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January 12, 2024

BY EMAIL AND U.S. MAIL

Vincent Bertoni, AICP
Director of Planning
Department of City Planning
City of Los Angeles
200 N. Spring Street
Los Angeles, CA 90012-4801
E-Mail: Vincent.Bertoni@lacity.org

Re: Notice Pursuant to Government Code Sec. 65589.5(h)(6)(D)(V)
Department of City Planning Case No. ADM-2023-4682-DB-VHCA-ED1
Project Address: 11418-11424 West Missouri Avenue

Dear Department of City Planning:

Our office represents LA Affordable Communities LLC, the applicant for the above referenced affordable housing development project presently pending on appeal before the City Council. For some background, the project proposes a 44 unit residential development, inclusive of one (1) market rate manager's unit, two (2) very low Income units, thirty four (34) low income units, and seven (7) moderate income units (the "Project"). The Department of City Planning approved the Project on December 12, 2023, and issued a Letter of Compliance finding the Project qualified for ministerial processing "pursuant to Resolution (CF 22- 1545) relative to the Declaration of Local Emergency by the Mayor, dated December 12, 2022, concerning homelessness in the City of Los Angeles, pursuant to the provisions of the Los Angeles Administrative Code ("LAAC") Section 8.27, adopted by the City Council on December 13, 2022 and Executive Directive 1 dated December 16, 2022." (Letter of Compliance, Pg. 1, **Exhibit A**.)

On or about December 27, 2023, the Department of City Planning accepted an appeal from "Missouri Avenue Neighbors" seeking to challenge the Project's statutory exemption from the California Environmental Quality Act ("CEQA"). Pursuant to Los Angeles Municipal Code § 11.5.13, the Department's acceptance of this appeal resulted in a stay on the Project's approval until such time as the City Council acts on the appeal. We submit this letter to raise our objections to the City's processing of this appeal, including the resulting stay on the otherwise validly issued approval, and to provide notice to the City that the processing of this appeal constitutes an abuse of discretion pursuant to Government Code Sec. 65589.5(h)(6)(D)(V).

As you know, pursuant to LAMC § 11.5.13(C), CEQA appeals may be brought "[w]hen any decision maker ... determines that [a] Project... is not subject to CEQA..." (emphasis added) In processing a ministerial approval, like the Project approval at issue here, no such "determination" is being made to justify the triggering of the appeal proceedings contained in LAMC § 11.5.13 or Public Resources Code ("PRC") § 21151(c). In fact, the only determination being made in the Letter of Compliance is that the Project meets the qualifications necessary for ministerial processing under the City's ED-1 program. This is not a CEQA determination even if it purports to be so, and therefore the action is not appealable under LAMC § 11.5.13(C).

The court of appeal's decision in *San Diegans for Open Government v. City of San Diego* (2016) 6 Cal.App.5th 995 ("*San Diegans*") addresses this issue in its holding. In that case, the city denied the petitioner's request for a CEQA appeal of a substantial conformance review determination which had concluded that "subsequent environmental review is not required." (*Id.* at pp. 1001-1002.) Petitioner sued, arguing that that the city's determination "that no further review was required" constituted a finding that the project was not subject to CEQA, and therefore an appeal should have been provided. The court rejected this contention, explaining that the City was fully justified refusing to process a CEQA appeal under PRC § 21151(c), explaining that a CEQA appeal was not available because "neither the City staff nor the Planning Commission determined the Project was not subject to CEQA..." and that a "conclusion [that] an activity is 'discretionary' or subject to CEQA does not independently trigger a right to a City Council appeal..." (*Id.* at Pg. 1005).

So too here, neither LAMC § 11.5.13(C) or PRC § 21151(c) apply to the Letter of Compliance, which found that no further environmental review was necessary because the Project is required to be processed ministerially pursuant to the ED-1 program. If the appellant takes issue with the ministerial processing required by the City's ED-1 program, it had an obligation to challenge that program itself. In failing to do so, it cannot challenge each individual letter of compliance on the basis that the project is being processed consistent with the requirements over the ED-1 program. Significantly, if the City permits this type of appeal to proceed, it needs to understand that will be creating a very problematic precedent. For example, if the City permits appeals of projects that are not subject to CEQA, it will be required to accept CEQA appeals of all statutorily exempt activities, including the issuance of any building permit, emergency actions otherwise exempt from CEQA, and even project denials. In fact, this approach would essentially subject every decision to a CEQA appeal, regardless of whether it is subject to CEQA or not. This is obviously contrary to what the legislature intended when it created statutory exemptions, which is precisely what the court in *San Diegans* explained in its holding.

Given the above, it is our view that the City has acted in error and has abused its discretion in accepting this appeal and by placing a stay on the Project's ministerial approval. The City is also violating the Housing Accountability Act in refusing to permit this Project to proceed. Accordingly, the applicant request that the City immediately dismiss the appeal and remove the pending stay on this Project approval immediately . Failure to do so within 90 days of receipt of

this Notice will constitute a violation of the Housing Accountability Act. Moreover, please be advised of these additional findings for your records and consideration:

- As required by Government Code Sec. 65589.5(h)(6)(D)(V)(Ia), all of the information specified in paragraphs (1), (2), (5), and (6) of subdivision (a) of Section 15062 of Title 14 of the California Code of Regulations, can be found in **Exhibit A** to this Notice.
- As required by Government Code Sec. 65589.5(h)(6)(D)(V)(Ib), a citation to the section of Title 14 of the California Code of Regulations or the statute under which the applicant asserts that the project is exempt can be found in **Exhibit A** to this Notice.
- As required by Government Code Sec. 65589.5(h)(6)(D)(V)(Ic), a brief statement of reasons supporting the assertion that the project is exempt can be found in **Exhibit A** to this Notice.
- As required by Government Code Sec. 65589.5(h)(6)(D)(V)(Id), a copy of the excerpts from the record constituting substantial evidence that the criteria of subclauses (I) to (IV), inclusive, are satisfied can be found in **Exhibit A** to this Notice.

Finally, pursuant to Government Code Sec. 65589.5(h)(6)(D)(V)(Ib), please be advised that within five working days of receiving this written notice, the City shall file this notice with the county clerk to be posted for public inspection in the manner set forth in subdivision (c) of Section 21152 of the Public Resources Code. Thank you for your assistance and cooperation.

Very truly yours,



DANIEL FREEDMAN of
Jeffer Mangels Butler & Mitchell LLP

Attachment

CC: City of Los Angeles, City Clerk
Armeen Neshat, Deputy Director, Affordable Housing Production, Office of the Mayor
Kathryn Phelan, Deputy City Attorney, Office of the City Attorney
Kevin Keller, Executive Officer, Department of City Planning
Jeff Khau, Planning Deputy, Council District 11
Sonja Strauss, Executive Director, YIMBY Law
Garbiel Pena-Lora, Senior Housing Policy Specialist, Housing Policy Division, HCD
Lisa Frank, Senior Housing Policy Specialist, HCD

Exhibit A

DEPARTMENT OF
CITY PLANNING

COMMISSION OFFICE
(213) 978-1300

CITY PLANNING COMMISSION

SAMANTHA MILLMAN
PRESIDENT

MONIQUE LAWSHE
VICE-PRESIDENT

MARIA CABILDO
CAROLINE CHOE
ILISSA GOLD
HELEN LEUNG
KAREN MACK
JACOB NOONAN
ELIZABETH ZAMORA

CITY OF LOS ANGELES
CALIFORNIA



KAREN BASS
MAYOR

EXECUTIVE OFFICES
200 N. SPRING STREET, ROOM 525
LOS ANGELES, CA 90012-4801
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VINCENT P. BERTONI, AICP
DIRECTOR

SHANA M.M. BONSTIN
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP
DEPUTY DIRECTOR

LISA M. WEBBER, AICP
DEPUTY DIRECTOR

December 12, 2023

Owner/Applicant

Steven Scheibe
LA Affordable Communities LLC
1853 6th Street
Manhattan Beach, CA 90266

Case No. ADM-2023-4682-DB-VHCA-ED1

Related Case: PAR-2023-3811-AHRF-ED1

CEQA: N/A

Location: 11418-11424 West Missouri Avenue

Representative

Gary Benjamin
Alchemy Planning + Land Use
1110 North Virgil Avenue, Unit 187
Los Angeles, CA 90029

Council District: 11 - Park

Community Plan Area: West Los Angeles

Specific Plan: West LA Transportation Improvement & Mitigation

Land Use Designation: Low Medium II Residential

Zone: [Q]RD1.5-1

Legal Description: Lot 1, Arbs 2-3, Block 26, Gillis Subdivision Tract

LETTER OF COMPLIANCE – MINISTERIAL OFF-MENU DENSITY BONUS INCENTIVES AND WAIVERS OF DEVELOPMENT STANDARDS

Pursuant to the California Government Code Section 65915, and the Los Angeles Municipal Code (LAMC) Section 12.22 A.25, I have reviewed the proposed project and as the designee of the Director of Planning, I hereby:

DETERMINE, based on the whole of the administrative record, that the Project is statutorily exempt from the California Environmental Quality Act (CEQA) as a ministerial project, pursuant to Government Code Section 65915 and California Public Resources Code Section 21080(b)(1); and

DETERMINE, that the project qualifies as a ministerial review, pursuant to Resolution (CF 22-1545) relative to the Declaration of Local Emergency by the Mayor, dated December 12, 2022, concerning homelessness in the City of Los Angeles, pursuant to the provisions of the Los Angeles Administrative Code (LAAC) Section 8.27, adopted by the City Council on December 13, 2022 and Executive Directive 1 dated December 16, 2022; and

APPROVE a ministerial review of a Density Bonus Housing Project pursuant to LAMC Section 12.22 A.25 and California Government Code Section 65915, for a 44 dwelling unit project with one (1) market rate manager's unit and reserving two (2) units for Very Low Income, 34 units for Low Income, and seven (7) units for Moderate Income, for a period of 55 years, with the following four (4) Off-Menu Incentives, and seven (7) Waivers of Development Standards:

- **Bicycle Parking (Off-Menu).** A reduction in bicycle parking to allow zero long-term bicycle parking spaces in lieu of the 38 long-term bicycle parking spaces otherwise required by LAMC Section 12.21 A.16.
- **Horizontal Plane Break (Off-Menu).** An elimination of the horizontal plane articulation every 15 feet in length as otherwise required by Ordinance No. 186,249 Qualified (“Q”) Condition No. C.1.b.
- **Vertical Plane Break (Off-Menu).** An elimination of the vertical plane articulation every 20 feet in height as otherwise required by Ordinance No. 186,249 Qualified (“Q”) Condition No. C.1.b.
- **Building Step back (Off-Menu).** An elimination of the 10-foot step back for portions of the building above three (3) stories as otherwise required by Ordinance No. 186,249 Qualified (“Q”) Condition No. A.2.a.
- **Front Yard (Waiver).** A reduction in the front yard setback, allowing 4 feet 9 inches in lieu of the 15 feet otherwise required in the [Q]RD1.5-1 Zone.
- **Side Yard (Waiver).** A reduction in the westerly side yard setback, allowing 5 feet 6 inches in lieu of the 7 feet otherwise required in the [Q]RD1.5-1 Zone.
- **Side Yard (Waiver).** A reduction in the easterly side yard setback, allowing 5 feet 6 inches in lieu of the 7 feet otherwise required in the [Q]RD1.5-1 Zone.
- **Rear Yard (Waiver).** A reduction in the rear yard setback, allowing 5 feet 6 inches in lieu of the 15 feet otherwise required in the [Q]RD1.5-1 Zone.
- **Floor Area Ratio (Waiver).** An increase in FAR to allow 3.82:1 in lieu of the otherwise allowable 3:1 FAR in the [Q]RD1.5-1 Zone.
- **Open Space (Waiver).** A reduction in open space to allow 706 square feet in lieu of the 4,475 square feet otherwise required by LAMC Section 12.2 G.
- **Parking (Waiver).** A reduction in parking to allow zero parking spaces in lieu of the 68 parking spaces otherwise required by LAMC Section 12.22 A.25 Parking Option 1.

