NESSEE

Case No. APCW-2022-1156-SPE-HCA, ADM-2022-5099-SLD-HCA

SOILS REPORT APPROVAL LETTER

SPECS / RESEARCH REPORTS

SPECS / RESEARCH REPORTS

SPECS / RESEARCH REPORTS SPECS / RESEARCH REPORTS

ARCHITECTURAL

COVER

GENERAL NOTES GENERAL NOTES

GREEN FORMS

DOOR SCHEDULE

WINDOW SCHEDULE

GENERAL DETAILS

GENERAL DETAILS

EXTERIOR DETAILS

EXTERIOR DETAILS

WINDOW DETAILS WINDOW DETAILS

DOOR DETAILS

DOOR DETAILS

SF BREAKDOWNS

BUILDING MATERIALS

EXISTING SITE SURVEY

ROOF DRAINAGE PLAN

GROUND FLOOR PLAN

EAST & WEST ELEVATION

NORTH ELEVATION COLOR

SOUTH ELEVATION COLOR

EAST & WEST ELEVATION COLOR

2ND FLOOR PLAN

3RD FLOOR PLAN

SOUTH ELEVATION

NORTH ELEVATION

ROOF PLAN

SECTIONS

SECTIONS

SECTIONS

SECTIONS

DETAILS

DETAILS

WALL DETAILS

WALL DETAILS

FLOOR DETAILS GARAGE GATE DETAILS

BASEMENT RCP

1ST FLOOR RCP

2ND FLOOR RCF

ROOF DECK RCP

STAIR DETAILS

LANDSCAPE PLAN

LANDSCAPE PLAN

RENDERS

RENDERS

RENDERS

LIGHTING SCHEDULI

VERTICAL CIRCULATION - UNIT A

VERTICAL CIRCULATION - UNIT B

VERTICAL CIRCULATION - UNIT C

VERTICAL CIRCULATION - UNIT D

TITLE 24

TITLE 24

SITE PLAN

F.A.R

A0.00

A0.01

A0.02

A0.03

A0.04

A0.05

A0.06

A0.07

A0.08

A0.09

A0.10

A0.11

A0.12

A0.13

A0.14

A0.15

A0.16

A0.17

A0.18

A0.21

A0.22

A0.23

A0.24

A0.25

A0.29

A1.00

A1.10

A2.10

A2.20

A2.30

A2.40 A3.10

A3.11

A3.20

A3.30

A3.31

A3.50 A4.10

A4.20

A4.30

A4.50

A6.10

A6.20

A6.30

A6.40

A6.50

A7 10

A7.20

A7.30

A7.40

A8.10

A8.20

A8.30

A8.40

A8.80

A9.10

A9.20

A9.30

L1.10

L1.20

Toilet Paper Dispen Top of Steel

Top of Wall

A6.10b



OWNER

ADDRESS:

TENNESSEE PLACE LLC 11835 TENNESSEE PL. LOS ANGELES, 90064 PHONE # 310-233-3700

STRUCTURAL ENGINEER

NAMF: ADDRESS:

LOT A

LOT C

F.A.R. BUILDABLE AREA:

TOTAL ALLOWED:

BUILDABLE AREA:

TOTAL ALLOWED:

1615 GRAMERCY AVE TORRANCE CA 90501 PHONE #:

858 SF

472 SF

1.416 SF

2,574 SF

ARCHITECT

BREAKFORM DESIGN 127 ARENA STREET ADDRESS: EL SEGUNDO, CA 90245 PHONE #: 310-233-3700

LAND SURVEYOR

ANDY ALEXANDER & ASSOC NAME ADDRESS:

PACIFIC LAND CONSULTANTS INC 28441 HIGHRIDGE RD. SUITE 230 ROLLING HILLS ESTATE, CA 90274

SPECIFIC PLAN EXCEPTION

F.A.R. / ALLOWED (SEE PAGE A0.24)

BUILDABLE AREA:

TOTAL ALLOWED:

BUILDABLE AREA:

TOTAL ALLOWED:

LOT D

LOT A

LOT AREA: 2.043 SF GROUND FLOOR: 734 SF --COVERED: SECOND FLOOR: 539 SF 1,136 SF --COVERED 15 SF THIRD FLOOR: 610 SF -COVERED 315 SE TOTAL: 3.349 SF

SQUARE FOOTAGE BY CODE: 3.349 SF ZONING: BLIII DING: 3 435 SE SCHOOL FEE: 2,979 SF

LOT B

LOT AREA GROUND FLOOR: 565 SF --COVERED: SECOND FLOOR: 960 SF -COVERED 15 SE THIRD FLOOR: 610 SF --COVERED: 241 SF TOTAL: 2.835 SF

ZONING: 2.835 SF BUILDING: 2,921 SF SCHOOL FEE: 2,619 SF (SEE PAGE A0.23)

LOT C

TOTAL:

(SEE PAGE A0.23)

LOT AREA: 1,521 SF GROUND FLOOR: -COVERED SECOND FLOOR: --COVERED: THIRD FLOOR: --COVERED:

SQUARE FOOTAGE BY CODE: ZONING: BUILDING: 3 064 SF

LOT D

LOT AREA: 2,445 SF FIRST FLOOR: -COVERED 936 SE SECOND FLOOR: --COVERED: 0 SF THIRD FLOOR: 545 SF --COVERED: TOTAL: 3,152 SF

SQUARE FOOTAGE BY CODE: ZONING: BUILDING: 3 218 SF SCHOOL FEE: (SEE PAGE A0.23)

1 444 SF 444 SF

SQUARE FOOTAGE BY CODE:

2,988 SF

620 SF 519 SF 0 SF 276 SF

SCHOOL FEE: 2,691 SF (SEE PAGE A0.23)

610 SF 1,830 SF

390 SF

F.A.R. / PROVIDED (SEE PAGE A0.24)

LOT A F.A.R. BUILDABLE AREA: 3:1 1,410 SF TOTAL ALLOWED: 4,230 SF LOT C BUILDABLE AREA:

1,152 SF TOTAL ALLOWED: 3.456 SF

3:1 1,142 SF BUILDABLE AREA: TOTAL ALLOWED: 3,426 SF LOT D BUILDABLE AREA:

1,390 SF TOTAL ALLOWED: 4.170 SF

CODE



BUILDING CODE:

2020 LABC, (TITLE 24, PART 2.5) BASED ON THE 2018 IRC (INCLUDES ACCESSIBILITY)

2020 LABC, VOL 2 (TITLE 24, PART 2, VOL 2) BASED ON THE 2018 IBC WITH ASCE 7-16

2019 CA MECHANICAL CODE, (TITLE 24, PART 4) BASED ON THE 2018 UNIFORM MECHANICAL CODE

2019 CA PLUMBING CODE (TITLE 24, PART 5) BASED ON THE 2018 UNIFORM PLUMBING CODE 2019 CA ELECTRICAL CODE (TITLE 24 PART 3)

Galvinized Grab Bar

Glass, Glazing Ground Grade Gypsum

Hollow Core Handicapped Hardware

Horizontal Hour Height Heating, Ventila and Air Conditio Hot Water

KIT

2019 CA ENERGY CODE (TITLE 24, PART 6) 2020 L.A. CITY GREEN BUILDING CODE

H H.B. H.C. HCP HDWR

HDWD H.M. HORIZ HR HT HVAC

H.W.

PROJECT INFORMATION

- FOUR NEW SINGLE FAMILY DWELLINGS, AS PART OF SMALL LOT

PROJECT ADDRESS: 11835 TENNESSEE PL, LOS ANGELES, CA 90064 7.461.8 SF

ASSESSOR'S PARCEL #: 4259037003 TRACT TR 11968 BLOCK NONE

PROJECT SUMMARY:

LOT AREA:

LOT: 7. VAC ORD 140880

ARB #: NONE R3(EC) ZC HEIGHT ALLOWED: HEIGHT PROPOSED: 45' - 0"

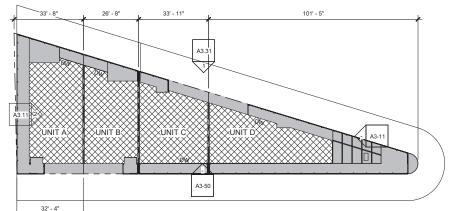
PARKING REQ.: PARKING PROVIDED: 8 (4 - STANDARD / 4 - COMPACT)

VERY HIGH FIRE HAZARD NO SEVERITY ZONE:

FIRE DISTRICT NO. 1:

FIRE SPRINKLER: NFPA-13D REQ'D (PERMIT TO BE SECURED PRIOR TO INSTALLTION)

NUMBER OF STORIES: THREE (3)



LOT COVERAGE BREAKDOWN					DENSITY CALC	
	BUILE	DING COVERAGE	LOT SIZE	LOT COVERAGE	7.461.8 SF	
LOT A	=	1,265 SF	2,043 SF	61.91 %	/ <u>1200</u> SF (R3)	
LOT B	=	1,086 SF	1,452 SF	74.79 %	, ,	
LOT C	=	1,139 SF	1,521 SF	74.88 %	6.21 UNITS	
LOT D	=	1,200 SF	2,445 SF	49.07 %		
					PER SPECIFIC PLAN	
BLDG TOTAL	=	4 690 SF	7 461 SF	62 28 %		

Quarry Tile

D1.00 DEMO SITE PLAN



ABREVIATIONS & SYMBOLS

Kitcher

Kitchen	NO	Number	
	NOM	Nominal	Q.T.
Laminate	N.S.	No Scale	
Lavatory	N.T.S.	Not to Scale	R
Lineal Foot			RAD
Left Hand	O/	Over	R.D.
Locker	OA	Overall	REF
Living Room	OBSC	Obscure	REFR
Light	O.C.	On Center	REIN
Louver	O.D.	Outside Diameter	REQ
	O.F.D.	Overflow Drain	RESII
Material	OFF	Office	REV
Maximum	O.H.	Overhang	RFG
Machine Ball	OVHD	Overhead	R.H.
Mechanical	OPNG	Opening	RM
Membrane	OPP	Opposite	R.O.
Metal			RWD

ale		
Scale	R	R
	RAD	R
	R.D.	R
III	REF	R
ıre	REFR	R
enter	REINF	R
de Diameter	REQ	R
low Drain	RESIL	R
	REV	R
ang	RFG	R
iead	R.H.	R
ing	RM	R
site	R.O.	R
	RWD	R
er Drain	s	s
	S.C.	s
rty Line	SCHED	s

equired esilient evised oofing ight Hand

SLDG SPEC SQ S.S. SSK STD STL STOR STRUCT SUSP SW SYM SYS

Thick, Thicknes

VERT VEST V.I.F. VOL

T.P.D. T.S. TV T.O.W. TYP

Vestibule Verifiy in Field

BUILDING ELEVATION BASEMENT DATUM

(1)

S



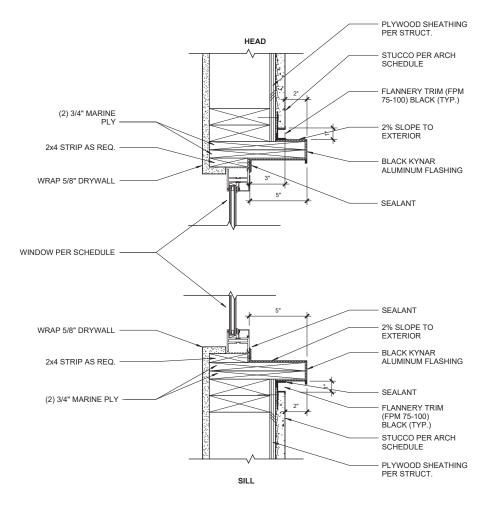
E SEI S, TENNESS ANGELES 90064 1835 T 교

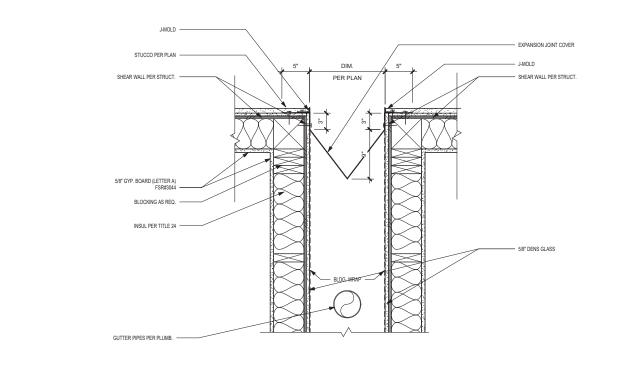
REVISIONS

COVER

PNI 10/19/202: 12:03:50 PM 3/64" = 1'-0

WINDOWS AND DOORS VISIBLE FROM THE STREET SHALL BE RECESSED AT LEAST 3 INCHES FROM THE BUILDING FACADE;
THIS RECESS SHALL NOT BE ACCOMPLISHED BY THE USE OF PLANT-ON MOLDINGS AROUND THE WINDOW OR DOOR. FLUSH FINISH WINDOW INSTALLATIONS ARE ONLY PERMITTED WHEN A GLASS CURTAIN WALL, SPANDREL GLASS, OR OTHER SIMILAR DESIGN APPROACH IS USED





BLOCKING AS REQ.

