate

TECHNICAL MODIFICATION TO THE STAFF RECOMMENDATION REPORT FOR CASE NO. DIR-2021-5596-TOC-HCA-1A; 2456-2460 South Purdue Avenue

The following typographical modifications are to be incorporated into the staff recommendation report to be considered at the City Planning Commission (CPC) meeting of November 3, 2022, related to Item No. 6 on the meeting agenda.

One of the typographical errors to be corrected is found on the cover sheet of the staff report and the headers of every page.

The requested change includes the following revised case number:

• Case No.: DIR-2021-5596-TOC-HCA-1A

The second typographical error to be corrected is found on pages 6 and 10 of the staff report.

The requested change includes the revised stories in height description:

Multifamily dwellings ranging from one to five stories in height

These recommended modifications do not change the project as discussed in the Recommendation Report.