CONDITIONS OF APPROVAL

1. **Site Development.** The project shall be in substantial conformance with the plans and materials submitted by the Applicant, including the proposed building design elements and materials stamped "Exhibit A," with a date of November 14, 2023, attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning Project Planning Bureau and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Los Angeles Municipal Code or the project conditions.
2. **Residential Density.** The project shall be limited to a maximum density of 44 multi-family residential dwelling units, including On-Site Restricted Affordable Units.
3. **On-Site Restricted Affordable Units.** The project shall provide 100% On-Site Restricted Affordable units exclusive of one (1) building manager's unit. Two (2) unit shall be reserved for Very Low-Income Households, 34 units shall be reserved for Low Income Households, and seven (7) units shall be reserved for Moderate Income Households for a period of 55 years, as defined by the California Government Code Section 65915 and by the Los Angeles Housing Department (LAHD). In the event the SB 8 Replacement Unit condition requires additional affordable units or more restrictive affordability levels, the most restrictive requirements shall prevail.
4. **Changes in Restricted Units.** Deviations that increase the number of restricted affordable units or that change the composition of units or change parking numbers shall be consistent with LAMC Section 12.22 A.25 and Government Code Section 65915.
5. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing Department (LAHD) to make two (2) unit available to Very Low Income Households, 34 units available to Low Income Households, and seven (7) units available to Moderate Income Households, for sale or rental, as determined to be affordable to such households by LAHD for a period of 55 years. In the event the applicant reduces the proposed density of the project, the number of required reserved on-site Restricted Units may be adjusted, consistent with LAMC Section 12.22 A.25, to the satisfaction of LAHD and in consideration of the project's Replacement Unit Determination. Enforcement of the terms of said covenant shall be the responsibility of LAHD. The Applicant shall submit a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and any monitoring requirements established by the LAHD.
6. **100% Affordable Housing Project (ED1).** If the project changes at any time during the review or construction process such that it no longer meets ED 1 eligibility criteria, the project is disqualified from ED1 streamlining and all prior determinations on the project become inapplicable. For projects requiring a City Planning application, if a project changes at any point during the City Planning review or post-approval process such that the project would no longer qualify for ED 1, a new application for the revised project must be filed.
7. **Density Bonus Incentives and Waivers**
 - i. **Bicycle Parking (Off-Menu).** The project shall allow zero long-term bicycle parking spaces, as shown in Exhibit "A".

- ii. **Horizontal Plane Break (Off-Menu).** The project shall not be required to comply with the horizontal plane break Qualified (“Q”) Condition, as shown in Exhibit “A”.
 - iii. **Vertical Plane Break (Off-Menu).** The project shall not be required to comply with the vertical plane break Qualified (“Q”) Condition, as shown in Exhibit “A”.
 - iv. **Building Step back (Off-Menu).** The project shall not be required to comply with the 10-foot step back Qualified (“Q”) Condition, as shown in Exhibit “A”.
 - v. **Front Yard (Waiver).** The project shall have a minimum 4 feet 9 inches front yard setback, as shown in Exhibit “A”.
 - vi. **Side Yard (Waiver).** The project shall have a minimum 5 feet 6 inches westerly side yard setback, as shown in Exhibit “A”.
 - vii. **Side Yard (Waiver).** The project shall have a 5 feet 6 inches minimum easterly side yard setback, as shown in Exhibit “A”.
 - viii. **Rear Yard (Waiver).** The project shall have a minimum 5 feet 6 rear yard setback, as shown in Exhibit “A”.
 - ix. **Floor Area Ratio (Waiver).** The project total floor area shall be limited to 21,029 square and a 3.82:1 FAR, as shown in Exhibit “A”.
 - x. **Open Space (Waiver).** The project shall have a minimum of 706 square feet of usable open space per Exhibit “A”.
 - xi. **Parking (Waiver).** The project shall allow zero parking spaces, as shown in Exhibit “A”.
8. **Bicycle Parking.** Short-term bicycle parking shall be provided consistent with LAMC Section 12.21 A.16.
9. **Street Trees.** Street trees shall be provided to the satisfaction of the Urban Forestry Division. Street trees may be used to satisfy on-site tree requirements pursuant to LAMC Article Section 12.21 G.2.
10. **Required Trees per 12.21 G.2.** As conditioned herein, a final submitted landscape plan shall be reviewed to be in substantial conformance with Exhibit “A”. There shall be a minimum of eleven 24-inch box, or larger, trees on site pursuant to LAMC Section 12.21 G.2. Any required trees pursuant to LAMC Section 12.21 G.2 shown in the public right of way in Exhibit “A” shall be preliminarily reviewed and approved by the Urban Forestry Division prior to building permit issuance. In-lieu fees pursuant to LAMC Section 62.177 shall be paid if placement of required trees in the public right of way is proven to be infeasible due to City determined physical constraints.
11. **Landscape Plan.** The landscape plan shall indicate landscape points for the project equivalent to **10% more than otherwise required** by LAMC 12.40 and Landscape Ordinance Guidelines “O”. All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be attractively landscaped, including an automatic irrigation system, and maintained in accordance with a landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning.

12. **SB 8 Replacement Units (Government Code Section 66300 et seq.)** The project shall be required to comply with the Replacement Unit Determination (RUD) letter, dated August 8, 2023, to the satisfaction of LAHD. The most restrictive affordability levels shall be followed in the covenant. In the event the On-site Restricted Affordable Units condition requires additional affordable units or more restrictive affordability levels, the most restrictive requirements shall prevail.
13. **Qualified “Q” Conditions.** Prior to the issuance of a building permit, the applicant shall demonstrate compliance with the applicable Qualified “Q” Conditions of Ordinance No. 186,249.

Administrative Conditions

14. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff “Plans Approved”. A copy of the Plans Approved, supplied by the applicant, shall be retained in the subject case file.
15. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet and shall include any modifications or notations required herein.
16. **Approval, Verification and Submittals.** Copies of any approvals guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
17. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
18. **Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
19. **Recording Covenant.** Prior to the issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder’s Office. The agreement (Covenant and Agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs, or assigns. The agreement with the conditions attached must be submitted to the Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder’s number and date shall be provided to the Development Services Center at the time of Condition Clearance for attachment to the subject case file.

20. Indemnification and Reimbursement of Litigation Costs. Applicant shall do all of the following:

- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes

actions, as defined herein, alleging failure to comply with any federal, state, or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

PROJECT BACKGROUND

Subject Property

The project site is located in the West Los Angeles Community Plan and is comprised of two (2) regular-shaped lots with a total area of approximately 8,756 square feet or approximately 0.20 acres. The project site is located in the [Q]RD1.5-1 Zone with a Land Use designation of Low Medium II Residential and is under the West Los Angeles Transportation Improvement and Mitigation Specific Plan. The site has a street frontage of approximately 83 feet along the east side of Missouri Avenue and is approximately 105 feet in depth. The project site is located approximately .66 kilometers (0.4 miles) from the Santa Monica Fault and is not located within the Alquist-Priolo Fault Zone. The site is not located within a designated hillside area, very high fire hazard severity zone, flood zone, landslide, liquefaction area, or tsunami inundation zone. The tree disclosure statement, signed by Steve Scheibe dated July 5, 2023, stated that there are no protected tree or shrub species on the site or adjacent to the site. There is one (1) existing street tree which is proposed to remain.

The existing project site was developed with a one-story, single family residential unit with a detached garage in one (1) lot and a one-story, single family residential unit in the other. Both residences and the garage were approved by Building and Safety for demolition on August 25, 2023.

Project Description

The project is for the construction of a new four-story, 50 foot 9-inch-tall development with 44 residential dwelling units (including two (2) units for Very Low-Income Household occupancy, 34 units for Low Income Household occupancy, seven (7) units for Moderate Income Household occupancy, and one (1) manager's unit). The project will have a proposed Floor Area Ratio (FAR) of approximately 3.82:1 with approximately 21,029 square feet of floor area. Zero parking spaces are proposed.

Ministerial Review

Following the Mayor's Declaration of Local Emergency dated December 12, 2022, Executive Directive 1 (ED1) went into effect on December 16, 2022, to facilitate the expeditious processing of shelters and 100 percent affordable housing projects to address the homelessness crisis in the City of Los Angeles. A 100 percent Affordable Housing Project is defined as "A project with at least 5 units that has at least two-thirds residential square footage, with all units affordable at 80% of Area Median Income (HUD) levels, OR affordable at mixed income with up to 20% of units at 120% AMI (HCD rents) and the balance at 80% AMI or lower (HUD rents) as technically described here: A housing development project defined in Government Code Section 65589.5 that includes 100% restricted affordable units (excluding any manager's units) for which rental or mortgage amounts are limited so as to be affordable to and occupied by, Lower Income households, as defined by CA Health and Safety Code 50079.5, or that meets the definition of a 100% affordable housing development in CA Gov. Code 65915(b)(1)(G)2, as determined by the Los Angeles Housing Department (LAHD)". For 100 percent affordable housing projects and shelters, the Directive requires the review be completed within 60 days after the application is complete.

Housing Replacement

Pursuant to LAMC Section 12.22 A.25, an eligible Housing Development shall be eligible for Density Bonus Incentives if it meets any applicable replacement requirements of California Government Code Section 65915(c)(3) (California State Density Bonus Law).

Pursuant to the Senate Bill 8 Replacement Unit Determination made by the Los Angeles Housing Department (LAHD) dated August 8, 2023, LAHD determined that two (2) units need to be replaced with equivalent type units including two (2) units restricted to Very Low-Income Households.

Density Bonus Incentives and Waivers

Pursuant to State Density Bonus Law under Government Codes Section 65915, which was amended under AB 2334, awards a project located in a very low vehicle travel area, as defined in subdivision (o)(4) of Section 65915 of the California Government Code, a waiver from any maximum controls on density and a height increase of up to three additional stories, or up to 33 additional feet. As a 100 percent affordable housing project within a very low vehicle travel area, the project is utilizing the unlimited density increase and an additional height increase of 5 feet and 9 inches.

LAMC Section 12.22 A.25 and State Density Bonus Law (Government Code Section 65915) outline types of relief that minimize restrictions on the size of the project. In exchange for meeting the minimum set-aside requirements, the project may receive a set of incentives and concessions, and waivers to deviate from development standards in order to facilitate the provisions of affordable housing at the site. The requested incentives allow the developer to expand the building envelope so the additional affordable units can be constructed, provide for design efficiencies, and allow the overall space dedicated to residential uses to be increased. Given that the applicant is providing 100 percent of dwelling units, except for the manager's unit, to be affordable at Very Low-Income Households, Low Income Households and Moderate-Income Households occupancy for a period of 55 years, the project is eligible for four (4) incentives under AB 2334. The applicant is requesting the following four (4) Off-Menu Incentive and seven (7) Waivers of Development Standard:

- **Bicycle Parking (Off-Menu).** A reduction in bicycle parking to allow zero long-term bicycle parking spaces in lieu of the 38 long-term bicycle parking spaces otherwise required by LAMC Section 12.21 A.16.
- **Horizontal Plane Break (Off-Menu).** An elimination of the horizontal plane articulation every 15 feet in length as otherwise required by Ordinance No. 186,249 Qualified ("Q") Condition No. C.1.b.
- **Vertical Plane Break (Off-Menu).** An elimination of the vertical plane articulation every 20 feet in height as otherwise required by Ordinance No. 186,249 Qualified ("Q") Condition No. C.1.b.
- **Building Step back (Off-Menu).** An elimination of the 10-foot step back for portions of the building above three (3) stories as otherwise required by Ordinance No. 186,249 Qualified ("Q") Condition No. A.2.a.
- **Front Yard (Waiver).** A reduction in the front yard setback, allowing 4 feet 9 inches in lieu of the 15 feet otherwise required in the [Q]RD1.5-1 Zone
- **Side Yard (Waiver).** A reduction in the westerly side yard setback, allowing 5 feet 6 inches in lieu of the 7 feet otherwise required in the [Q]RD1.5-1 Zone.
- **Side Yard (Waiver).** A reduction in the easterly side yard setback, allowing 5 feet 6 inches in lieu of the 7 feet otherwise required in the [Q]RD1.5-1 Zone.