5/8" GYP. BOARD (LETTER A

SHEAR WALL PER STRUCT.

INSUL. PER TITLE 24

breakformdesig

UNIT WALL CONNECTION DETAIL 1 1/2" = 1'-0"

BLOCKING AS REQ.

JOIST PER STRUCT.

TYVEK BUILDING WRAP

Case No. APCW-2022-1156-SPE-HCA, ADM-2022-5099-SLD-HCA

EXPANSION JOINT COVER MODEL #SRJ-1400 W/ FB

PER PLAN.

11835 TENNESSEE PL, LOS ANGELES, CA 90064

EXTERIOR DETAILS

DRAWN Author CHECKED Checker

DATE 10/19/2022 12:03:52 PM SCALE As indicated

JOB# 21-A014

A0.14

Typ. Window Section 3" = 1'-0"

UNIT ROOF CONNECTION DETAIL 1 1/2" = 1'-0"

11835 TENNESSEE PL, LOS ANGELES, CA 90064

SF

DRAWN Author

ZONING CODE - 1ST FLOOR 1" = 20'-0"

734 SF 1ST FLOOR 539 SF --COVERED 1,136 SF 2ND FLOOR 15 SF --COVERED

BLDG CODE - 1ST FLOOR 1" = 20'-0"

BLDG CODE - 3RD FLOOR 1" = 20'-0"

-539 SF COVERED AREA

2

SCHOOL FEE - 3RD FLOOR 1" = 20'-0"

SCHOOL FEE - 2ND FLOOR 1" = 20'-0"

5

SCHOOL FEE - 1ST FLOOR 1" = 20'-0"

790 SF 1,106 SF 2ND FLOOR 3RD FLOOR 2,678 SF TOTAL 2,619 SF TOTAL

1ST FLOOR
--COVERED
2ND FLOOR
--COVERED
3RD FLOOR
--COVERED 651 SF 444 SF 960 SF 960 SF 961 SF 961 SF 962 SF 963 SF 964 SF 965 SF 965 SF 966 SF 967 SF 967 SF 968 SF 96 687 SF 519 SF --COVERED 945 SF 0 SF --COVERED 619 SF 276 SF --COVERED

-276 SF COVERED AREA

-241 SF COVERED AREA

BLDG CODE - 2ND FLOOR 1" = 20'-0" 6

8

-539 SF COVERED AREA

-519 SF COVERED AREA

-276 SF COVERED AREA

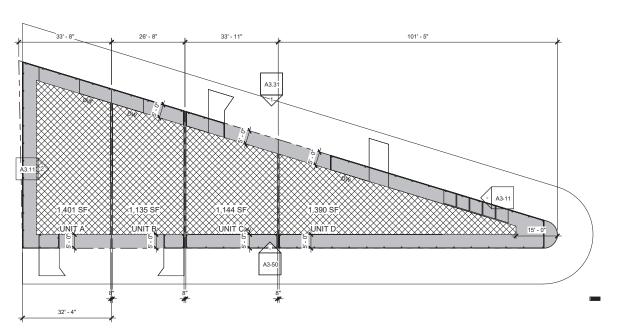
-241 SF COVERED AREA

ZONING CODE - 2ND FLOOR 1" = 20'-0"

Case No. APCW-2022-1156-SPE-HCA, ADM-2022-5099-SLD-HCA

BREAKDOWNS

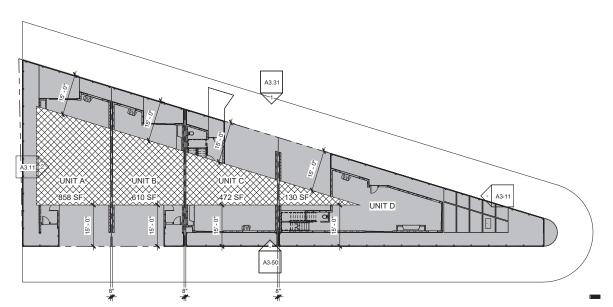
CHECKED Checker DATE 10/19/2022 12:03:55 PM SCALE 1" = 20'-0" JOB# 21-A014



F.A.R. / PROVIDED

F.A.R PROVIDED AFTER REDUCTION 1/16" = 1'-0"

LOT A
F.A.R.
BUILDABLE AREA:
TOTAL ALLOWED:
LOT C
F.A.R
BUILDABLE AREA:
TOTAL ALLOWED: LOT B
F.A.R
BUILDABLE AREA:
TOTAL ALLOWED:
LOT D
F.A.R
BUILDABLE AREA:
TOTAL ALLOWED: 3:1 1,401 SF **4,230 SF** 3:1 1,152 SF **3,456 SF** 3:1 1,390 SF **4,170 SF**



3:1 610 SF **1,830 SF**

3:1 130 SF **390 SF**

F.A.R. / ALLOWED

3:1 858 SF **2,574 SF**

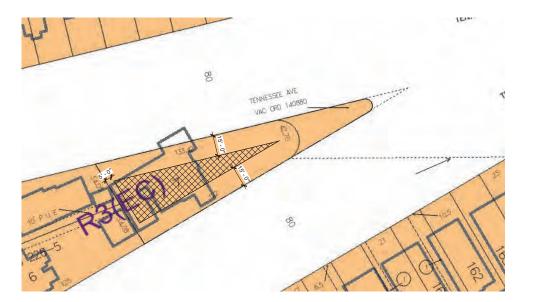
3:1 472 SF **1,416 SF**

LOT B
F.A.R
BUILDABLE AREA:
TOTAL ALLOWED:
LOT D
F.A.R
BUILDABLE AREA:
TOTAL ALLOWED:

LOT A
F.A.R.
BUILDABLE AREA:
TOTAL ALLOWED:
LOT C
F.A.R
BUILDABLE AREA:
TOTAL ALLOWED:

F.A.R ALLOWED BEFORE REDUCTION 1/16" = 1'-0"





F.A.R 1/32" = 1'-0"



Case No. APCW-2022-1156-SPE-HCA, ADM-2022-5099-SLD-HCA



F.A.R (AERIAL) 1/32" = 1'-0"

4



11835 TENNESSEE PL, LOS ANGELES, CA 90064

ISIONS			

DRAWN Author CHECKED Checker DATE 10/19/2022 12:03:57 PM SCALE As indicated

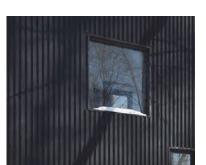
F.A.R

A0.24

JOB # 21-A014



BLACK METAL FLASHING



1X2 CEDAR STRIPS (BLACK STAIN)



BOARD FORMED CONCRETE VENEERS



NATURAL T&G CEDAR CLEAR A GRADE COLOR SORTED (LIGHT)



DECORATIVE FENCING





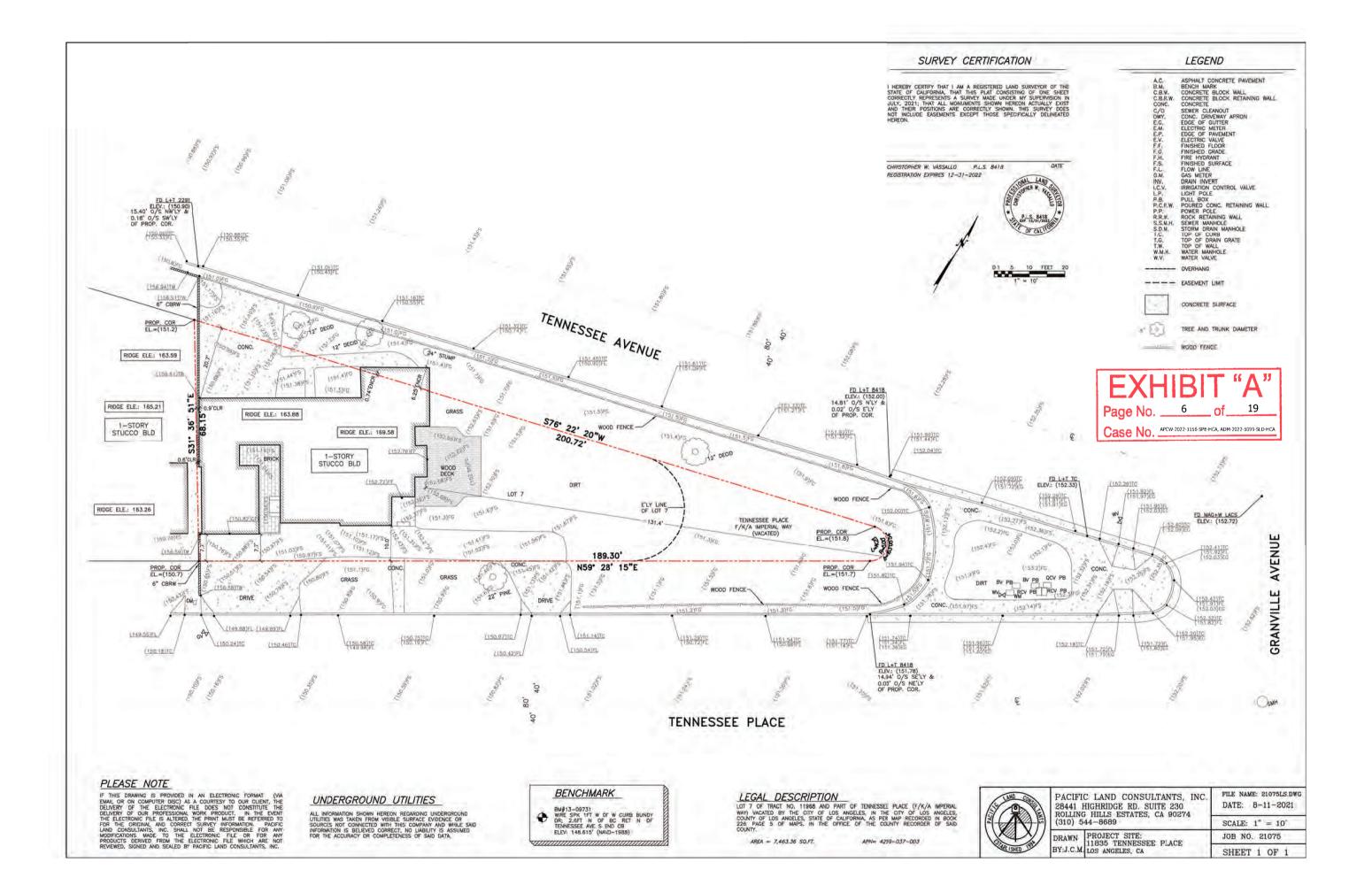
RAMSEY DAHAM
No. C-34257
Q
REMINISE DATE
REMINISTER
REMINISTE

11835 TENNESSEE PL, LOS ANGELES, CA 90064

REVISIONS

BUILDING
MATERIALS

RAWN	Autnor
IECKED) Checker
ATE	10/19/2022
	12:03:57 PM
ALE	
n #	24 4044



101' - 4"

33' - 11"

TENNESSEE PL

FLOOR PLAN LEGEND FLOOR TYPE ---- 1 HR (SD) SMOKE DETECTOR (CM) CARBON MONOXIDE EXHAUST (GENERAL NOTES #2,3) (x)WINDOW TAG

(XXX) DOOR TAG

◈— WALL TYPE X'-X" ELEVATION MARKER

- - - PROPERTY LINE → — → — ACCESSIBLE ROUTE

- - - - SEWER LINE

breakfo 10/31/23 RENEWAL DATE TE OF CALIFORN

S

0

11835 TENNESSEE PL, LOS ANGELES, CA 90064

REVISIONS

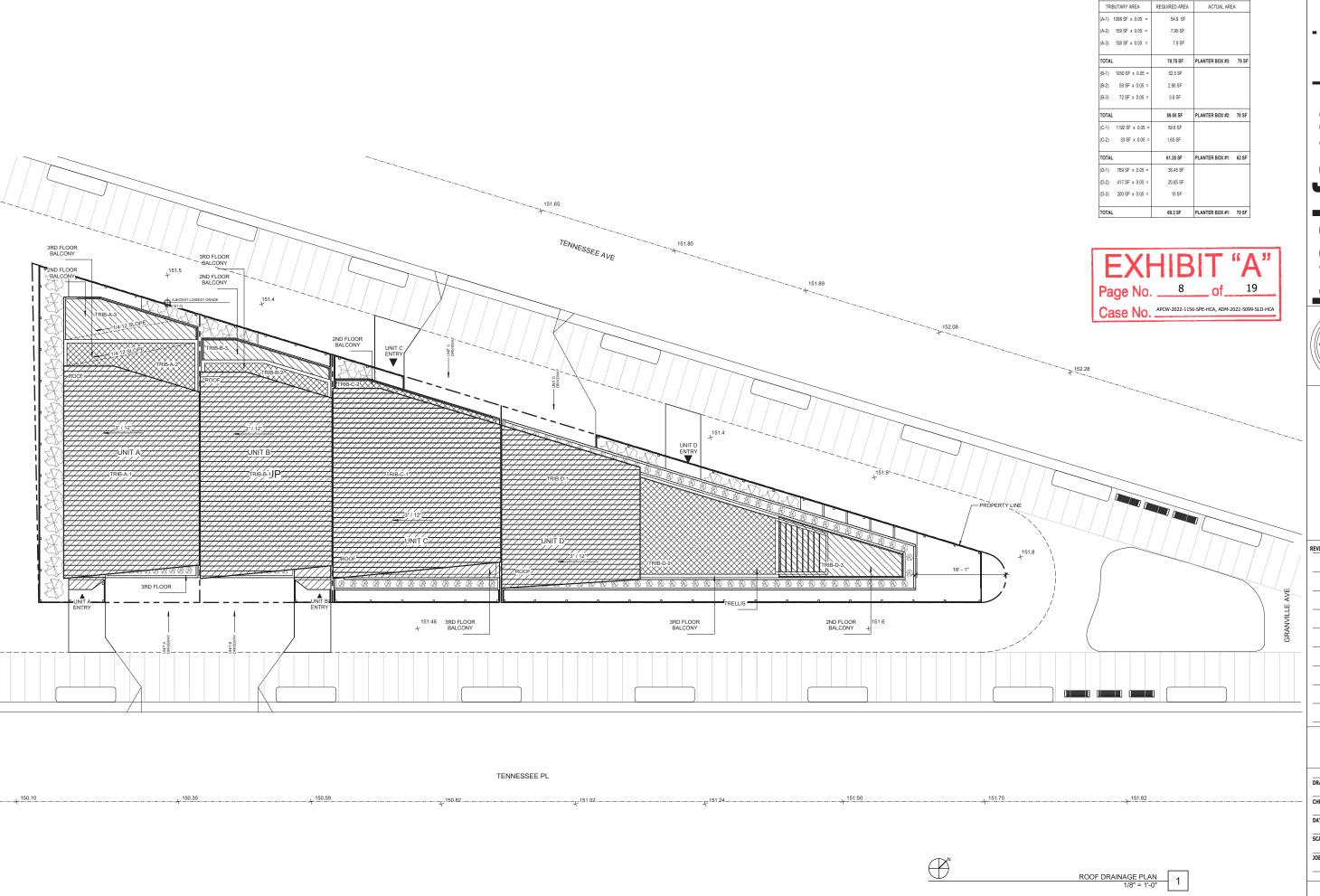
SITE PLAN

DRAWN NH CHECKED PNK

DATE 10/19/2022 12:04:03 PM

SCALE As indicated JOB# 21-A014

A1.00



breakform design

PLANTER BOX SIZING

PAMETY DAPAM A 10/31/23 RESERVE DATE OF CALLFORD

11835 TENNESSEE PL, LOS ANGELES, CA 90064

SIONS

POOE

ROOF DRAINAGE PLAN

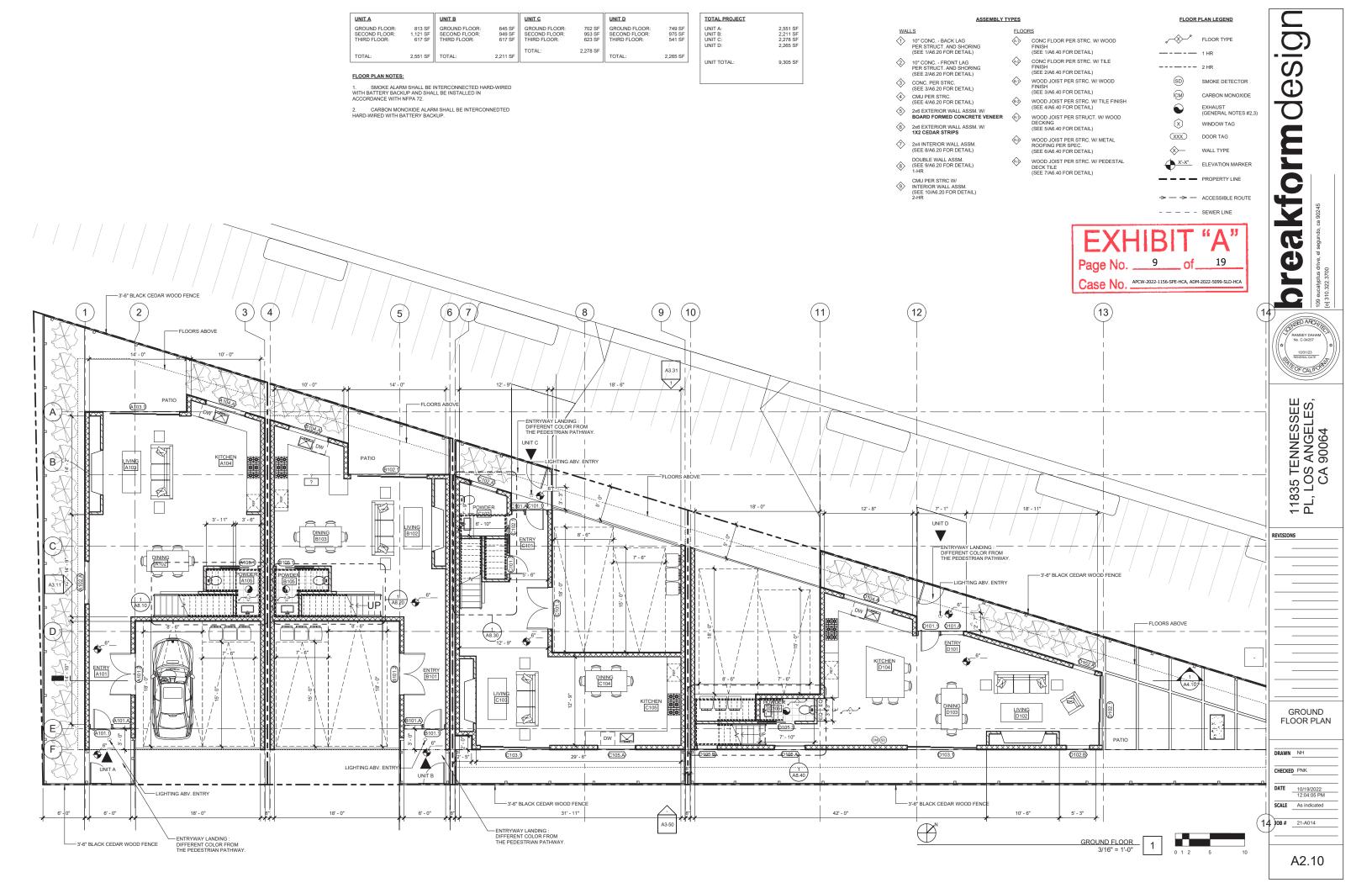
CHECKED Checker

DATE 10/19/2022 12:04:04 PM

SCALE 1/8" = 1'-0"