- **Rear Yard (Waiver).** A reduction in the rear yard setback, allowing 5 feet 6 inches in lieu of the 15 feet otherwise required in the [Q]RD1.5-1 Zone.
- **Floor Area Ratio (Waiver).** An increase in FAR to allow 3.82:1 in lieu of the otherwise allowable 3:1 FAR in the [Q]RD1.5-1 Zone.
- **Open Space (Waiver).** A reduction in open space to allow 706 square feet in lieu of the 4,475 square feet otherwise required by LAMC Section 12.2 G.
- **Parking (Waiver).** A reduction in parking to zero parking spaces in lieu of the 68 parking spaces otherwise required by LAMC Section 12.22 A.25 Parking Option 1.

The record does not contain substantial evidence that would allow the decision maker to make a finding that the requested incentives do not result in identifiable and actual cost reduction to provide for affordable housing costs per State Law. The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for very low-, low-, and moderate-income households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed a predetermined percentage of income based on area median income thresholds dependent on affordability levels.

The project requests four (4) Off-Menu incentives for bicycle parking, horizontal and vertical articulation and building step back. Strict compliance with the bicycle parking, building step back, and façade plane changes required for articulation per the Q Condition requirement would reduce the buildable area for new development and reduce the number and range of units that could be developed. There is no evidence in the record that the proposed incentives would have a specific adverse impact. A “specific adverse impact” is defined as “a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete” per LAMC Section 12.22 A.25(b). The project does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments. There is no evidence in the record which identifies a written objective health and safety standard that has been exceeded or violated. Based on the above, there is no basis to deny the requested incentive.

There is no evidence in the record that the proposed incentives are contrary to state or federal law. A project that provides 44 of total units, with two (2) units for Very Low Income, 34 units for Low Income Households, and seven (7) unit for Moderate Income Households, qualifies for four (4) Incentives, and may request other “waiver[s] or reduction[s] of development standards that will have the effect of physically precluding the construction of a development meeting the [affordable set-side percentage] criteria of subdivision (b) at the densities or with the concessions or incentives permitted under [State Density Bonus Law]” (Government Code Section 65915(e)(1)).

Therefore, the requests for the following are recommended as Waivers of Development Standard. Without the below Waivers, the existing development standards would preclude development of the proposed density bonus units and project amenities.

Yard Reductions: The RD1.5 Zone requires a both a 15-foot setback for the front and rear yards and 5-foot side yard setbacks which require an additional foot for every story constructed over the second story. The four-story building would require 7-foot side yard setbacks. The proposed project includes units that have an area of 300 to 400 square feet. By reducing the required setbacks, the project is allowed an additional 1,600 square feet per floor which helps

accommodates about four (4) extra units per floor, creating about a total of 16 additional affordable units.

Floor Area Ratio: The RD1.5-1 Zone allows a 3:1 floor area ratio. The project site has an area of 8,756 square feet. Considering the required setbacks, the project ends with a total of 5,511 square feet of buildable area. At a 3:1 floor area ratio the is allowed a maximum floor area or 16,533 square feet. The requested waiver from the floor area ratio requirement allows the project to increase the total floor area from 16,533 square feet to 21,029 square feet. By waiving this development standard and allowing the addition floor area, the project can integrate an additional floor and the developer will not be physically precluded from constructing the proposed development with 44 dwelling units of which 43 units will be reserved for affordable units.

Open Space Reduction: LAMC Section 12.21 G requires 100 square feet of usable open space per dwelling unit with less than 3 habitable rooms and 125 square feet for dwelling units with three (3) habitable rooms. For the proposed project with eight (8) studios, 33 one-bedroom units, and three (3) two-bedroom units, a total of 4,475 square feet of usable open space would be required. Strict compliance with the open space requirements would physically preclude construction of the development proposing 44 dwelling units, two (2) of which will be set aside for Very Low-Income Households, 34 for Low Income Households, and seven (7) for Moderate Income Households. The applicant has requested a Waiver of Development Standards for an 85 percent reduction to allow 706 square feet of open space. Without the incentive to reduce the minimum usable open space required to 706 square feet, the project would need to provide an additional 3769 square feet of common open space on-site. Compliance with the minimum usable open space provision would require the removal of floor area that could otherwise be dedicated to the number, configuration, and livability of affordable housing units. Specifically, the project would not only need to comply with the total amount of usable open space requirements, but also the design, dimension, and area requirements set forth in LAMC Section 12.21 G. Common open space would need to be at least 15 feet in width on all sides, have a minimum area of 400 square feet, and be open to sky. The project would lose floor area to meet all of these additional requirements for common open space. The requested waiver will allow the developer to expand the building envelope to the construction of additional units and the overall space dedicated to residential uses is increased. By waiving this development standard, the developer will not be physically precluded from constructing the proposed development with 44 dwelling units including 43 affordable units.

Parking: The project is requesting a Waiver of Development Standard to allow for a deviation from the requirement and provide zero parking spaces. LAMC Section 12.21 A.4(a) requires 1.5 parking spaces for studios and one-bedroom units, 2 parking spaces for two- and three-bedroom units and 2.5 parking spaces for units with four or more bedrooms. The project is proposing 41 dwelling units with one or less bedrooms and three (3) two-bedroom units. Strict compliance with this standard would require the project to provide a total of 68 parking spaces. Compliance with the parking requirement means that the square footage that which would be used for the driveway, parking spaces, drive aisle and turn around points would be underutilized and lost. By allowing the waiver from the parking requirement, the project will be able to accommodate additional units to provide a total of 44 dwelling units.

CONCLUSION

As a Density Bonus Housing Project that satisfies all the objective planning standards of LAMC Section 12.22 A.25(g)(3), California Government Code Section 65915 and is a 100% affordable housing project consistent with ED1 streamlined approval, the project is considered to be a ministerial project and is statutorily exempt from the California Environmental Quality Act (CEQA).

OBSERVANCE OF CONDITIONS - TIME LIMIT - LAPSE OF PRIVILEGES

All terms and conditions of the Director's Letter of Compliance shall be fulfilled before the use may be established. The instant authorization is further conditioned upon the privileges being utilized within three years after the effective date of this determination and, if such privileges are not utilized, building permits are not issued, or substantial physical construction work is not begun within said time and carried on diligently so that building permits do not lapse, the authorization shall terminate and become void.

TRANSFERABILITY

This determination runs with the land. In the event the property is to be sold, leased, rented, or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant. If any portion of this approval is utilized, then all other conditions and requirements set forth herein become immediately operative and must be strictly observed.

VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR

The Applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any condition of this grant is violated or not complied with, then the Applicant or his successor in interest may be prosecuted for violating these conditions the same as for any violation of the requirements contained in the Municipal Code, or the approval may be revoked.

Section 11.00 of the LAMC states in part (m): "It shall be unlawful for any person to violate any provision or fail to comply with any of the requirements of this Code. Any person violating any of the provisions or failing to comply with any of the mandatory requirements of this Code shall be guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a misdemeanor may be charged by the City Attorney as either a misdemeanor or an infraction.

Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment."

Verification of condition compliance with building plans and/or building permit applications are done at the Development Services Center of the Department of City Planning at either Figueroa Plaza in Downtown Los Angeles or the Marvin Braude Building in the Valley. In order to assure that you receive service with a minimum amount of waiting, applicants are encouraged to schedule an appointment with the Development Services Center either through the Department of City Planning website at planning.lacity.org or by calling (213) 482-7052 or (818) 374-5050. The applicant is further advised to notify any consultant representing you of this requirement as well.

The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedures Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, only if the petition for writ of mandate pursuant to that section is filed no later than the 90th day following the date on which the City's decision becomes final.

Effective Date/Appeals: The decision of this Letter of Compliance is final and effective upon the mailing of this letter and not appealable.

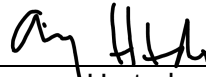
VINCENT P. BERTONI, AICP
Director of Planning

Approved by:



Michelle Singh, Senior City Planner

Prepared by:



Anacany Hurtado, City Planning Associate

EXHIBIT "A"

Page No. 1 of 16

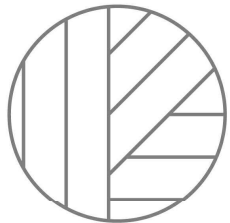
Case No. ADM-2023-4682-DB-VHCA-ED1



MISSOURI APARTMENTS

PLAN CHECK SET // 11.09.23

GENERAL		ARCHITECTURAL		ARCHITECTURAL		STRUCTURAL		OWNER // LA AFFORDABLE COMMUNITIES LLC			
G000	COVER SHEET	A000	SITE PLAN	A006	INTERIOR WALL TYPE	S1.01	GENERAL NOTES		STEVEN SCHEIBE		
G001	PROJECT INFORMATION	A110	1ST FLOOR PLAN	A011	FLOOR & WALL DETAILS	S1.02	GENERAL NOTES				
G002	SITE PHOTOS & EXISTING CONDITIONS	A120	2ND FLOOR PLAN	A020	DETAILS	S1.03	GENERAL NOTES				
G010	ZONING CODE AREA DIAGRAMS	A130	3RD FLOOR PLAN	A021	DETAILS	S1.04	TYPICAL DETAILS				
G011	BUILDING CODE AREA DIAGRAMS	A140	4TH FLOOR PLAN	A030	DOOR DETAILS	S1.05	TYPICAL DETAILS	4043 IRVING PL, SUITE B	JEFF ZBIKOWSKI, AIA		
G012	OPEN SPACE CALCULATIONS	A160	ROOF PLAN	A031	DOOR DETAILS	S1.06	TYPICAL DETAILS	CULVER CITY, CA 90232	310.853.5004 // JEFF@JZARCH.LA		
G013	OCCUPANCY LOAD DIAGRAMS - TYPE VA	A200	ELEVATIONS	A040	WINDOW DETAILS	S1.07	TYPICAL DETAILS	LANDSCAPE ARCHITECT // SAVAGE LAND DESIGN			
G014	ALLOWABLE AREA DIAGRAMS	A201	ELEVATIONS	A050	ROOF DETAILS	S1.08	TYPICAL DETAILS	680 LANGSDORF DRIVE, STE 202B	MICHAEL SAVAGE		
G015	CODE COMPLIANCE DIAGRAMS	A300	BUILDING SECTIONS	A080	INTERIOR DETAILS	S1.09	TYPICAL DETAILS	FULLERTON, CA 92831	714.878.0335 // MICHAEL@SAVAGELANDDESIGN.COM		
G016	NET RENTABLE SF CALCULATIONS	A301	BUILDING SECTIONS	A091	MISC DETAILS	S1.10	TYPICAL DETAILS	CIVIL ENGINEER // NOA ADVANCED DESIGN INC.			
G017	SCHOOL FEE CALCULATIONS	A500	ENLARGED ELEVATOR PLANS	A090	BIKE PARKING DETAILS	S1.11	TYPICAL DETAILS	450 N. BRAND BLVD STE 600	ANET AZAD		
G018	FIRE WALL CALCULATIONS	A510	ENLARGED STAIR #1 PLANS	CIVIL		S1.12	TYPICAL DETAILS	GLENDALE, CA 91203	818.445.4415 // anet@noadvanceddesign.com		
G020	GENERAL NOTES	A512	ENLARGED STAIR #2 PLANS	C-0	COVER SHEET	S1.13	TYPICAL DETAILS	STRUCTURAL ENGINEER // JSA ENGINEERING INC.			
G021	CALGREEN COMPLIANCE - RESIDENTIAL	A513	ENLARGED TRASH PLANS	C-1.0	GRADING PLAN	S1.14	TYPICAL DETAILS	P.O. BOX #153	JOHN SOLIMAN		
G025	TITLE 24 - COMPLIANCE	A600	ENLARGED UNIT PLANS	C-1.1	NOTES / SECTION	S1.15	TYPICAL DETAILS	SAN DIMAS, CA 91773	951.368.8143 // john@jsa-la.com		
G026	TITLE 24 - COMPLIANCE	A601	ENLARGED UNIT PLANS	C-1.2	APPROVAL LETTER	S1.16	TYPICAL DETAILS				
G027	TITLE 24 - COMPLIANCE	A602	ENLARGED UNIT PLANS	C-2.0	SITE LID PLAN	S1.17	TYPICAL DETAILS				
G028	TITLE 24 - COMPLIANCE	A603	ENLARGED UNIT PLANS	C-3.0	ROOF LID PLAN	S1.18	TYPICAL DETAILS				
G030	BUILDING RECORDS	A604	ENLARGED UNIT PLANS	C-4.0	DETAILS	S1.19	TYPICAL DETAILS				
G031	BUILDING RECORDS	A650	ENLARGED KITCHEN PLANS	C-4.1	TANK DETAILS	S1.20	TYPICAL DETAILS				
G035	RESIDENTIAL ACCESSIBILITY NOTES	A651	ENLARGED BATHROOM PLANS	LC-1	CONSTRUCTION LAYOUT PLAN	S1.21	TYPICAL DETAILS				
G036	RESIDENTIAL ACCESSIBILITY NOTES	A652	ENLARGED COMMON AREAS	LC-2	CONSTRUCTION DETAILS	S1.22	TYPICAL DETAILS				
G040	TYPICAL DAS DETAILS (CBC)	A653	ENLARGED COMMON AREAS	LC-3	CONSTRUCTION DETAILS	S1.23	TYPICAL DETAILS				
G041	TYPICAL DAS DETAILS (CBC)	A655	Unnamed	LANDSCAPE		S2.01	FOUNDATION PLAN				
G042	TYPICAL DAS DETAILS (CBC)	A656	Unnamed	LS-0	COVER SHEET	S2.02	2ND FLOOR FRAMING PLAN				
G045	BICYCLE RACK STANDARD DETAILS	A657	Unnamed	LC-1	CONSTRUCTION LAYOUT PLAN	S2.03	3RD FLOOR FRAMING PLAN				
G050	APPROVED SOILS LETTER	A658	Unnamed	LC-2	CONSTRUCTION DETAILS	S2.04	4TH FLOOR FRAMING PLAN				
G060	REPORTS	A710	1ST FLOOR RCP	LC-3	CONSTRUCTION DETAILS	S2.05	ROOF LEVEL FRAMING PLAN				
G061	REPORTS	A720	2ND FLOOR RCP	LI-1	IRRIGATION NOTES AND CALCS	S2.06	HIGH ROOF FRAMING PLAN				
G062	REPORTS	A730	3RD FLOOR RCP	LI-2	IRRIGATION HYDROZONES	S3.01	SECTIONS AND DETAILS				
G063	REPORTS	A740	4TH FLOOR RCP	LI-3	IRRIGATION LAYOUT PLAN	S3.02	SECTIONS AND DETAILS				
G065	CAL OSHA	A800	DOOR SCHEDULE	LI-4	IRRIGATION DETAILS	S3.03	SECTIONS AND DETAILS				
G070	AFFORDABLE HOUSING FORMS	A801	WINDOW SCHEDULE	LI-5	IRRIGATION DETAILS	S3.04	SECTIONS AND DETAILS				
G071	MODIFICATION REQUESTS	A900	WALL TYPE	LP-1	PLANTING LAYOUT PLAN	MEP					
G072	COVENANTS	A901	WALL & FLOOR TYPES	LP-2	PLANTING DETAILS						
G075	PZA	A902	WALL & FLOOR DETAILS								
G076	PZA CONT.	A903	EXTERIOR WALL DETAILS								
G078	PZA CONT.	A904	WATERPROOFING DETAILS								
G080	SURVEY	A905	WATERPROOFING DETAILS								