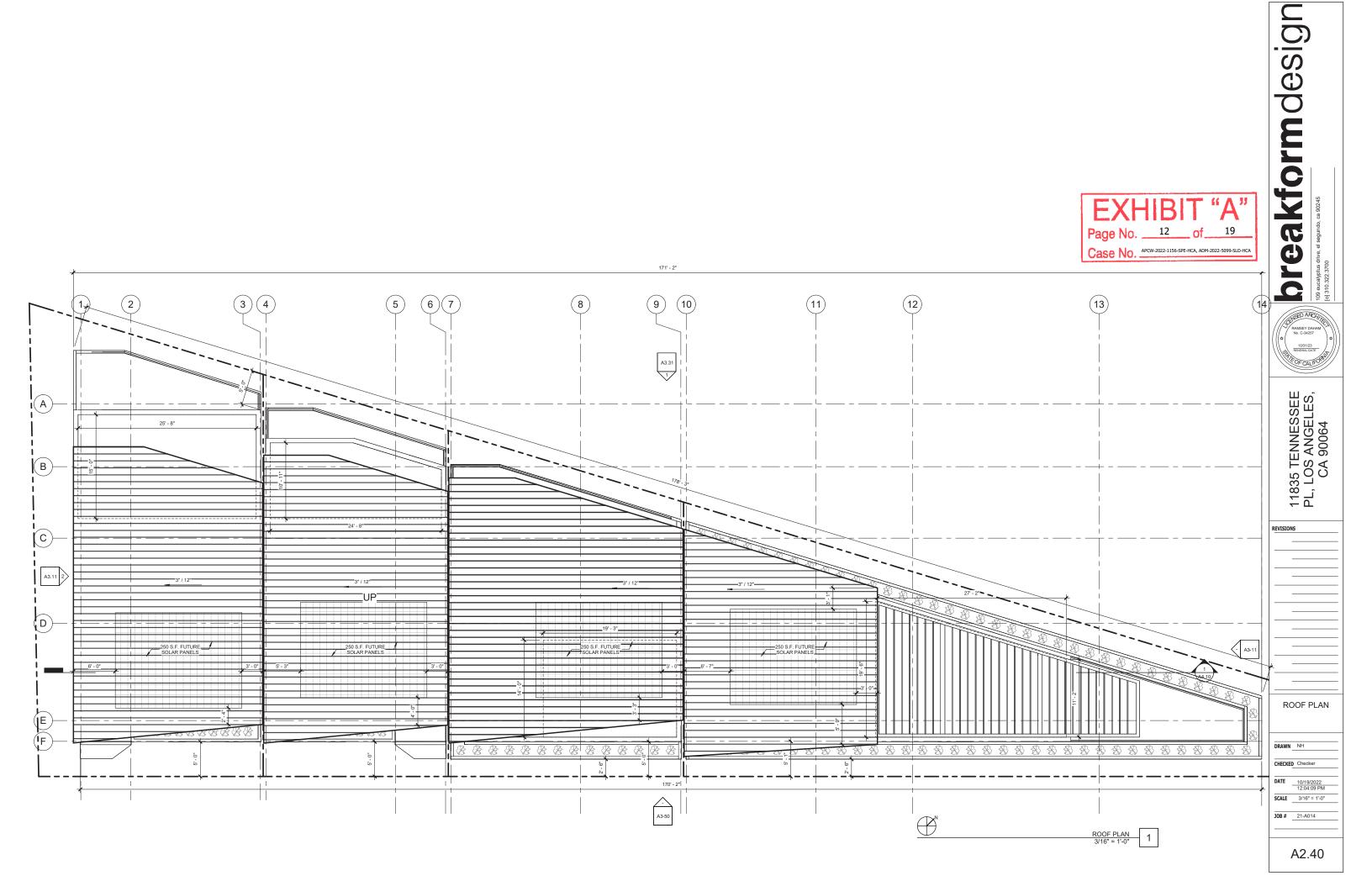
JOB # 21-A014

A1.10



10'-5" 14'-10"	UNIT A GROUND FLOOR: 813 SF SECOND FLOOR: 1,121 SF THIRD FLOOR: 617 SF TOTAL: 2,551 SF TOTAL: 2,551 SF ELOOR PLAN NOTES: 1. SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NEPA 72. 2. CARBON MONOXIDE ALARM SHALL BE INTERCONNEDTED HARD-WIRED WITH BATTERY BACKUP.	702 SF 953 SF SECOND FLOOR: 975 SF 623 SF THIRD FLOOR: 541 SF TOTAL: 2,265 SF	TOTAL PROJECT	WALLS ↑ 10° CONC BACK LAG PER STRUCT. AND SHORING (SEE 1/A6.20 FOR DETAIL) ↑ 10° CONC FRONT LAG PER STRUCT. AND SHORING (SEE 2/A6.20 FOR DETAIL) ↑ CONC. PER STRC. (SEE 3/A6.20 FOR DETAIL) ↑ CMU PER STRC. (SEE 4/A6.20 FOR DETAIL) ↑ 2x6 EXTERIOR WALL ASSM. W/ BOARD FORMED CONCRETE VENEE ↑ 2x6 EXTERIOR WALL ASSM. W/ 112 CEDAR STRIPS ↑ 2x4 INTERIOR WALL ASSM. (SEE 8/A6.20 FOR DETAIL) DOUBLE WALL ASSM. (SEE 8/A6.20 FOR DETAIL) CMU PER STRC W/ (SEE 8/A6.20 FOR DETAIL) CMU PER STRC W/ (SEE 8/A6.20 FOR DETAIL) 1-HR ↑ CMU PER STRC W/ (SIE 8/A6.20 FOR DETAIL) 1-HR ↑ CMU PER STRC W/ (SIE 8/A6.20 FOR DETAIL) 2-HR	ELOORS CONC FLOOR PER STRC. W/WOOD FINISH (SEE 1/A6 40 FOR DETAIL) CONC FLOOR PER STRC. W/ TILE FINISH (SEE 2/A6.40 FOR DETAIL) WOOD JOIST PER STRC. W/ WOOD FINISH (SEE 3/A6 40 FOR DETAIL) WOOD JOIST PER STRC. W/ TILE FINISH (SEE 4/A6.40 FOR DETAIL) WOOD JOIST PER STRC. W/ TILE FINISH (SEE 5/A6 40 FOR DETAIL) WOOD JOIST PER STRC. W/ METAL ROOPING PER SPEC. (SEE 6/A6 40 FOR DETAIL) WOOD JOIST PER STRC. W/ PEDESTAL DECK TILE (SEE 7/A6.40 FOR DETAIL) WOOD JOIST PER STRC. W/ PEDESTAL DECK TILE (SEE 7/A6.40 FOR DETAIL)	FLOOR PLAN LEGEND FLOOR TYPE 1 HR 1 HR CARBON MONOXIDE EXHAUST (GENERAL NOTES #2,3) WINDOW TAG WALL TYPE WALL TYPE XXX DOOR TAG WALL TYPE TO ACCESSIBLE ROUTE PROPERTY LINE ACCESSIBLE ROUTE SEWER LINE 10 of 19 PCW-2022-1156-SPE-HCA, ADM-2022-5099-SLD-HCA
1 2 3 4 13'-0" 13'-0" 13'-0" 13'-0" 13'-0" 13'-0" 13'-0" 13'-0" 13'-0" 13'-0" 13'-0" 13'-0" 13'-0"	5 6 7 11'-3' 6'-9'. 14'-1' SB MASTER BATHROOM E2021 13'-3' AAAAAAAAAAAAAAAAAAAAAAAAAAAAAAAAA	8 9 A3.31 1	11'-0"	11)	13	11835 TENNESSEE PL, LOS ANGELES, CA 90064
A3.11 2 BATHROOM A3.11 2 BATH	MASTER BEDROOM BEDROOM SS S S S S S S S S S S S S S S S S S		BEDROOM D207 BATHROOM D208 BAT	8 BEDROOM (204) BEDROOM (204) BEDROOM (204) BEDROOM (204) BEDROOM (204)	MASTER BEBROOM [2202] BALCON [2209]	REVISIONS A3-11 A4-10 AND FLOOR
E 205 A 205 A 205 A 5 12' - 3"			22011 22011 286' - 11"	 		PLAN PLAN PRAWN NH CHECKED PNK DATE 10/19/2022 12:04:08 PM SCALE As indicated 14 JOB # 21-A014 A2.20

SECOND FLOOR: 1,12' THIRD FLOOR: 617 TOTAL: 2,55' FLOOR PLAN NOTES: 1. SMOKE ALARM SHAL WITH BATTERY BACKUP AND ACCORDANCE WITH NFPA 7.	17 SF THRD FLOOR: 617 SF THRD FLOOR: 623 SF TOTAL: 2,278 SF TOTAL: 2,278 SF TOTAL: 2,265 SF TOTAL: 9,305 SF TO	WALLS ↑ 10° CONC BACK LAG PER STRUCT. AND SHORING (SEE 1/18.20 FOR DETAIL) ↑ 10° CONC FRONT LAG PEN STRUCT AND SHORING (SEE 2/18.20 FOR DETAIL) ↑ 10° CONC FRONT LAG PEN STRUCT AND SHORING (SEE 2/18.20 FOR DETAIL) ↑ 10° CONC FRONT LAG PEN STRUCT AND SHORING (SEE 2/18.20 FOR DETAIL) ↑ 11 HR ○ CONC FLOOR PER STRC. W/TILE FINISH (SEE 2/18.40 FOR DETAIL) ↑ 11 HR ○ CONC FLOOR PER STRC. W/TILE FINISH (SEE 2/18.40 FOR DETAIL) ↑ 11 HR ○ CONC FLOOR PER STRC. W/TILE FINISH (SEE 2/18.40 FOR DETAIL) ↑ 11 HR ○ CONC FLOOR PER STRC. W/TILE FINISH (SEE 3/18.40 FOR DETAIL) ↑ 11 HR ○ CONC FLOOR PER STRC. W/TILE FINISH (SEE 3/18.40 FOR DETAIL) ↑ 11 HR ○ CONC FLOOR PER STRC. W/TILE FINISH (SEE 3/18.40 FOR DETAIL) ↑ 11 HR ○ CONC FLOOR PER STRC. W/TILE FINISH (SEE 3/18.40 FOR DETAIL) ↑ 11 HR ○ CONC FLOOR PER STRC. W/TILE FINISH (SEE 3/18.40 FOR DETAIL) ↑ 11 HR ○ CONC FLOOR PER STRC. W/TILE FINISH (SEE 3/18.40 FOR DETAIL) ↑ 11 HR ○ CONC FLOOR PER STRC. W/TILE FINISH (SEE 3/18.40 FOR DETAIL) ↑ 11 HR ○ CONC FLOOR PER STRC. W/TILE FINISH (SEE 3/18.40 FOR DETAIL) ↑ 11 HR ○ CONC FLOOR PER STRC. W/TILE FINISH (SEE 3/18.40 FOR DETAIL) ↑ 11 HR ○ CABBON MONOXIDE EXHAUST (GENERAL NOTES #2.3) ▼ WINDOW TAG ▼ WALL TYPE ▼ WALL TYPE ▼ WOOD JOIST PER STRC. W/TILE FINISH (SEE 3/18.40 FOR DETAIL) ↑ 11 HR ○ CABBON MONOXIDE ▼ WINDOW TAG ▼ WALL TYPE ▼ WALL TYPE ▼ WOOD JOIST PER STRC. W/TILE FINISH (SEE 3/18.40 FOR DETAIL) ▼ WOOD JOIST PER STRC. W/TILE FINISH (SEE 3/18.40 FOR DETAIL) ▼ WOOD JOIST PER STRC. W/TILE FINISH (SEE 3/18.40 FOR DETAIL) ▼ WALL TYPE ▼ WALL TYPE ▼ WALL TYPE ▼ WALL TYPE ▼ WOOD JOIST PER STRC. W/TILE FINISH (SEE 3/18.40 FOR DETAIL) ▼ WOOD JOIST PER STRC. W/TILE FINISH (SEE 3/18.40 FOR DETAIL) ▼ WOOD JOIST PER STRC. W/TILE FINISH (SEE 3/18.40 FOR DETAIL) ▼ WALL TYPE ▼
1 2 3 4 5 6 6 7 7 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	6 7 8 9 10 11 A331 W-17 W-1	THROFLOOR THROFLOOR



(FLOOR OPENING AREA / WALL AREA = %15 MIN OPENINGS)

UNIT D

2ND FLOOR

104 SF / 132 SF = 78% OPEN

3RD FLOOR

135 SF / 348 SF = 38% OPEN



EAST ELEVATION OPENING DIAGRAM

3

E()F (A)(B) (c)MAX VARIED ROOF 45' - 0" (A301.A) THIRD FLOOR 25' - 6" (A 202 A) 207 SECOND FLOOR

ELEVATION NOTES:

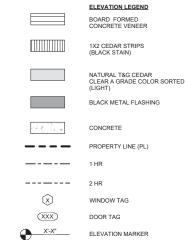
EXTERIOR LIGHTING:

1. ALL EXTERIOR LIGHTING FIXTURES SHALL BE ENERGY EFFICIENT 2. LIGHTING MUST BE ARCHITECTURALLY INTERGRATED.

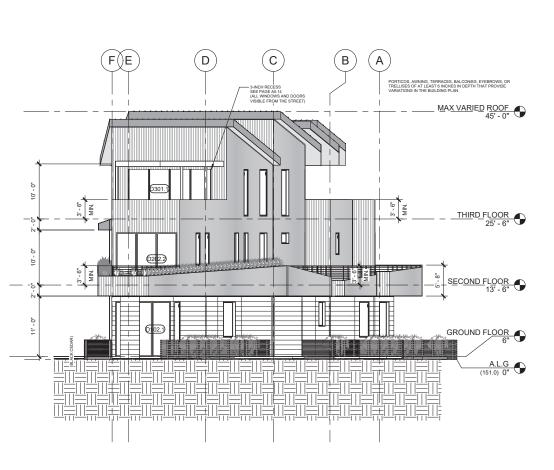
MUST BE DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES
 SHALL BE SHIELDED OR RECESSED TO CONFINE GLARE AND REFLECTIONS TO THE SUBJECT SITE.

WINDOWS AND DOORS VISIBLE FROM THE STREET SHALL BE RECESSED AT LEAST 2 INCHES FROM THE BUILDING FACADE:
THIS RECESS SHALL NOT BE ACCOMPLISHED BY THE USE OF PLANT-ON MOLDINGS AROUND THE WINDOW OR DOOR. FLUSH FINISH WINDOW INSTALLATIONS ARE ONLY PERMITTED WHEN A GLASS CURTAIN WALL, SPANDREL GLASS, OR OTHER SIMILAR DESIGN APPROACH IS USED SEE PAGE #40.14

PROJECT USES BOARD FORMED CONCRETE VENEERS, BLACK STAINED CEDAR STRIPS, NATURAL CEDAR, BLACK METAL FLASHING, AND CONCRETE TO MINIMIZE GLARE AND REFLECTED HEAT.









desi breakform

10/31/23 RENEWAL DATE VIE OF CALIFORN

11835 TENNESSEE PL, LOS ANGELES, CA 90064

REVISIONS

EAST & WEST ELEVATION

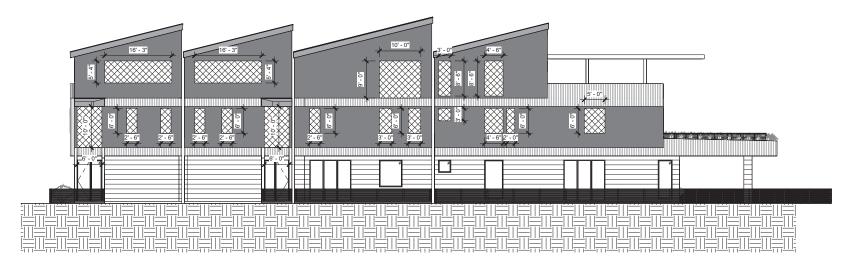
DRAWN NH CHECKED PNK

DATE 10/19/2022 12:04:15 PM SCALE As indicated

JOB# 21-A014

A3.10

UNIT A UNIT B 2ND FLOOR 2ND FLOOR 2ND FLOOR 2ND FLOOR 90 SF / 462 SF = 19% OPEN 90 SF / 260 SF = 34% OPEN 90 SF / 260 SF = 34% OPEN 78 SF / 530 SF = 15% OPEN 3RD FLOOR 3RD FLOOR 3RD FLOOR 3RD FLOOR 87 SF / 344 SF = 25% OPEN 87 SF / 340 SF = 25% OPEN 51 SF / 332 SF = 15% OPEN 63 SF / 362 SF = 17% OPEN



SOUTH ELEVATION OPENING DIAGRAM 3/32" = 1'-0"

ELEVATION NOTES:

EXTERIOR LIGHTING:

ALL EXTERIOR LIGHTING FIXTURES SHALL BE ENERGY EFFICIENT
 LIGHTING MUST BE ARCHITECTURALLY INTERGRATED.
 MUST BE DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES
 SHALL BE SHIELDED OR RECESSED TO CONFINE GLARE AND REFLECTIONS TO THE SUBJECT SITE.

WINDOWS AND DOORS VISIBLE FROM THE STREET SHALL BE RECESSED AT LEAST 2 INCHES FROM THE BUILDING FACADE:
THIS RECESS SHALL NOT BE ACCOMPLISHED BY THE USE OF PLANT-ON MOLDINGS AROUND THE WINDOW OR DOOR FLUSH FINISH WINDOW INSTALLATIONS ARE ONLY PERMITTED WHEN A GLASS CURTAIN WALL, SPANDREL GLASS, OR OTHER SIMILAR DESIGN APPROACH IS USED
SEE PAGE #A0.14

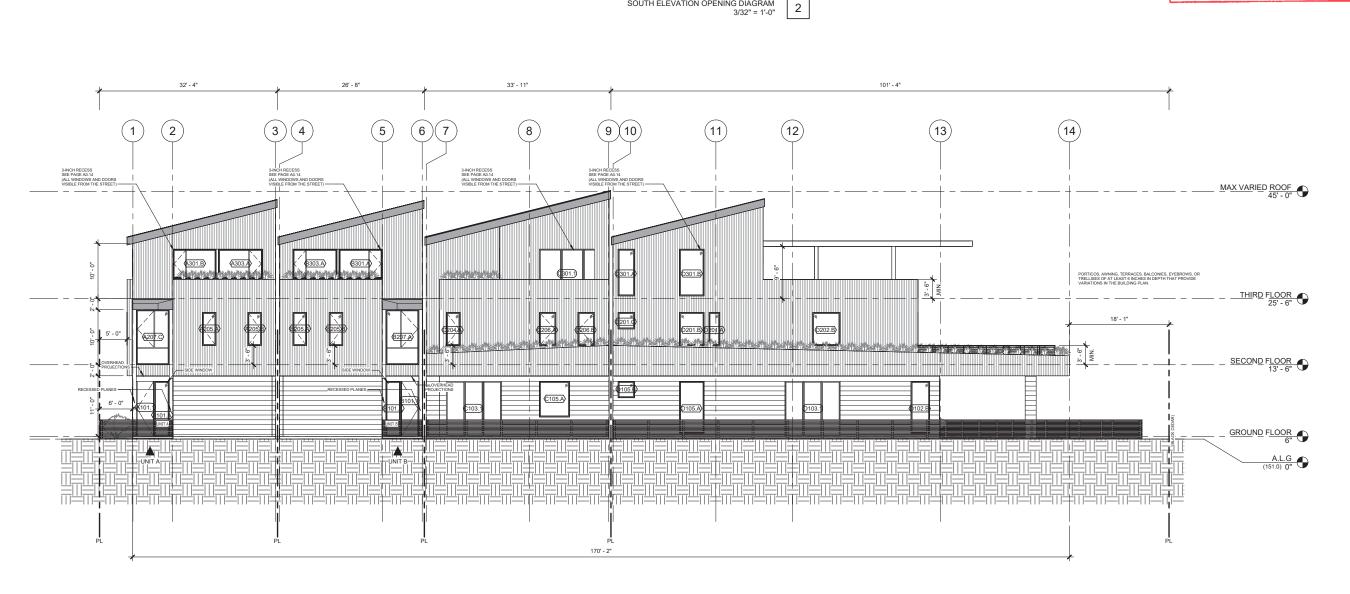
PROJECT USES BOARD FORMED CONCRETE VENEERS, BLACK STAINED CEDAR STRIPS, NATURAL CEDAR, BLACK METAL FLASHING, AND CONCRETE TO MINIMIZE GLARE AND REFLECTED HEAT.

ELEVATION LEGEND 1X2 CEDAR STRIPS (BLACK STAIN) NATURAL T&G CEDAR CLEAR A GRADE COLOR SORTED (LIGHT) BLACK METAL FLASHING PROPERTY LINE (PL) \otimes WINDOW TAG

DOOR TAG

Page No. 14 Case No. APCW-2022-1156-SPE-HCA, ADM-2022-5099-SLD-HCA

(XXX)





S 000 breakform

GRISED ARCHITE 10/31/23 RENEWAL DATE V/FOF CALIFORN

11835 TENNESSEE PL, LOS ANGELES, CA 90064

REVISIONS

SOUTH ELEVATION

DRAWN NH CHECKED PNK

DATE 10/19/2022 12:04:31 PM SCALE As indicated

JOB# 21-A014

A3.20



NORTH ELEVATION OPENING DIAGRAM 3/32" = 1'-0"

2

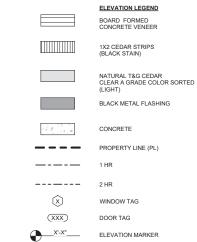
ELEVATION NOTES:

EXTERIOR LIGHTING:

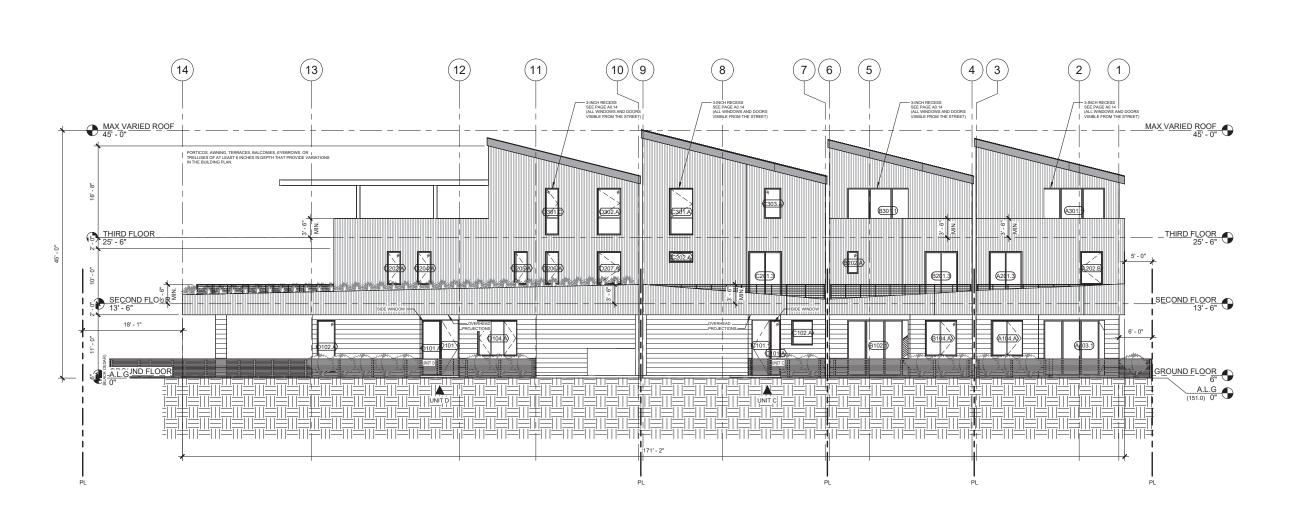
ALL EXTERIOR LIGHTING FIXTURES SHALL BE ENERGY EFFICIENT
 LIGHTING MUST BE ARCHITECTURALLY INTERGRATED.
 MUST BE DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES
 SHALL BE SHIELDED OR RECESSED TO CONFINE GLARE AND REFLECTIONS TO THE SUBJECT SITE.

WINDOWS AND DOORS VISIBLE FROM THE STREET SHALL BE RECESSED AT LEAST 2 INCHES FROM THE BUILDING FACADE:
THIS RECESS SHALL NOT BE ACCOMPLISHED BY THE USE OF PLANT-ON MOLDINGS AROUND THE WINDOW OR DOOR. FLUSH FINISH WINDOW INSTALLATIONS ARE ONLY PERMITTED WHEN A GLASS CURTAIN WALL, SPANDREL GLASS, OR OTHER SIMILAR DESIGN APPROACH IS USED SEE PAGE #40.14

PROJECT USES BOARD FORMED CONCRETE VENEERS, BLACK STAINED CEDAR STRIPS, NATURAL CEDAR, BLACK METAL FLASHING, AND CONCRETE TO MINIMIZE GLARE AND REFLECTED HEAT.