JZA
ARCHITECTURE

ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA

SEAL:



REVISIONS

LADBS STAMP

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ALL DESIGN IDEAS, ARRANGEMENTS AND PLANS INDICATED BY THESE DRAWINGS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NEITHER BE USED ON ANY OTHER WORK NOR BE REPRODUCED TO ANY OTHER PERSON FOR ANY USE, WHATSOEVER, WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.

CLIENT NAME:

LA AFFORDABLE
COMMUNITIES LLC

PROJECT NAME:

MISSOURI
APARTMENTS

NOT FOR CONSTRUCTION

PROJECT ADDRESS:

11418 W MISSOURI AVE
LOS ANGELES, CA 90025

JOB NUMBER:

2322

DATE:

11.09.23

SHEET TITLE:

COVER SHEET

SHEET NUMBER:

G000

DRAWING SET TITLE:

PLAN CHECK SET

11/9/2023 1:38:52 PM

ARCHITECTURAL ABBREVIATIONS

Ø	AT DIAMETER	FLR	FLOOR	P	PROPERTY LINE
AB	ANCHOR BOLT	FMC	FLOOR MATERIAL CHANGE	PIP	PROTECT IN PLACE
AC	AIR CONDITIONING	FOC	FACE OF CONCRETE	PLAM	PLASTIC LAMINATE
ACT	ACOUSTIC CEILING TILE	FOF	FACE OF FINISH	PT	PAINT
ADA	AMERICANS WITH DISABILITIES ACT	FOM	FACE OF MASONRY	PTD	PAINTED
		FOS	FACE OF STUD	QTY	QUANTITY
		FR	FIRE RESISTIVE		
		FS	FINISH SURFACE	R	RADIUS or RISER
ADJ	ADJACENT	GA	GAGE	RCP	REFLECTED CEILING PLAN
AFF	ABOVE FINISH FLOOR	QALV	GALVANIZED	RD	ROOF DRAIN
ALT	ALTERNATE	QB	GRAB BAR	REF	REFRIGERATOR
ALUM	ALUMINUM	GC	GENERAL CONTRACTOR	REQ'D	REQUIRED
APPROX	APPROXIMATELY	GYP BD	GYPSUM BOARD	REV	REVISION or REVISED
ARCH	ARCHITECT			RM	ROOM
		HB	HOSE BIBB	ROW	RIGHT OF WAY
BD	BOARD	HC	HOLLOW CORE	RRM	RESTROOM
BF	BRACE FRAME	HCW	HOLLOW CORE WOOD		
BLK	BLOCK	HDR	HEADER	SC	SOLID CORE
BM	BEAM	HM	HOLLOW METAL	SCW	SOLID CORE WOOD
BTWN	BETWEEN	HR	HANDRAIL	SF	SQUARE FEET
		HT	HEIGHT	SHT	SHEET
CL	CENTER LINE			SHTG	SHEATHING
CLG	CLOSET	INS	INSULATION	SIM	SIMILAR
CLR	CLEAR	INT	INTERIOR	SL	SLOPE
CMU	CONCRETE MASONRY UNIT	JST	JOIST	ST STL	STAINLESS STEEL
COL	COLUMN			STL	STEEL
CONC	CONCRETE	LAM	LAMINATE	STRUCT	STRUCTURAL
CONT	CONTINUOUS	LAV	LAVATORY		
CONTR	CONTRACTOR	LIN	LINOLEUM	T	TREAD
OPT	CARPET			TBD	TO BE DETERMINED
CRS	COURSES	MAX	MAXIMUM	TH	THRESHOLD
CT	CERAMIC TILE	MECH	MECHANICAL	THK	THICK
		MFR	MANUFACTURER	TJ	TRUSS JOIST
(D)	DEMOLISH	MIN	MINIMUM	TO	TOP OF
DAS	DISABLED ACCESS	MISC	MISCELLANEOUS	TOC	TOP OF CONCRETE
DBL	DOUBLE	MO	MASONRY OPENING	TOP	TOP OF PLATE
DIA	DIAMETER	MTD	MOUNTED	TOS	TOP OF SLAB
DIM	DIMENSION	MTL	METAL	TOSHTG	TOP OF SHEATHING
DN	DOWN			TOW	TOP OF WALL
DS	DOWNSPOUT	N	NOTE	TYP	TYPICAL
DWG	DRAWING	(N)	NEW		
		NIC	NOT IN CONTRACT	UNO	UNLESS NOTED OTHERWISE
(E)	EXISTING	NTS	NOT TO SCALE	VCT	VINYL COMPOSITION TILE
ELECT	ELECTRICAL			VERT	VERTICAL
ELEV	ELEVATOR	OC	ON CENTER	VIF	VERIFY IN FIELD
EOS	EDGE OF SLAB	OFCI	OWNER FURNISHED- CONTRACTOR INSTALLED		
EQ	EQUAL	OFOI	OWNER FURNISHED- OWNER INSTALLED	W/	WITH
EXT	EXTERIOR	OFVI	OWNER FURNISHED- VENDOR INSTALLED	WC	WATER CLOSET
		OH	OVERHEAD	WD	WOOD
FE	FIRE EXTINGUISHER	OPNG	OPENING	WH	WATER HEATER
FF	FINISH FLOOR			WP	WATERPROOF
FIN	FINISH			WPT	WORK POINT
FJ	FLOOR JOIST				

ARCHITECTURAL SYMBOLS

	DETAIL		WINDOW MARK		ALIGN FINISHES
	BUILDING SECTION		DOOR MARK		SMOKE DETECTOR
	WALL SECTION		WALL TYPE		FIRE EXTINGUISHER
	INTERIOR ELEVATION		WORK POINT		AREA DRAIN
	EXTERIOR ELEVATION		NOTE		FLOOR DRAIN
	ELEVATION MARK		ACCESSIBLE PATH OF TRAVEL		FLOOR MATERIAL TRANSITION
			FENCE		SECURITY OPENING
			EXIT SIGN		

EXHIBIT "A"

Page No. 2 of 16

Case No. ADM-2023-4682-DB-VHCA-ED1

OPEN SPACE CALCULATIONS

TOTAL OPEN SPACE REQUIREMENTS PER LAMC 12.21.G:																											
<3 HABITABLE ROOMS = 100 SF / UNIT (STUDIOS & 1BR UNITS)																											
=3 HABITABLE ROOMS = 125 SF / UNIT (2BR UNITS)																											
>3 HABITABLE ROOMS = 175 SF / UNIT (3BR+ UNITS)																											
<table><tr><th colspan="4">OPEN SPACE REQUIRED</th></tr><tr><th>UNIT TYPE</th><th>HABITABLE ROOMS</th><th># OF UNITS</th><th>REQ'D OPEN SPACE</th></tr><tr><td>1 BR</td><td></td><td>33</td><td>3,300 SF</td></tr><tr><td>2 BR</td><td></td><td>3</td><td>375 SF</td></tr><tr><td>STUDIO</td><td></td><td>8</td><td>800 SF</td></tr><tr><td>GRAND TOTAL</td><td></td><td>44</td><td>4,475 SF</td></tr></table>				OPEN SPACE REQUIRED				UNIT TYPE	HABITABLE ROOMS	# OF UNITS	REQ'D OPEN SPACE	1 BR		33	3,300 SF	2 BR		3	375 SF	STUDIO		8	800 SF	GRAND TOTAL		44	4,475 SF
OPEN SPACE REQUIRED																											
UNIT TYPE	HABITABLE ROOMS	# OF UNITS	REQ'D OPEN SPACE																								
1 BR		33	3,300 SF																								
2 BR		3	375 SF																								
STUDIO		8	800 SF																								
GRAND TOTAL		44	4,475 SF																								
OPEN SPACE PROVIDED: 706 SF ROOF DECK																											
PROJECT SEEKS WAIVER TO ALLOW 84.2% OPEN SPACE																											
PLANTED OPEN SPACE PROVIDED: 706 X 0.25 = 176.50 SF SEE LANDSCAPE DWGS.																											
TREE REQUIREMENTS: (1) 24" BOX TREE PER 4 DWELLING UNITS																											
NUMBER OF DWELLING UNITS: 44																											
TREES REQUIRED / PROVIDED: 11																											
NOTES:																											
1. A KITCHEN IS NOT CONSIDERED A HABITABLE ROOM FOR THE PURPOSES OF CALCULATING OPEN SPACE																											
2. PER LAMC 12.21.G.2(a)(1)(ii) COMMON OPEN SPACE MUST HAVE MINIMUM AREA OF 400 SF WITH NO HORIZONTAL DIMENSION LESS THAN 10' WHEN MEASURED PERPENDICULAR FROM ANY POINT ON EACH OF THE BOUNDARIES.																											
OCCUPANCY AREA CALCULATIONS																											
<table><tr><th colspan="2">OCCUPANCY LOADS CALCULATIONS</th></tr><tr><th>OCCUPANCY TYPE</th><th>AREA</th></tr><tr><td>A-3</td><td>743 SF</td></tr><tr><td>B</td><td>105 SF</td></tr><tr><td>R-2</td><td>16,386 SF</td></tr><tr><td>S-2</td><td>867 SF</td></tr><tr><td>Grand total</td><td>18,102 SF</td></tr></table>				OCCUPANCY LOADS CALCULATIONS		OCCUPANCY TYPE	AREA	A-3	743 SF	B	105 SF	R-2	16,386 SF	S-2	867 SF	Grand total	18,102 SF										
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B	105 SF																										
R-2	16,386 SF																										
S-2	867 SF																										
Grand total	18,102 SF																										