NORTH ELEVATION 1/8" = 1'-0"



breakformdesi

10/31/23 RENEWAL DATE VIFOF CALIFORN

11835 TENNESSEE PL, LOS ANGELES, CA 90064

REVISIONS

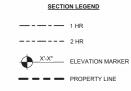
NORTH ELEVATION

DRAWN NH CHECKED PNK

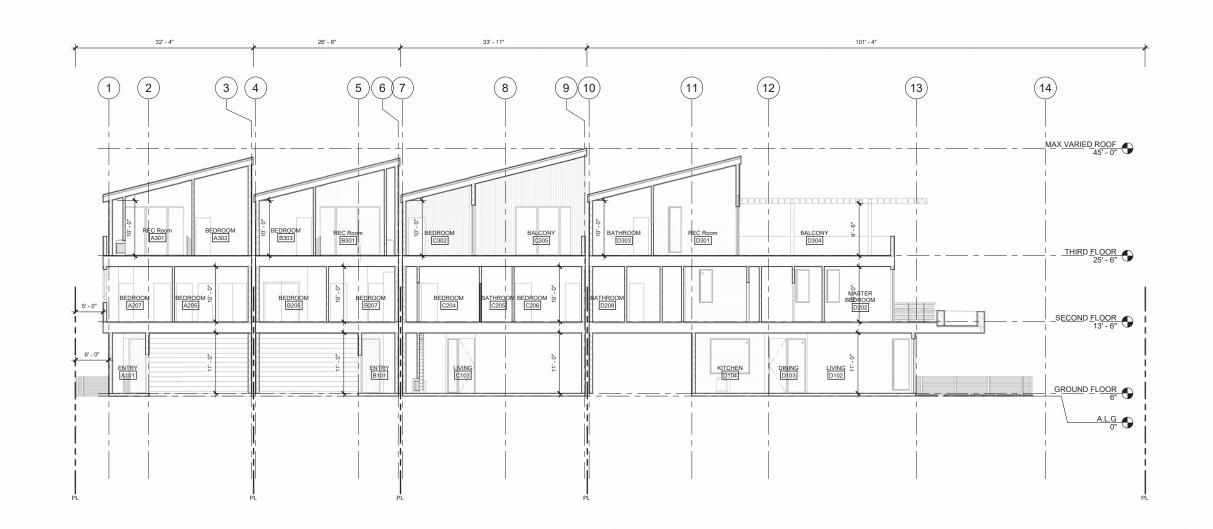
DATE 10/19/2022 12:04:35 PM SCALE As indicated

JOB# 21-A014

A3.30











breakform design

PRAMES DAHAM
No. C-34257

1031/23

RENEWISC DATE

11835 TENNESSEE PL, LOS ANGELES, CA 90064

EVISIO	INS
5	SECTIONS

A4.10

DRAWN NH CHECKED PNK DATE 10/19/2022 12:04:41 PM SCALE As indicated **JOB#** 21-A014

DICHONDRA ARGENTEA

"THE SUBDIVIDER SHALL RECORD A COVENANT AND AGREEMENT SATISFACTORY TO THE ADVISORY AGENCY GUARANTEEING THAT

BY THE DEVELOPER/BUILDER PRIOR TO THE CLOSE OF ESCROW OF 50 PERCENT OF THE UNITS OF THE PROJECT OR PHASE.

B. SIXTY DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION, THE LANDSCAPE PROFESSIONAL SHALL SUBMIT TO THE HOMEOWNERS/PROPERTY OWNERS ASSOCIATION A CERTIFICATE OF SUBSTANTIAL COMPLETION.

C. THE DEVELOPER/BUILDER SHALL MAINTAIN THE LANDSCAPING AND IRRIGATION FOR 60 DAYS AFTER COMPLETION OF THE LANDSCAPE AND IRRIGATION INSTALLATION.

D. THE DEVELOPER/BUILDER SHALL GUARANTEE ALL TREES AND IRRIGATION FOR A PERIOD OF SIX MONTHS AND ALL OTHER PLANTS FOR A PERIOD OF 60 DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION."

CERCIS SILIQUASTRUM

A. THE PLANTING AND IRRIGATION SYSTEM SHALL BE COMPLEATED SPACING REQUIREMENTS.

. QUANTITIES GIVEN FOR PLANT MATERIALS SPECIFIED FOR "ON CENTER SPACING ARE SHOWN FOR CONVENIENCE ONLY AND ARE SUBORDINATE TO THE SPACING GIVEN. VERIFY AND SUPPLY SUFFICIENT NUMBER OF PLANTS TO FULFILL

2. ALL HEADER AND BAMBOO ROOT BARRIERS SHALL BE LOCATED BY THE ARCHITECT ON SITE.

3. CONTRACTOR SHALL INSTALL PLANT MATERIAL IN ACCORDANCE WITH THE SPECIFICATIONS, DRAWINGS AND DETAILS.

4. CONTRACTOR SHALL PROVIDE A MAINTENANCE PERIOD OF NOT LESS THAN 90 .. CONTRACTOR SHALL PROVIDE A MAINTENANCE PERIOD OF NOT LESS THAN 90 DAYS COMMENCING AT THE DATE OF FINAL ACCEPTANCE. SUCH MAINTENANCE SHALL INCLUDE ALL CARE PERTAINING TO ALL WORK INSTALLED AS PART OF THESE CONTRACT DOCUMENTS.

THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON THE SITE AT L TIMES DURING CONSTRUCTION THROUGH COMPLETION OF PICK-UP WORK.

6. THE CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES LISTED FOR CONVENIENCE OF CONTRACTOR. ACTUAL NUMBER OF SYMBOLS SHALL HAVE PRIORITY OVER QUANTITIES DESIGNATED.

8. SEE DETAILS AND SPECIFICATIONS FOR STAKING METHOD, PLANT PIT DIMENSIONS, SOIL PREPARATION, AND BACKFILL REQUIREMENTS.

9. ALL PLANT MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE PROVAL OF THE LANDSCAPE ARCHITECT.

11. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULES.

GROUNDCOVER PLANTING SHALL BE CONTINUOUS UNDER ALL TREES AND RUBS. GROUNDCOVER SHALL BE PLANTED ACCORDING TO SPACING ON PLANT

PLANTING LEGEND

BOTANICAL NAME / COMMON NAME

DICHONDRA ARGENTE

LIRIOPE SPP

WEIGELA FLORIDA

CERCIS SILIQUASTRUM

12"

18' - 0"

::|≵|||||

13. TREES SHALL BE LOCATED A MINIMUM OF 5' FROM WALLS, OVERHEADS, WALKS, HEADERS, AND OTHER TREES WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTORS LIEABILITY TO RELOCATE THE

14. ALL PLANTING AREAS SHALL BE LOOSENED TO A DEPTH OF 8", APPLY 4 C.Y. OF

14. ALL POAVINGS AREAS SHALL BE LOOSENED TO A DEPTH OF 8. APPLT 4 C.T. OF ORGANIC AMENDMENT AND 15 LBS.
OF 10-10-10 FERTILIZER PER 1000 S.F. AND BLEND WITH THE TOP 6" OF SOIL. THIS AMENDMENT IS FOR BIDDING PURPOSES, AND SHALL BE SUPERCEDED BY RECOMMENDATIONS OF THE SOIL ANALYSIS REPORT.

15. FOR ALL TREES AND SHURB PLANTING, THE FOLLOWING PREPARED SOIL MIX SHALL BE USED FOR BACKFILL IN THE PLANTERS. THIS MIX IS FOR BIDDING PURPOSES, AND SHALL BE SUPERCEDED BY RECOMMENDATIONS OF THE SOIL ANALYSIS REPORT.

SIS REPORT. SITE SOIL - 6 PARTS BY VOLUME ORGANIC AMENDMENT - 4 PARTS BY VOLUME SOIL CONDITIONER / FERTILIZER 10-10-10-1LB. PER C.Y. OF MIX IRON SULFATE - 2 LBS. PER C.Y. OF MIX

16. TURF IS NOT ALLOWED ON SLOPES GREATER THAN 25% WHERE THE TOE OF THE SLOPE IS ADJACENT TO AN IMPERMEABLE HARDSCAPE...

17. RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.

18. A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVER, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

19. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEI OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO

WUCOLS WATER USE TYPES | WATER USE VALUES

MED

MED

0.4

0.4

20. I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE THAT COMPLYS WITH THE PERFORMANCE APPROACH.

21. AT THE TIME OF FINAL INSPECTION THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

1. CONTRACTOR IS TO AUGMENT EXISTING IRRIGATION SYSTEM. CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING LANDSCAPE AND IRRIGATION DAMAGED FROM CONSTRUCTION TO AN ACCEPTABLE LANDSCAPE CONDITION WITH A FULLY FUNCTIONAL AND EFFICIENT IRRIGATION SYSTEM PER THE CONTAINED CONDITIONS

2. ALL NEW TREES REQUIRE INDIVIDUAL POP-UP STREAM BUBBLERS, MIN. 2 PER TREE, WITHIN 4' OF TREE. TREE IRRIGATION SHALL BE ON A SEPARATE VALVE.

3. SPRAY OR ROTOR HEADS SHALL BE ON POP-UPS: 6" FOR LAWN, LOW GROUNDCOVER OR PARKED CAR OVERHANG AREAS. 12" FOR SHRUB AREAS. HEADS ON RISERS ARE ONLY ALLOWED ADJACENT TO WALLS WITH LIMITED SPACE FOR POP-UPS.

4. LOCATE SPRAY HEADS 24" FROM NON-PERVIOUS PAVING TO PREVENT OVERSPRAY EXCEPTION ALLOWED IF ADJACENT SURFACE IS PERMEABLE OR IF USING ALTERNATIVE TECHNOLOGY IRRIGATION. ROTATOR OR ROTARY HEADS MAYBE LOCATED 12" FROM PAVING.

5. CONTRACTOR SHALL REPLACE ANY EXISTING IRRIGATION CONTROLLER WITH A MODULE AND SENSOR TO PROVIDE WEATHER BASED INFORMATIONTHAT WILL AUTOMATE THE RIGHATION RUNTIMES BASED ON WEATHER. SEE HUNTER SOLAR SYNC, RAINBIRD ET MANAGER OR EQUIVALENT.

6. THE PLANTING AND IRRIGATION SYSTEM SHALL BE COMPLETED BY THE DEVELOPER/BUILDER PRIOR TO THE CLOSE OF ESCROW OF 50 PERCENT OF THE UNITS OF THE PROJECT OR PHASE.

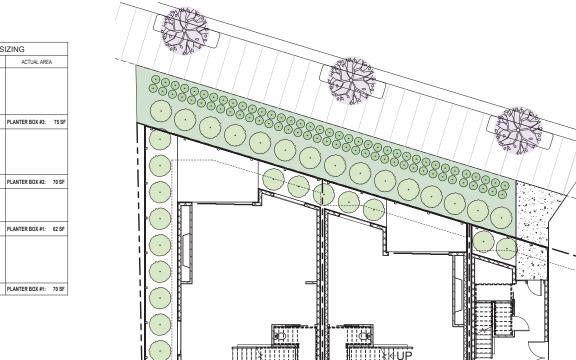
7. SIXTY DAYS AFTER TLANDSCAPE AND IRRIGATION INSTALLATION, THE LANDSCAPE PROFESSIONAL SHALL SUBMITTO THE HOMEOWNERS/PROPERTY OWNERS ASSOCIATION A CERTIFICATE OF SUBSTANTIAL COMPLETION (12 40 LAMC.)

8. THE DEVELOPER/BUILDER SHALL GUARANTEE ALL TRESS AND IRRIGATION FOR A PERIOD OF SIX MONTHS AND ALL OTHER PLANS FOR A PERIOD OF 60 DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION.

STATEMENTS AND CERTIFICATION

PROJECT ADDRESS

1. I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.



WEIGELA FLORIDA

TRACT MAP # TR 11968 TYPE V-B R3(EC) TRACT TR 11968 BLOCK NONE 7, VAC ORD 140880 ASSESSOR PARCEL NUMBERS 4259037003 LOT AREA 7.461.8 SF PARKING TOTAL 8 (4 - STANDARD / 4 - COMPACT) NUMBER OF SINGLE FAMILY DWELLINGS AREA TO BE LANDSCAPED UNDER R-PERMIT SUBJECT TO R-PERMIT AREA: 4,200 SF LANDSCAPE AREA (R-PERMIT): 3,146 SF

Œ (1) C - FOUR NEW SINGLE FAMILY DWELLINGS AS PART OF SMALL LOT SUBDIVISION WITH COVERED PARKING. SED ARCHIS LOS ANGELES, CA 9006

> Ш 1835 TENNESSEE L, LOS ANGELES, CA 90064 118; PL,

REVISIONS

10/31/23 RENEWAL DATE

EOF CALIFOR

ഗ

0

C

LANDSCAPE PLAN

DRAWN NH CHECKED PNK 10/19/2022 12:04:46 PM

SCALE As indicated JOB # 21-A014

L1.10

LANDSCAPE PLAN

1/8" = 1'-0"

EXHIBIT "A" Page No. 17 of Case No. APCW-2022-1156-SPE-HCA, ADM-2022-5099-SLD-HCA

(SEE PAGE A0.07 FOR DETAILS) NOTE: ALL PERVIOUS AND PERMEABLE CONCRETE TO BE UNCOLORED CONCRETE WITH SMOOTH CEMENT FINISH

PLANTER BOX #2: 70 SF PLANTER BOX #1: 62 SI PLANTER BOX #1: 70 SF

LANDSCAPE

PLANTER BOX SIZING

REQUIRED AREA

54.9 SF

7.95 SF

7.9 SF

70.75 SF

52.5 SI

2.95 SF

3.6 SF

59.05 SF

59.6 SF

61.25 SF

38.45 SF

20.85 SF

69.3 SF

TRIBUTARY AREA

1098 SF x 0.05

159 SF x 0.05

1050 SF x 0.05

59 SF x 0.05 =

72 SF x 0.05

1192 SF x 0.05

(D-1) 769 SF x 0.05

(D-2) 417 SF x 0.05

(D-3) 200 SF x 0.05

33 SF x 0.05

(A-3) 158 SF x 0.05

TOTAL

+ LIRIOPE SPP.

0 S.F 1,352 S.F. TOTAL 1,352 S.F

LANDSCAPE ARE PER UNIT

45 SF 788 SF

HARDSCAPE

PERVIOUS 2,643 S.F. PERMEABLE

TOTAL 2 643 S.F.

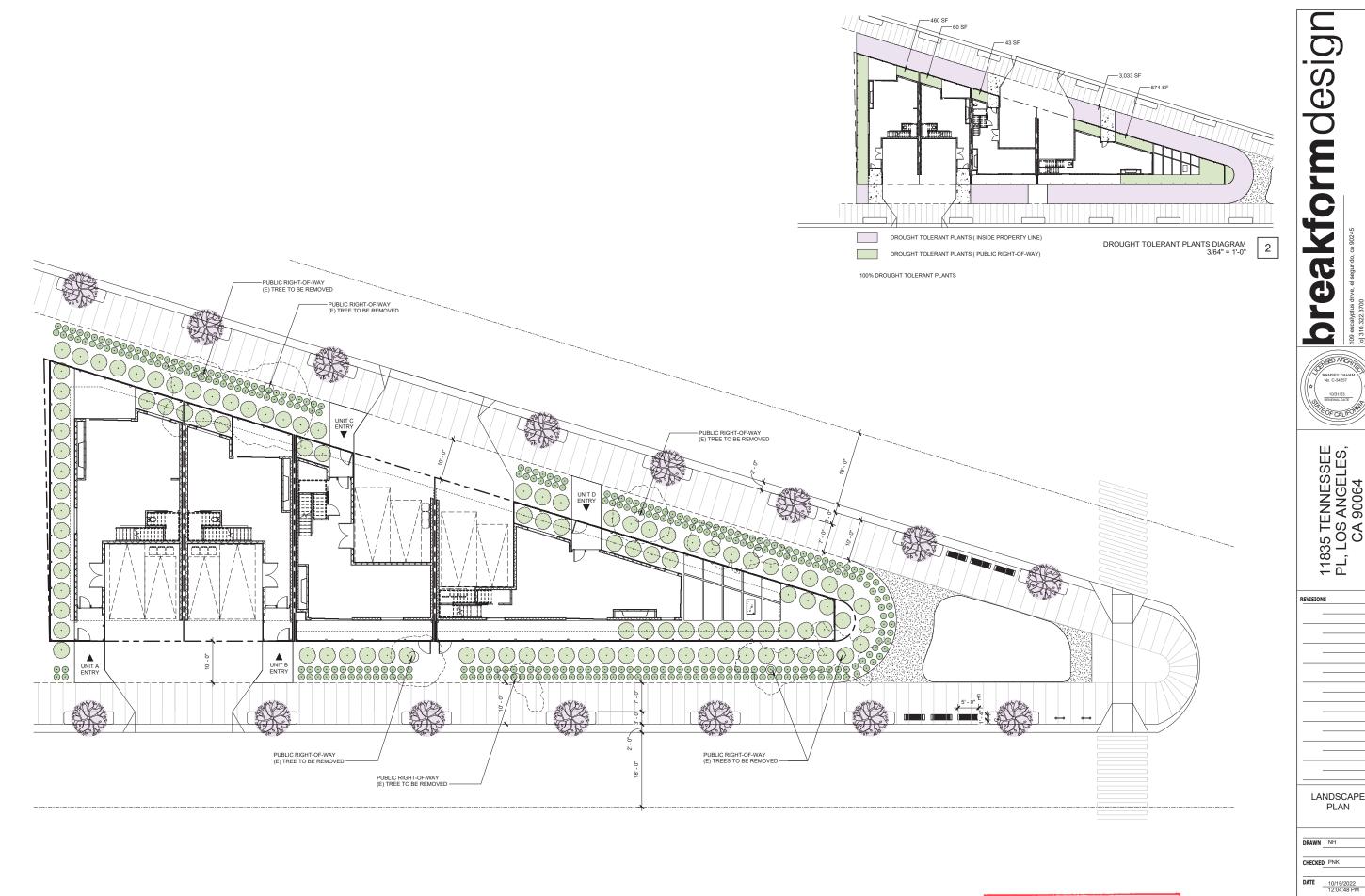


EXHIBIT "A" Page No. ____18 Case No. APCW-2022-1156-SPE-HCA, ADM-2022-5099-SLD-HCA

LANDSCAPE PLAN 1" = 10'-0"

L1.20

SCALE As indicated **JOB #** 21-A014

LANDSCAPE PLAN

DRAWN NH CHECKED PNK

breakformdesign

10/31/23 RENEWAL DATE

11835 TENNESSEE PL, LOS ANGELES, CA 90064

ENVIRONMENTAL STANDARDS

OVERVIEW

As described in Section 5 of this Specific Plan these environmental standards are included to implement the Miligation & Monitoring Program included as part of the vironmental Impact Report (Case No. ENV-2013-622-EIF 2019 (ECTNP EIR). As described in this Appendix D, some in this Specific Plan. Projects located within the Specific Plan boundaries, regardless of whether it is located within a Specific Plan Subarea or subject to "EC" zones, are required to comply with these environmental standards.

Any other discretionary project within the Specific Plan boundaries that seeks to rely on the Exposition Corridor Transit Neighborhood Plan (Specific Plan) EIR for its CEOA supplemental EIR or a statutory infill exemption), may on the project.

notations, or other means determined reasonably effective by the Director of Planning or the decision-maker

MITIGATION MEASURES

Mitigation Measure (Glare): In accordance with the Urban Design Standards of this Specific Pla Visible exterior surfaces of the proposed structu fencing, recreational equipment, or outdoor art installations shall be constructed of materials such as, but not limited to, high-performance and/or non-reflective tinted glass (without mirror-like tints or films), pre-cast concrete, fabricated wall surfaces, composite materials wood coated metal, and stone

Mitigation Measure (Location of Ventilation **Equipment):** In accordance with the Urban Design Standards of this Specific Plan: For Projects located and Uses, locate air intakes for ventilation equipment as far from freeway sources as nossible

- Mitigation Measure (Window Operability Adjacent containing a Sensitive Land Use abuts a freeway right-of-way, no operable windows, balconies, or tios are allowed on the side of the building that
- Mitigation Measure (Landscape Buffer Adjacent a Sensitive Land Use abutting a freeway right-of-wa shall provide a 10-foot-wide densely landscaped buffe from the Project's property line along the freeway
- Mitigation Measure (Air Quality Best Practices): below in contract specifications:
- Use properly tuned and maintained equipment
- Use diesel-fueled construction equipment to be retrofitted with after treatment products (e.g. engine catalysts) to the extent they are readily
- Use heavy duty diesel-fueled equipment that uses low NO_x diesel fuel to the extent it is readily available and feasible.
- Use construction equipment that uses low polluting fuels (i.e., compressed natural gas, liquid petroleu gas, and unleaded gasoline) to the extent available
- condition to minimize air pollutants.
- Project applicants shall ensure that all construction equipment meets or exceeds equivalent emissions erformance to that of LLS. Environmental Protection Agency (USEPA) Tier 4 standards for non-road engines. In the event that Tier 4 engines are not available for any off-road equipment larger than 100 horsepower that equipment shall be equippe of nitrogen oxides and diesel particulate matter to no more than Tier 3 levels unless certified by ngine manufacturers or the on-site air qualit

such devices is not practical for specific engine ch devices is "not practical" for the following, as well as other, reasons:

- has been verified by either the CARB or USEPA to control the engine in question to Tier 3;
- The construction equipment is intended to be on site for five days or less; or
- Relief may be granted from this requirement if a good faith effort has been made to comply with this requirement and that compliance is
- The use of a retrofit control device may be terminated immediately, provided that a replacement for the equipment item in question meeting the required controls occurs within ten days of termination of the use, if the equipment would be needed to continue working at this site for more than 15 days after the use of the retrofit control device is terminated, if one of the following conditions exists:
- The use of the retrofit control device is excereducing the normal availability of the constructio equipment due to increased down time for maintenance, and/or reduced power output due to an excessive increase in back pressure; The retrofit control device is causing or is
- The retrofit control device is causing or is
- Any other seriously detrimental cause which
- has the approval of the project manager prior to implementation of the termination
- Construction contractors shall use electricity fr power poles rather than temporary gasoline or diesel power generators, as feasible.
- Use building materials, paints, sealants, med equipment, and other materials that yield low air pollutants and are nontoxic.
- Construction contractors shall utilize supercompliant architectural coatings as defined by the South Coast Air Quality Management District

ten grams per liter).

- Construction contractors shall utilize materials that do not require painting, as feasible.
- Construction contractors shall use pre-painted construction materials, as feasible.

- Mitigation Measure (Archaeology): A qualified the significance of any archaeological resources or tribal cultural resources during construction All cultural resources, including archeological and tribal cultural resources, identified on a site must be assessed and treated in a manner determined appropriate by a qualified archeologist in consultation with the City's Office of Historic Resources. A report shall be prepared according to current professional standards that describes the resource, how it was assessed, and disposition.
- Mitigation Measure (Paleontology): A qualified grading activities in soils that have not been previous on a project site must be assessed and treated in a manner determined by a qualified paleontologist in consultation with the City's Office of Historic Resources. A report shall be prepared according to current professional standards that describes the resource, how it was assessed, and disposition. Any reports and surveys shall be submitted to the City's useum of Los Angeles County.

logy and Water Quality

Mitigation Measure (Flood Plains): In accordance with the Urban Design Standards of this Specific Plan: Buildings within a 100-year floodplain shal be the 100-year flood water surface elevation to ensure the protection of structures from all flooding events.