SCHOOL FEES CALCULATION

AREA SCHEDULE (SCHOOL FEES)		
LEVEL	NAME	AREA
1ST FLOOR	TYPE VA	6,233 SF
2ND FLOOR	TYPE VA	6,113 SF
3RD FLOOR	TYPE VA	6,113 SF
4TH FLOOR	TYPE VA	6,113 SF
		24,572 SF

BUILDING CODES USED

2023 LOS ANGELES MUNICIPAL CODE (LAMC)	2022 CALIFORNIA FIRE CODE (CFC)
2022 CALIFORNIA BUILDING CODE (CBC)	2022 CALIFORNIA RESIDENTIAL CODE (CRC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)	2022 CALIFORNIA GREEN BUILDING CODE (CGBC)
2022 CALIFORNIA MECHANICAL CODE (CMC)	
2022 CALIFORNIA PLUMBING CODE (CPC)	

SEPARATE PERMITS

MECHANICAL	FIRE SPRINKLER SYSTEM
ELECTRICAL	BLOCK WALL
PLUMBING	ELEVATOR
FIRE ALARM SYSTEM	

DEFERRED SUBMITTALS

FIRE ALARM SYSTEM
FIRE-SPRINKLER SYSTEM

ZONING CODE AREA CALCULATIONS

BUILDABLE AREA DEFINITION PER LAMC 12.03: PRE-HIGHWAY DEDICATION LOT AREA MINUS SETBACKS FOR A 1-STORY BUILDING	
FLOOR AREA DEFINITION PER LAMC 12.03: AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING: EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING EQUIPMENT OR MACHINERY, PARKING AREAS WITH ASSOCIATED DRIVEWAYS AND RAMPS, SPACE FOR THE LANDING OR STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS.	
BASE ALLOWABLE FAR PER LAMC 12.09.1: 3:1 PER LA (Q)RD1.5-1 ZONE	
BONUS ALLOWABLE FAR PER LAMC 12.22.A.25: 35% BONUS PER LAMC 12.22.A.25 3 X 1.35 = 4.05 FAR ALLOWED	
TOTAL ALLOWABLE FLOOR AREA: BUILDABLE AREA X ALLOWABLE FAR = ALLOWABLE FLOOR AREA 5,511 SF X 4.05 = 22,319.5 SF	
FLOOR AREA RATIO (FAR) DEFINITION PER LAMC 12.03: A RATIO ESTABLISHING RELATIONSHIP BETWEEN A PROPERTY AND THE AMOUNT OF DEVELOPMENT PERMITTED FOR THAT PROPERTY, AND IS EXPRESSED AS A PERCENTAGE OR A RATIO OF THE BUILDABLE AREA OR LOT SIZE. (EXAMPLE: "3 TIMES THE BUILDABLE AREA" OR "3:1").	
TOTAL PROVIDED FLOOR AREA: 21,029 SF 3.8:1 FAR, SEE G010 FOR FLOOR AREA CALCS	

UNIT SCHEDULE & AFFORDABILITY

UNIT SCHEDULE					
NAME	NUMBER OF BEDROOMS	COUNT	REQUIRED OPEN SPACE	REQUIRED PARKING	AREA
1 BR	1	6	600 SF	9	2,280 SF
STUDIO	0	2	200 SF	3	690 SF
1ST FL FFE: 8		8	800 SF	12	2,969 SF
1 BR	1	9	900 SF	13.5	3,472 SF
2 BR	2	1	125 SF	2	552 SF
STUDIO	0	2	200 SF	3	690 SF
2ND FL FFE: 12		12	1,225 SF	18.5	4,714 SF
1 BR	1	9	900 SF	13.5	3,472 SF
2 BR	2	1	125 SF	2	552 SF
STUDIO	0	2	200 SF	3	690 SF
3RD FL FFE: 12		12	1,225 SF	18.5	4,714 SF
1 BR	1	9	900 SF	13.5	3,472 SF
2 BR	2	1	125 SF	2	552 SF
STUDIO	0	2	200 SF	3	690 SF
4TH FL FFE: 12		12	1,225 SF	18.5	4,714 SF
Grand total: 44		44	4,475 SF	67.5	17,112 SF

BICYCLE PARKING

BICYCLE PARKING REQUIRED PER LAMC 12.21.A.16:	
LONG TERM PARKING:	UNITS 1-25: 1 STALL PER UNIT UNITS 26-44: 1 STALL PER 1.5 UNITS 38 STALLS REQUIRED
SHORT TERM PARKING:	UNITS 1-25: 1 STALL PER 10 UNITS UNITS 26-44: 1 STALL PER 15 UNITS 4 STALLS REQUIRED
BICYCLE PARKING PROVIDED:	
LONG TERM PARKING:	0 STALLS (PROJECT SEEKS OFF-MENU REDUCTION)
SHORT TERM PARKING:	4 STALLS

AUTOMOBILE PARKING

REQUIRED PARKING = 63 STALLS
PARKING PROVIDED = 9 STALLS (PROJECT SEEKS WAIVER OF DEVELOPMENT STANDARD)

PROJECT INFORMATION

PROJECT NAME:	MISSOURI APARTMENTS
ADDRESS:	11418 W MISSOURI AVE LOS ANGELES, CA 90025
ENTITLEMENTS:	
OWNER:	LA AFFORDABLE COMMUNITIES LLC
PROJECT DESCRIPTION:	NEW CONSTRUCTION, 44-UNIT, 100% AFFORDABLE HOUSING DEVELOPMENT SEEKING OFF-MENU INCENTIVES AND WAIVERS PER LAMC 12.22.A25 & AB2334
PROJECT FUNDING:	100% PRIVATELY FUNDED THIS IS NOT A PUBLIC HOUSING FACILITY OWNED AND/OR OPERATED BY, FOR OR ON BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT SHALL BE RECEIVED FROM STATE OR FEDERAL GOVERNMENTS, NOT A TCAC FACILITY AND NOT A SOCIAL SERVICE CENTER.
CONSTRUCTION TYPE:	TYPE-VA (1ST-4TH FLOORS) 14HR EXT WALLS PER LABC TABLE 601
OCCUPANCY TYPE:	R-2, S-2, B
SPRINKLERED:	NFPA-13 PER LAFC 903.2
FIRE ALARM:	MANUAL ALARM PER LAFC 907.2
ACCESSIBILITY:	CBC 11A

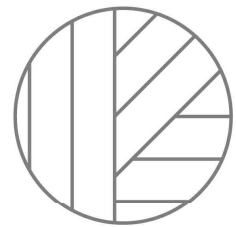
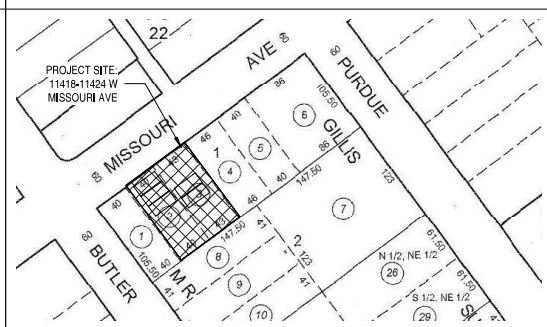
ZONING INFORMATION

ZONE:	(Q) RD1.5-1
ZONING INFORMATION:	Z1-2192 SPECIFIC PLAN: WEST LOS ANGELES TRANSPORTATION IMPROVEMENT AND MITIGATION Z1-2512 HOUSING ELEMENT INVENTORY OF SITES Z1-2495 WEST LOS ANGELES MULTI-FAMILY (Q) CONDITION
GENERAL PLAN LAND USE:	LOW MEDIUM II RESIDENTIAL
ASSESSOR PARCEL NUMBER:	4261-028-002, 4261-028-003
TRACT:	GILLIS SUBDIVISION
BLOCK:	BLK 26
LOT:	LOT 1 ARB 3, LOT 1 ARB 2
FLOOD ZONE:	OUTSIDE FLOOD ZONE
METHANE ZONE:	NONE
SITE AREA:	8,756.7 SF PER ZIMAS
REQUIRED SETBACKS:	FRONT: 15'-0" SIDE: 7'-0" (5'-0" + 1" EVERY STORY OVER 2) REAR: 15'-0"
PROVIDED SETBACKS:	FRONT: 4'-9 9/16" (SEEKS WAIVER) SIDE: 5'-0" (SEEKS WAIVER) SIDE: 5'-0" (SEEKS WAIVER) REAR: 5'-6" (SEEKS WAIVER)
ALLOWABLE HEIGHT PER LAMC:	45'-0" PER LAMC 12.21.1.A 78'-0" PER LAMC 12.22.A.25 & AB2334
PROVIDED HEIGHT PER LAMC:	50' - 8 5/8", SEE ELEVATIONS & SURVEY FOR LOWEST ADJ. GRADE
ALLOWABLE HEIGHT PER LABC:	60'-0" PER LABC TABLE 504.3
PROVIDED HEIGHT PER LABC:	50' - 8 3/8", SEE ELEVATIONS & SITE PLAN FOR GRADE PLANE
ALLOWABLE FLOOR AREA:	22,319 SF (4.05:1 FAR PER RD1.5-1 & LAMC 12.22.A.25)
PROVIDED FLOOR AREA:	21,029 SF = 3.82 FAR
ALLOWABLE DENSITY PER LAMC:	8,756 / 1,500 = 5 UNITS (PROJECT QUALIFIES FOR UNLIM DENSITY)
ALLOWABLE DENSITY PER AB2334:	UNLIMITED
PROVIDED DENSITY:	44 UNITS (2 UNIT VLI, 34 UNITS LOW, 7 UNITS MODERATE)

INCENTIVES REQUESTED

BASE INCENTIVES: 39 ADDITIONAL HEIGHT FEET OR 3 STORIES PER AB2334 UNLIMITED DENSITY PER AB2334
OFF-MENU INCENTIVES (4): 100% LONG TERM BICYCLE PARKING REDUCTION 68.3% INCREASE IN HORIZONTAL PLANE BREAK MINIMUM (Q-CONDITION - ORD 186249) 131.3% INCREASE IN VERTICAL PLANE BREAK MINIMUM (Q-CONDITION - ORD 186249) 100% REDUCTION OF 4TH FLOOR STEPBACK (Q-CONDITION - ORD 186249)
WAIVERS OF DEVELOPMENT STANDARDS (7): WAIVER TO ALLOW 68.1% FRONT YARD REDUCTION WAIVER TO ALLOW 21.3% SIDE YARD REDUCTION WAIVER TO ALLOW 21.3% SIDE YARD REDUCTION WAIVER TO ALLOW 63.4% REAR YARD REDUCTION WAIVER TO ALLOW 27.4% FAR INCREASE WAIVER TO ALLOW 84.3% OPEN SPACE REDUCTION WAIVER TO ALLOW ZERO PARKING

VICINITY MAP



JZA
ARCHITECTURE

ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
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INFO@JZARCH.LA

SEAL:



REVISIONS:

LADRS STAMP

00022, JEFF ZBIKOWSKI ARCHITECTURE

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CLIENT NAME:

LA AFFORDABLE
COMMUNITIES LLC

PROJECT NAME:

MISSOURI
APARTMENTS

NOT FOR CONSTRUCTION

PROJECT ADDRESS:

11418 W MISSOURI AVE
LOS ANGELES, CA 90025

JOB NUMBER:

2322

DATE:

11.09.23

SHEET TITLE:

PROJECT
INFORMATION

SHEET NUMBER:

G001

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PLAN CHECK SET

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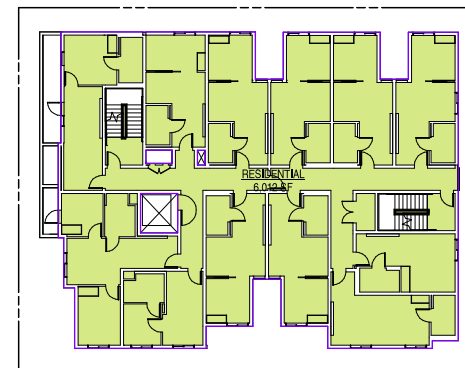
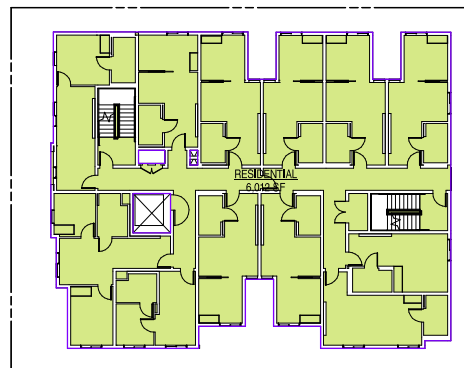
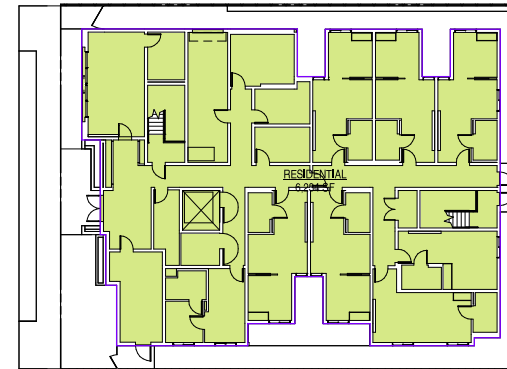
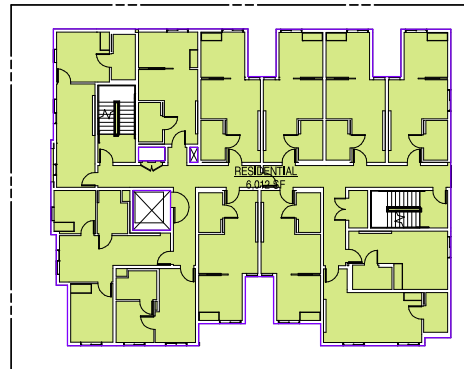


EXHIBIT "A"

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Case No. ADM-2023-4682-DB-VHCA-ED

KEYNOTES

AREA SCHEDULE (GROSS BUILDING)		
LEVEL	NAME	AREA
1ST FL FFE	RESIDENTIAL	6,234 SF
2ND FL FFE	RESIDENTIAL	6,012 SF
3RD FL FFE	RESIDENTIAL	6,012 SF
4TH FL FFE	RESIDENTIAL	6,012 SF
RESIDENTIAL		24,270 SF
GRAND TOTAL		24,270 SF



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CLIENT NAME:

LA AFFORDABLE COMMUNITIES LLC

PROJECT NAME:

MISSOURI
APARTMENTS

NOT FOR CONSTRUCTION

PROJECT ADDRESS:

11418 W MISSOURI AVE
LOS ANGELES, CA 90025

JOB NUMBER:

2322

DATE: _____

DATE:
11.09.23

SHEET TITLE:

BUILDING CODE AREA DIAGRAMS

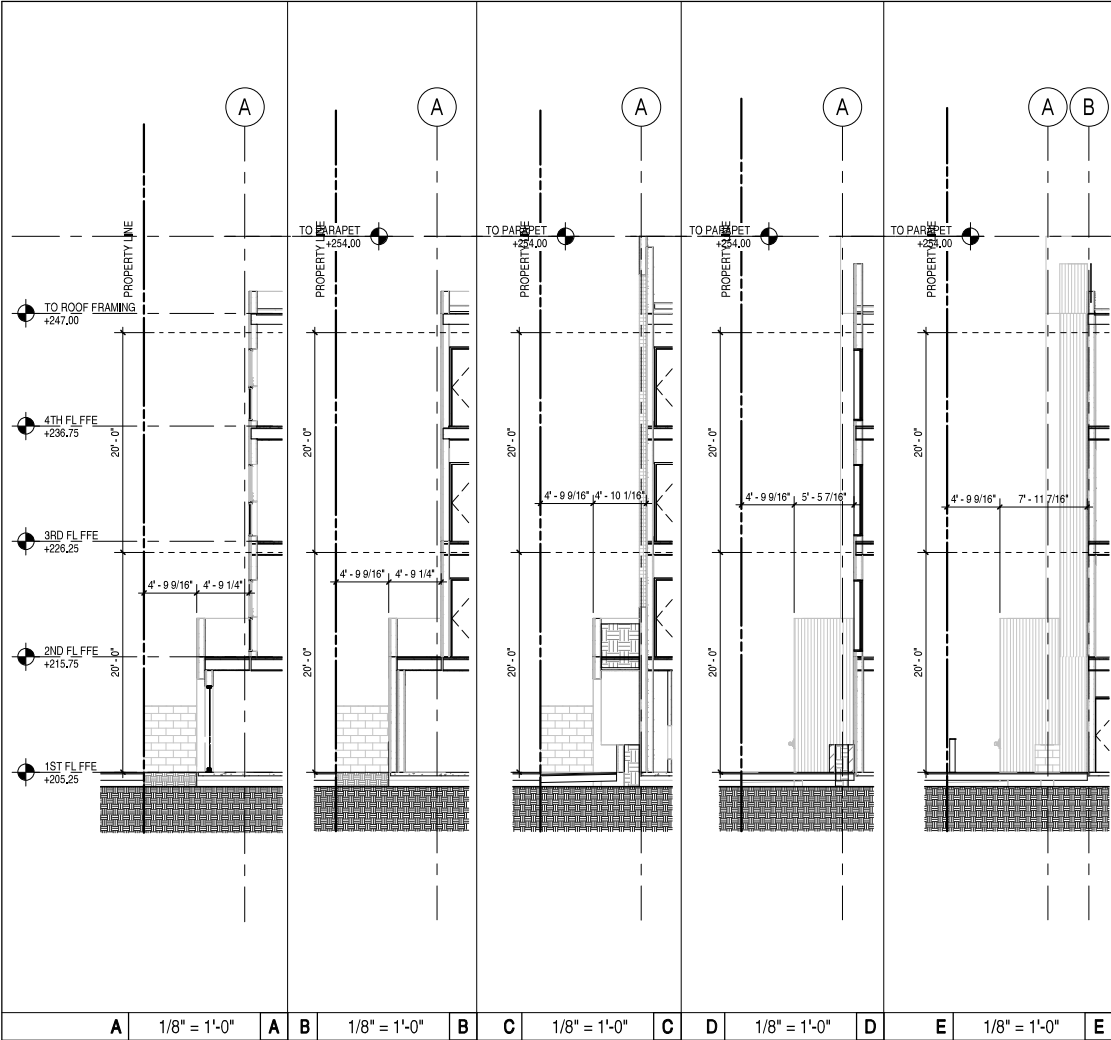
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G011

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DRAWING SET TITLE:
PLAN CHECK SET

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TOTAL HORIZONTAL PLANE BREAK INCREASE = 25' - 2 7/8" = 68% INCREASE (Q-CONDITION MINIMUM)
TOTAL VERTICAL PLANE BREAK INCREASE = 48' - 3" = 131% INCREASE (Q-CONDITION MINIMUM)

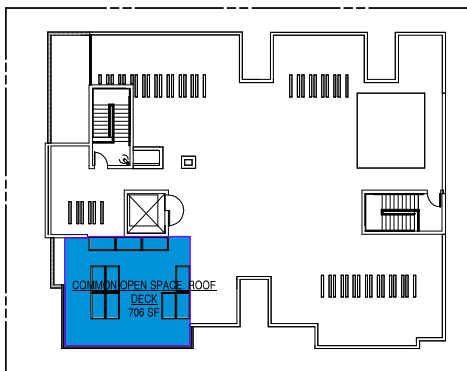


EXHIBIT "A"
Page No. 4 of 16
Case No. ADM-2023-4682-DB-VHCA-ED1

KEYNOTES

OPEN SPACE PROVIDED		
TYPE	LEVEL	AREA
COMMON OPEN SPACE: ROOF DECK	ROOF	706 SF
COMMON OPEN SPACE: ROOF DECK		706 SF
GRAND TOTAL		706 SF



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CLIENT NAME
**LA AFFORDABLE
COMMUNITIES LLC**

PROJECT NAME
**MISSOURI
APARTMENTS**

NOT FOR CONSTRUCTION

PROJECT ADDRESS
11418 W MISSOURI AVE
LOS ANGELES, CA 90025

JOB NUMBER
2322

DATE
11.09.23

SHEET TITLE
**OPEN SPACE
CALCULATIONS**

SHEET NUMBER
G012

DRAWING SET TITLE
PLAN CHECK SET

MISSOURI APARTMENTS

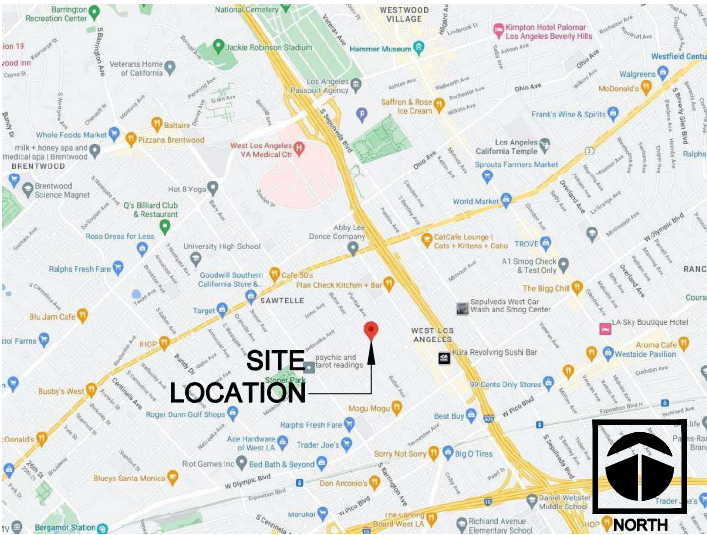
11418-11424 W. MISSOURI AVE, LOS ANGELES 90025

LANDSCAPE ARCHITECT

SAVAGE LAND DESIGN
680 LANGSDORF DRIVE, SUITE 202B
FULLERTON, CA 92831

CONTACT: MICHAEL SAVAGE, RLA #4397
714-878-0335
MICHAEL@SAVAGELANDDESIGN.COM

VICINITY MAP



SHEET INDEX

CS-0	COVERSHEET	1 OF 11
LC-1	CONSTRUCTION LAYOUT PLAN	2 OF 11
LC-2	CONSTRUCTION DETAILS	3 OF 11
LC-3	CONSTRUCTION DETAILS	4 OF 11
LI-1	IRRIGATION NOTES AND CALCULATIONS	5 OF 11
LI-2	IRRIGATION HYDROZONES	6 OF 11
LI-3	IRRIGATION LAYOUT PLAN	7 OF 11
LI-4	IRRIGATION DETAILS	8 OF 11
LI-5	IRRIGATION DETAILS	9 OF 11
LP-1	PLANTING LAYOUT PLAN	10 OF 11
LP-2	PLANTING DETAILS	11 OF 11

GENERAL NOTES

- ALL PROPERTY LINES AND LOT LINES SHALL BE VERIFIED PRIOR TO COMMENCING WORK.
- ALL DIMENSIONS SHALL BE VERIFIED AGAINST EXISTING CONDITIONS AND ALL DISCREPANCIES REPORTED TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
- CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AND/OR GRADE DIFFERENCES WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IN WRITING. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5 FEET AND FOR SHORING AND UNDERPINNING.
- A LICENSED SURVEYOR SHALL PROVIDE MONITORING OF SHORING AND IMPROVEMENTS ON ADJACENT PROPERTIES AND SUBMIT RESULTS WITH A REPORT TO THE SHORING DESIGN ENGINEER AND TO THE BUILDING INSPECTOR ON A DAILY BASIS DURING EXCAVATION AND SHORING AND ON A WEEKLY BASIS THEREAFTER. WHERE DEWATERING IS REQUIRED, MONITORING SHALL CONTINUE UNTIL DEWATERING IS STOPPED.
- IN LIEU OF SPECIAL INSPECTION BY THE DEPUTY BUILDING INSPECTOR, THE GEOTECHNICAL ENGINEER SHALL PROVIDE CONTINUOUS INSPECTIONS DURING SHORING AND EXCAVATION OPERATIONS AND DURING REMOVAL OF SHORING.
- THE CONTRACTOR SHALL NOTIFY ADJACENT PROPERTY OWNERS BY CERTIFIED MAIL 0 DAYS PRIOR TO STARTING THE SHORING AND EXCAVATION WORK