Noise and Vibration

Exposition Corridor Transit Neighborhood Plan | APPENDIX | 113

Mitigation Measure (Construction Noise and

Haul Routes. Construc delivery traffic shall avoid residential areas whenever easible. If no alternatives are available truck

away from Sensitive I and Uses

Construction Staging Areas. The construction contractor shall locate construction staging areas

Construction Noise Barriers, When construction activities are located within 500 feet of Sensitive Land Uses, noise barriers (e.g., temporary walls or piles of excavated material) shall be constructed between activities and Sensitive Land Uses.

Vibrations. The construction contractor shall manage construction phasing (scheduling demolition, earthmoving, and ground-impacting operations so as not to occur in the same time period), use low-impact construction technologies, and shall avoid the use of vibrating equipment where possible

Pile Driving Use and Location. Impact pile drivers Uses. Drilled piles or the use of a sonic vibratory pile driver are quieter alternatives that shall be utilized where geological conditions permit their use. Noise shrouds shall be used when necessary to reduce noise of pile drilling/driving.

Pile Driving Control Measures): The consta contractor shall utilize alternatives to impact pile drivers, such as sonic pile drivers or caissor drill lriving, control measures shall be used to reduce vibration levels. These measures may include, but are not limited to:

- · Predrilled holes:
- Cast-in-place or auger cast piles;
 Pile cushioning (i.e., a resilient material placed between the driving hammer and the pile);
- Jetting (i.e., pumping a mixture of air and water through high-pressure nozzles to erode the soil
- adjacent to the pile); and Non-displacement piles (i.e., piles that achieve capacity from the end bearing rather than the pile shaft).
- Construction equipment shall be equipped requirements.

electrical sources to power equipment rather

Noise Control Measures. For development within NI(EC), HJ(EC), HR(EC), MU(EC), or NMU(EC) zones (Subareas 1-10) with a direct line-of-sight to adjacent residential and other Sensitive Land Uses, include the following best management

- Industrial activity yards that include the operation arriers that block line-of-sight to Sensitive
- Mechanical equipment (e.g., HVAC Systems)
- shall be enclosed with sound buffering materals Truck loading/unloading activity shall be prohibited between the hours of 10 p.m. and 7 a.m. when located within 200 feet of a residential land use.

Utilities and Service Systems - Water Supply

Mitigation Measure (Plumbing):

- one showerhead per stall, with a maximum flow rate per City Ordinance.
- Toilets shall have a flush volume no more than
- All urinals shall be waterless.
- With the exception of those governed by City Ordinance No. 181480, all faucets shall be limited to a flow of 1.5 gallons per minute.
- Residential clothes washers shall be high-efficiency and have a water factor of 5.0 or less. Commercial othes washers shall be high-efficiency and hav a water factor of 7.5 or less.
- proximity to the point(s) of use, and all water heaters should be tankless and on-demand, where possible. Cooling towers shall have conductivity controllers
- All residential units shall be either individually metered or sub-metered such that each unit is billed individually for its water use.

Exposition Corridor Transit Neighborhood Plan | APPENDIX | 114

All projects that involve the installation of a new plumbing system such that toilets and industrial ses can be served by recycled water, if authorized

Mitigation Measure (Landscaping and Pools):

- The project applicant shall provide a landscape irrigation plan that indicates the location and size of infiguror pian that indicates the location and size of each drip outlet, the specification for the weather-based irrigation controller, and the location and specification of the purple pipe that will service the system.
- All irrigation systems shall be either drip, microspray or subsurface depending on the type and number of plants the irrigation is servicing.
- Where rotating sprinklers are needed for landscapin irrigation, they shall use a maximum of 0.5 gallons per minute.
- Irrigation systems shall have a weather-based controller such that the system does not turn on during a storm event or when the soil has a moisture during a storm event or when the soil has a moisti level sufficient to support the plant species.
- Irrigation systems shall be designed to meet the water needs of different parts of the landscape
- Plants with similar water requirements shall be
- Where possible, landscaping contouring shall be used to minimize precipitation runoff. All landscaping in the public right-of-way shall be drought tolerant. For landscaping on private property,
- a minimum of 70% shall be drought-tolerant. All pools shall include a water-saving pool filter. A leak detection system shall be installed on all
- Projects shall harvest rainwater and reuse on site where possible. All irrigation systems shall be plumbed with a purple pipe to enable a connection to a recycled

or gray water system once it is available. Note: This list does not include all items currently required

Exposition Corridor Transit Neighborhood Plan | APPENDIX | 112

- Mitigation Measure (Traffic Calming): In areas where implementation of a Project could result in diversion of traffic to adjacent residential streets, on residential streets is found to be significantly LADOT shall work with the project applicant and neighborhood residents to survey and monitor the residential street segment(s) before and after project occupancy to assess the need for appropriate traffic alming measures. These measures may include but are not limited to, the following:
- Traffic circles
- Speed humps
- Roadway narrowing effects (e.g. raised medians, traffic chokers etc.)
- Landscaping features Roadway striping changes
- Stop signs Mitigation Measure (Neighborhood Improvements) n addition to the aforementioned traffic calming measures, neighborhood improvements may be used to offset effects of additional traffic. These av include but are not limited to measures such It shall be the project applicant's responsibility to implement any approved measures through the
- Bureau of Engineering's permit process. Mitigation Measure (Transportation Improvements) e following mitigations shall be made to the tisfaction of LADOT. Intersection numbers are as identified in the Environmental Impact Report.
- Centinela Ave. & Exposition Blvd. (Intersection 6).
- Bundy Dr. & Olympic Blvd. (Intersection 16). Restripe the northbound and southbound approaches. The approach of one right-turn lane, two through lanes, and two left-turn lanes. The southbound restriping

would add one southbound left-turn lane and change one through lane and the right-turn lane into a shared through/right lane. This would result in a southbound approach of one shared through lane, one through lane, and two left-turn lanes ington Ave. & Pico Blvd. (Intersection 27, provide one through lane and one right-turn lane This improvement would require the removal of one on-street parking space.

Barrington Ave. & Gateway Blvd. (Intersection 28).

Restripe the existing northbound shared through/ right-turn lane to provide one through lane and one right-turn lane. This improvement would require the removal of four on-street parking spaces. Sepulveda Blvd. & Exposition Blvd. (Intersectio 43). Restripe the existing eastbound shared lef h/right lane to provide one shared through

ım lane and one right-turn lane. veda Blvd. & Palms Blvd. (Intersection 46). right-turn lane to provide one through lane and one right-turn lane. This improvement would requir the removal of two on-street parking spaces. Sepulveda Blvd. & Palms Blvd. (Intersection 4

right-turn lane. This improvement would requir Military Ave. & National Blvd. (Intersection 47). Restripe one existing southbound shared throu right turn lanc to provide one shared through/l turn lane and one right-turn lane. This improvem would require the removal of four on-street parking

- Overland Ave. & National Blvd. / I-10 Westbound On- and Off-Ramp (Intersection 53). Restrice the existing eastbound shared through/left-turn lane
- left-turn lane. Sepulveda Blvd. & Venice Blvd. (Intersection 84).
- both the eastbound and westbound approaches to add one left-turn lane to each approach. Stewart St. & Olympic Blvd. (Intersection 3). Modify the existing signal phasing to change eastboun left-turn signal phasing from permitted to protecte

and change westbound left-turn signal phasing from protected/permitted to protected.

Barrington Ave. & Mississippi Ave. (Intersection

25). Restripe the existing eastbound shared left/through/right lane to provide one shared through/left-turn lane and one right-turn lane. This improvement would require the removal of two on-street parking spaces. Arterial Monitoring Station #70 (Venice Blvd. and

Centinela Ave.). Restripe one existing northbound shared through/right-turn lane to provide one through lane and one right-turn lane and restripe one existing shared through/right-turn lane to provide one through lane and one right-turn lane on-street parking spaces on Venice Blvd, and the

REGULATORY COMPLIANCE

In addition to the Mitigation Measures described above. projects shall adhere to any applicable Regulatory Compliance Measures required by law, including those listed below. with all applicable regulations during construction and Measures shall be printed on plans and included within contract specifications or agreements with contractors and are determined on a case-by-case basis, and these are an

Regulatory Compliance Measure (Idling): In accordance with Sections 2485 in Title 13 of the California Code of Regulations, the idling of all diese fueled commercial vehicles (weighing over 10,000 minutes at any location.

Regulatory Compliance Measure (Archaeological): If archaeological resources or tribal resources are discovered during excavation, grading, or construction

area), the City Department of Building and Safety shall be notified immediately, and all work shall cease in the area of the find until a qualified archaeologist as evaluated the find in accordance with federa State, and local guidelines, including those set orth in California Public Resources Code Section 21083.2. Personnel of the proposed Project shall not collect or move any archaeological resources tribal cultural resources, or associated materials.

Construction activity may continue unimpeced on other portions of the Project site as approved by the Office of Historic Resources. The found deposits shall be treated in accordance with federal State and local guidelines, including those set forth in California Public Resources Code Section 21083.2.

Regulatory Compliance Measure (Paleontological): If paleontological resources are discovered (in either a previously disturbed or undisturbed area) during cavation, grading, or construction, the City of Los ingeles Department of Building and Safety shall be otified immediately, and all work on the project site shall cease in the area of the find until a qualified may continue unimpeded on other portions of the Project site. The paleontologist shall determine the location, the time frame, and the extent to which any monitoring of earthmoving activities shall be required The found deposits would be treated in accordance with federal, State, and local guidelines, incuding those set forth in California Public Resources Code Section 21083.2. Halted construction activities on the project site may commence once the identified esources are properly assessed and processed by

Code): The Project shall implement all applicable mandatory measures within the LA Green Building Code that would have the effect of reducing th roject's energy use.

Floor and Ramp Treatment); In accordance with the Urban Design Standards of this Specific Flan: Parking structures located within 200 feet of any on garage floors and ramps to minimize tire squeal.

ies and Service Systems - Water Supply

Regulatory Compliance Measure (Landscape): The Project shall comply with Ordinance No. 1709/78 (Water Management Ordinance), which imposes numerous water conservation measures in landscape, installation, and maintenance (e.g., use drip irrigation and soak hoses in lieu of sprinklers to lower the amount of water lost to evaporation and overstray, set automatic sprinkler systems to irrigate during the early morning or evening hours to minimize water loss due to evaporation, and water less in the cooler months and during the rainy season).

Transportation Fee): Prior to issuance of a Building Permit, the applicant shall pay a transportation impact fee to the City, based on the requirements of the West Los Angeles Transportation Improvement and Mitigation Specific Plan (WLA TIMP). This requirement applies only to Projects falling within the boundaries of WLA TIMP.

Regulatory Compliance Measure (Worksite Traffic Control Plan): Projects that require a worksite traffic control plan per current LADOT guidelines shall submit to LADOT for review and approval a plan that mitigates the impact of traffic disruption and ensures the safety of all users of the affected roadwar The plan shall address construction duration and to construction activities, or providing a dedicated pedestrian walkway, as appropriate

Ш SEI

ENNES ANGEL 90064 S TE 835 -, L(118 PL,

S 0

O

C

Œ

0

C

(CHISED ARCHITY

10/31/23 RENEWAL DATE

TEOF CALIFORN

R	REVISIONS		
١.			
١.			
ľ			

ETNP-Appendix-D

DRAWN Author CHECKED Checker

DATE 12/19/2022 4:17:20 PM SCALE

JOB # 21-A014