LANDSCAPE POINT SYSTEM	
SQUARE FOOTAGE OF SITE	8,766.5 SF
POINTS REQUIRED	16 POINTS
FEATURES/TECHNIQUES	
USE CLASS I OR CLASS II COMPOST PRODUCED USING CITY ORGANIC MATERIALS (TOPGRO) IN A MAJORITY OF LANDSCAPE AREAS	5
MAIN FINISH ELEVATION OF STRUCTURE, AT AN ELEVATION OR ABOVE OR BELOW THE FINISH ELEVATION OF THE SIDEWALK, SUCH THAT A STRAIGHT LINE PERPENDICULAR TO A STRAIGHT STREET OR RADIAL TO A CURVED STREET, LEADING DIRECTLY TO THE MAIN PEDESTRIAN ENTRANCE OF THE STRUCTURE, IS HANDICAP ACCESSIBLE.	5
PARKWAY PLANTING, INCLUDING MEDIANS, NOT OTHERWISE CREDITED, NOT LAWN AREA (PER EACH 50 SQUARE FEET OR FRACTION THEREOF)	15
TOTAL POINTS PROVIDED	25
WATER MANAGEMENT POINT SYSTEM	
SQUARE FOOTAGE OF SITE	8,766.5 SF
POINTS REQUIRED	200 POINTS
POINTS PROVIDED	
DRIP IRRIGATION WITH FLOW CONTROL (5)	25
AUTOMATIC IRRIGATION CONTROLLER	5
PLANTS:	
58 CARISSA MACROCARPA 'GREEN CARPET'	116
41 SENECEO SERPENS	82
40 NANDINA DOMESTICA 'FIREPOWER'	84
TOTAL POINTS PROVIDED	312
SITE AREA: 8,766.5 SF	
BUILDING FOOTPRINT: 6,239 SQ FT	
POTENTIAL LANDSCAPE AREA: 2,517.5 SQ FT	
LANDSCAPE PROVIDED: 1,973 SQ FT	

TOTAL LANDSCAPE AREA = 1,973 SF
(GROUND LEVEL AND ROOFTOP)

TOTAL COMMON OPEN SPACE AREA = 782 SF
TOTAL COMMON OPEN SPACE LANDSCAPE AREA
REQUIRED (25%) = 195.5 SF
TOTAL COMMON OPEN SPACE LANDSCAPE AREA
PROVIDED = 226.6 SF

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Page No. 5 of 16
Case No. ADM-2023-4682-DB-VHCA-ED1



MISSOURI APARTMENTS
11418-11424 W MISSOURI AVE
LOS ANGELES, CA 90025

No.	Revision / Issue	Date
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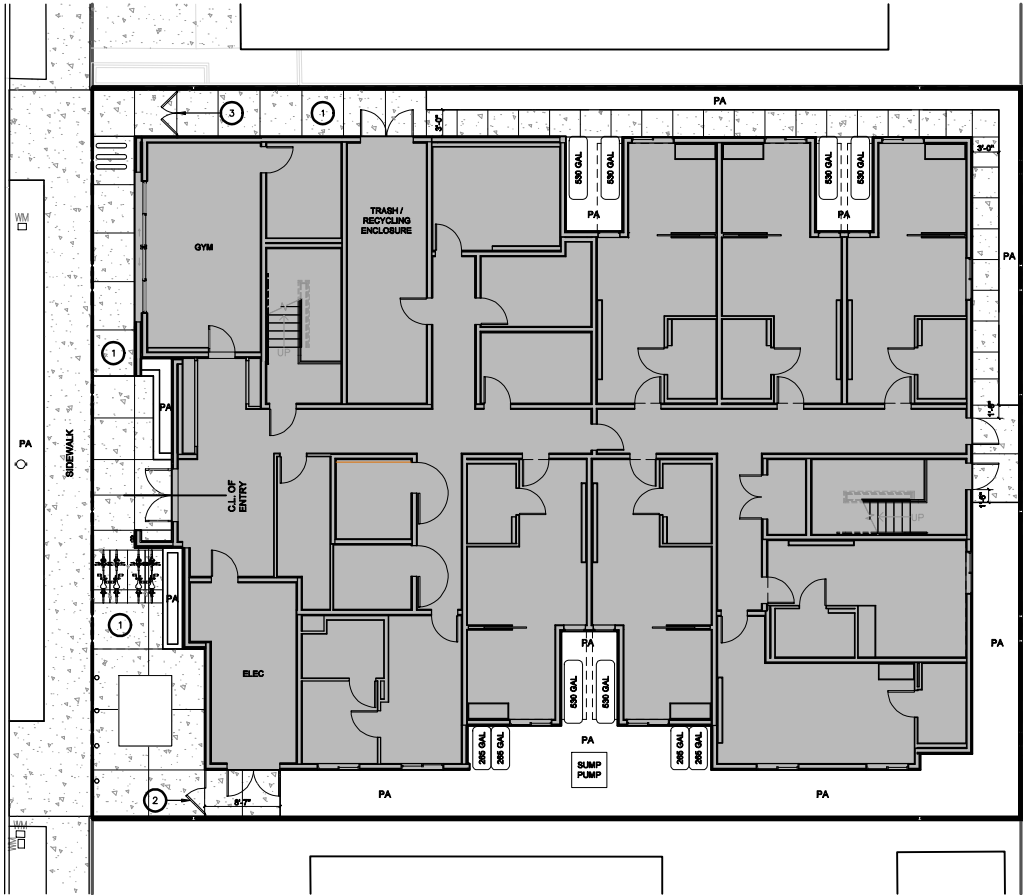
COVERSHEET

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Sheet	1 of 11	

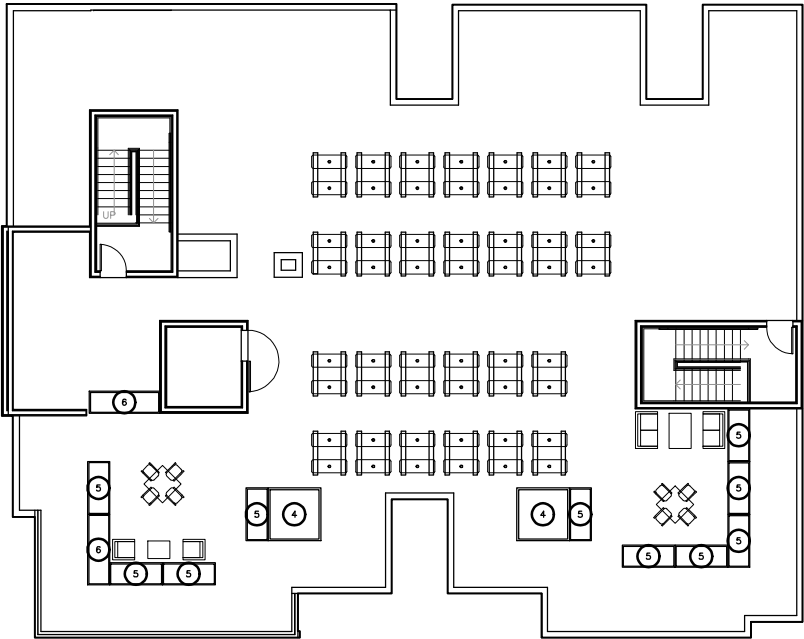


SECOND FLOOR PLAN

CONSTRUCTION LEGEND		
ITEM NO.	DESCRIPTION	SHEET / DETAIL
1	CONCRETE PAVING TO BE NATURAL GRAY (UNCOLORED) WITH MED BROWN FINISH	LC-2 / A, B, C
2	TUBULAR STEEL GATE - COLOR TO BE BLACK	LC-2 / E
3	TUBULAR STEEL DOUBLE GATE - COLOR TO BE BLACK	LC-2 / F
4	72" SQ. PLANTER - AVAILABLE THROUGH TOURNESOL	LC-3 / A
5	72"L X 30"W X 30"H PLANTER - AVAILABLE THROUGH TOURNESOL	LC-3 / A
6	96"L X 30"W X 30"H PLANTER - AVAILABLE THROUGH TOURNESOL	LC-3 / A



GROUND FLOOR PLAN

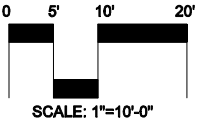


ROOF PLAN

EXHIBIT "A"

Page No. 6 of 16

Case No. ADM-2023-4682-DB-VHCA-ED1



SLD

Savage Land Design

Landscape Architecture • Land Planning • Design

680 Langsdorf Drive, Suite 202B, Fullerton, CA 92831

PHONE: 714-878-0335

EMAIL: michael@savagelanddesign.com

MISSOURI APARTMENTS

11418-11424 W MISSOURI AVE

LOS ANGELES, CA 90025

No.	Revision / Issue	Date

LICENSED LANDSCAPE ARCHITECT

Michael Savage, L.C. No. 4387

Signature

09-20-23

Date

Exp. Date: 5/31/25

STATE OF CALIFORNIA

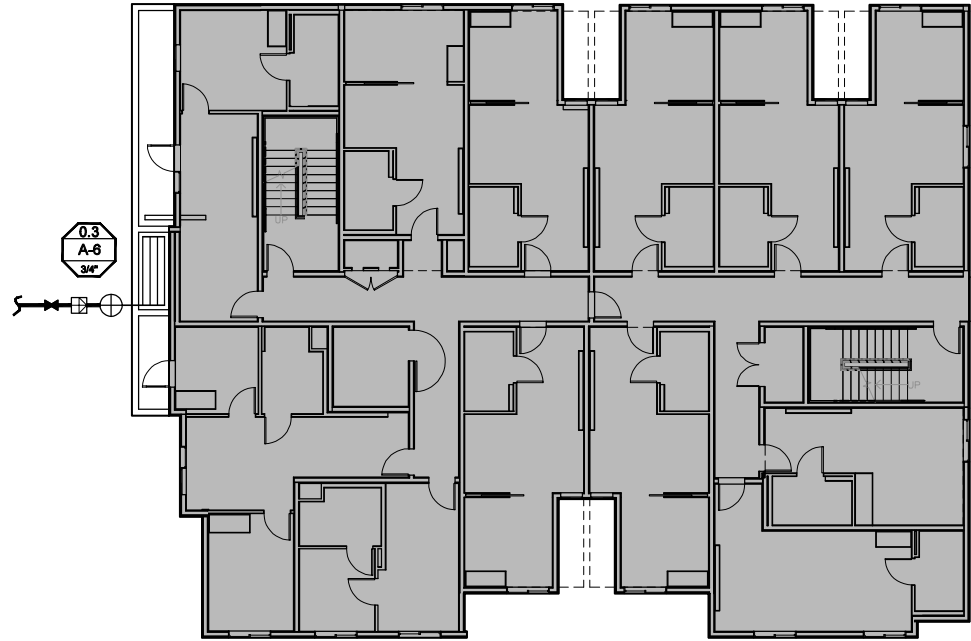
CONSTRUCTION LAYOUT PLAN

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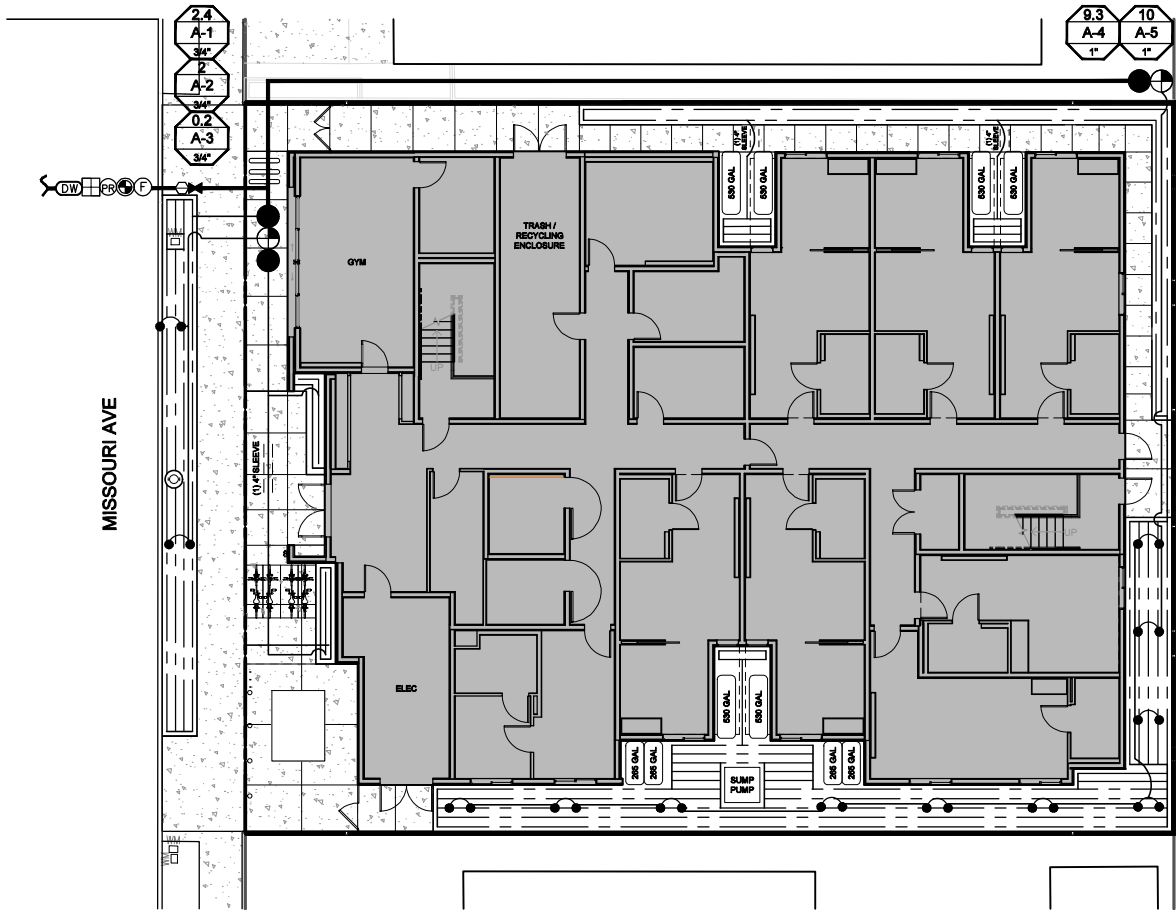
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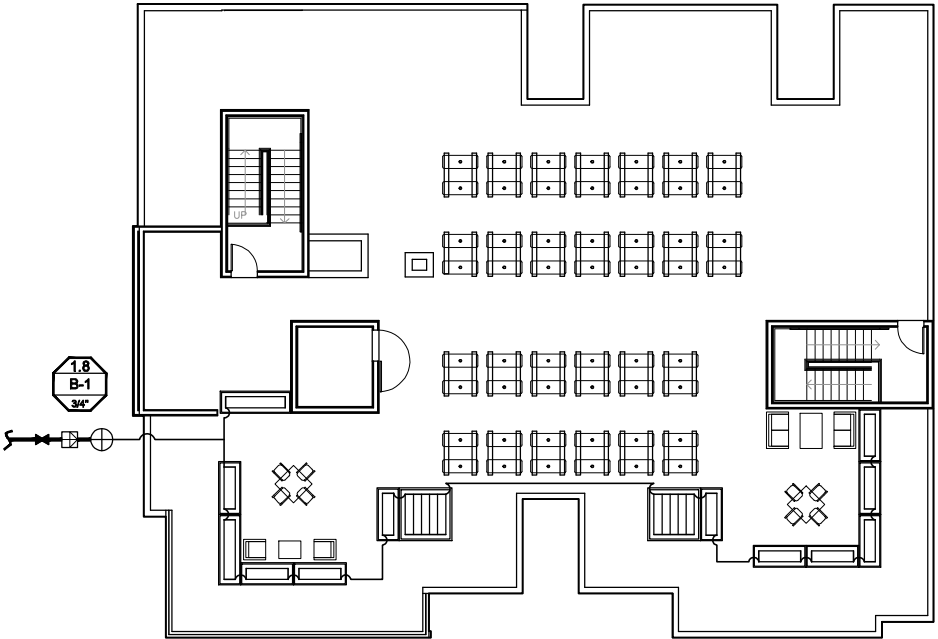
Project: LC-1



SECOND FLOOR PLAN



GROUND FLOOR PLAN



ROOF PLAN

IRRIGATION LEGEND						
SYMBOL	MANUFACTURER	MODEL NUMBER	DESCRIPTION	RAD.	P.S.I.	G.P.M.
●	RAINBIRD	1806-SAM-PRS-PA80-1402	POP-UP BUBBLER	2'	25	.50
---	HUNTER	PLD-06-18	ON SURFACE DRIPLINE - INLET PRESSURE 30 PSI			
---	HUNTER	ECO-MAT-17	BELOW GRADE DRIPLINE - INLET PRESSURE 30 PSI			
---	APPROVED	PVC SCH 40	IRRIGATION SLEEVE (SEE NOTES FOR SIZE)			
---	APPROVED	PVD CLASS 200	LATERAL LINE PIPE			
---	APPROVED	PVC SCH 40	MAIN LINE PIPE (1")			
⊕	HUNTER	PGV-101-ASV	1" ANTI-SIPHON VALVE W/ FLOW CONTROL			
⊕	HUNTER	AGZ-101-40	1" ACZ GLOBE VALVE W/ 1" H1100 FILTER SYSTEM			
⊕	HUNTER	PCZ-101-40	1" PCZ VALVE W/ 1" H1100 FILTER SYSTEM			
⊕	HUNTER	PGV-101G	1" GLOBE VALVE W/ FLOW CONTROL			
⊕	HUNTER	CONTROLLER ASSEMBLY	REFER TO IRRIGATION NOTES FOR INFORMATION			
⊕	HUNTER	CONTROLLER ASSEMBLY	REFER TO IRRIGATION NOTES FOR INFORMATION			
⊕	NIBCO	T-113-K	ISOLATION GATE VALVE (LINE SIZE)			
⊕	NEW	FLUSH VALVE ASSEMBLY	SEE DETAIL C, SHEET LI-4			
⊕	FEBCO	3/4" DOMESTIC	WATER METER FOR LANDSCAPE USE ONLY			
⊕	FEBCO	825YA	3/4" REDUCED PRESSURE BACKFLOW ASSEMBLY IN LOCKING ENCLOSURE			
⊕	RAINBIRD	100-PEB	1" MASTER VALVE			
⊕	RAINBIRD	FS100P	FLOW SENSOR			
⊕	NELSON	7642	QUICK COUPLER VALVE (LINE SIZE)			
⊕	ZURN WILKINS	1-70XL	1" WATER PRESSURE REDUCING VALVE (FNPT) - 46 PSI			

- IRRIGATION NOTES
- DESIGN PRESSURE: 30 PSI
ACTUAL STATIC PRESSURE: 98 / 74 PSI
 - CONTRACTOR SHALL PROVIDE BALL VALVE BETWEEN POINT OF CONNECTION AND CONTROL VALVE MANIFOLD. PRESSURIZED MAINLINE FROM POINT OF CONNECTION TO CONTROL VALVE SHALL BE PVC SCHEDULE 40.
 - CONTRACTOR SHALL PROVIDE (1) I-CORE IC-400-S8 8 STATION OUTDOOR CONTROLLER WITH (1) ICM-400 EXPANSION MODULES AND (1) WSS-SEN WIRELESS SOLAR SYNC SENSOR. INSTALL PER MANUFACTURE'S INSTRUCTIONS.
 - CONTRACTOR SHALL PROVIDE (1) HUNTER PC-400-STATION OUTDOOR CONTROLLER. CONTRACTOR SHALL PROVIDE (1) WSS-SEN WIRELESS SOLAR SYNC SENSOR. INSTALL PER MANUFACTURE'S INSTRUCTIONS.
 - CONTRACTOR SHALL PROVIDE 3/4" COPPER MAIN LINE WITH BALL VALVE.
 - FOR ROOF TOP LANDSCAPE, ALL LATERAL LINES SHALL BE 3/4" COPPER.
 - CONTRACTOR SHALL PROVIDE DRAIN CONNECTIONS FROM PLANTERS TO ROOF DRAIN SYSTEM.

CONTROLLER VALVE CALL-OUT

— GALLONS PER MINUTE

— CONTROLLER STATION NUMBER

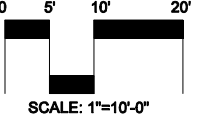
— CONTROL VALVE SIZE

CONSTRUCTION NOTES

1. THIS PROJECT WILL COMPLY WITH 2007 CBG, CPC, AND 2007 CEG AND 2008 TITLE 24 ENERGY REGULATIONS AND ALL CITY ORDINANCES.

2. THE HOUSE STREET NUMBER WILL BE VISIBLE FROM THE STREET.

3. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATES, CONSTRUCTION WASTE MATERIALS, OR WASTE WATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED CONVEYED OR DISCHARGED INTO THE STREET, GUTTER, OR STORM DRAIN SYSTEMS.



SAVAGE LAND DESIGN
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EMAIL: michael@savagelanddesign.com

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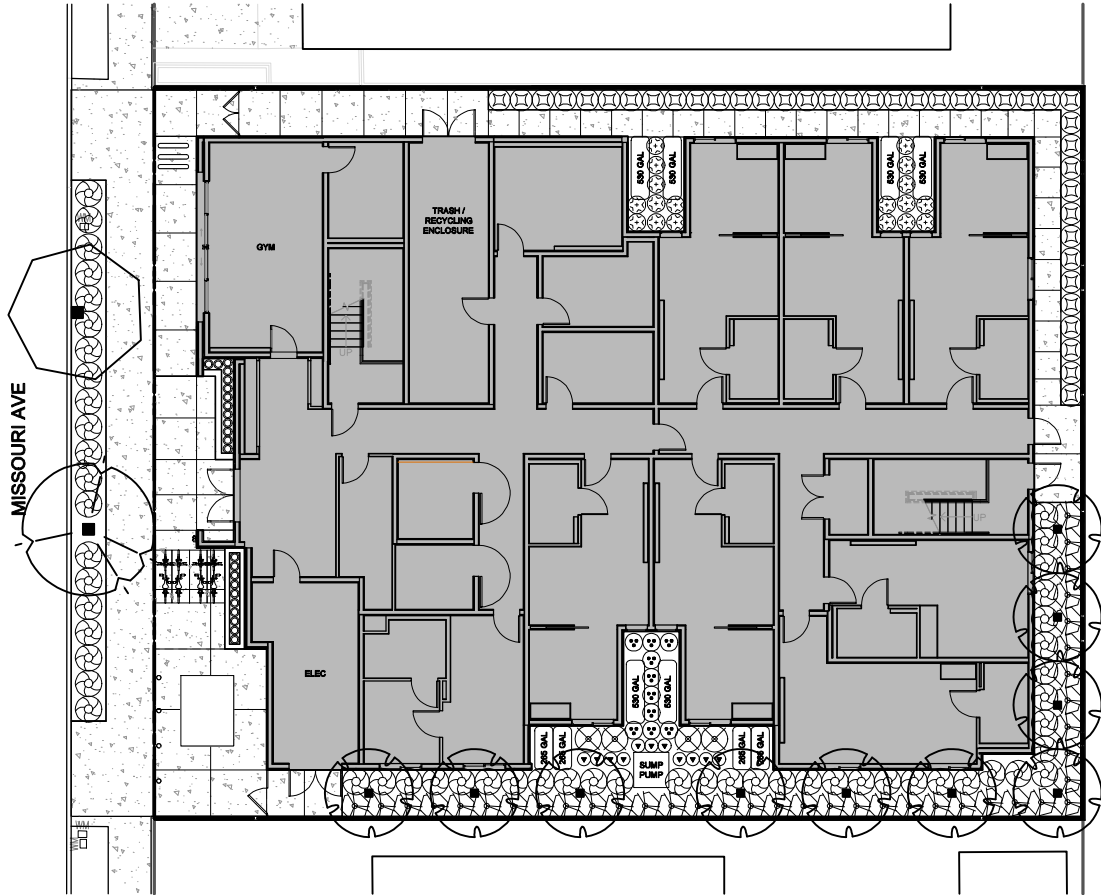
No.	Revision / Issue	Date

IRRIGATION LAYOUT PLAN

Date	09-20-23	Sheet
Scale	1"=10'-0"	LI-3
Sheet	7 of 11	



SECOND FLOOR PLAN



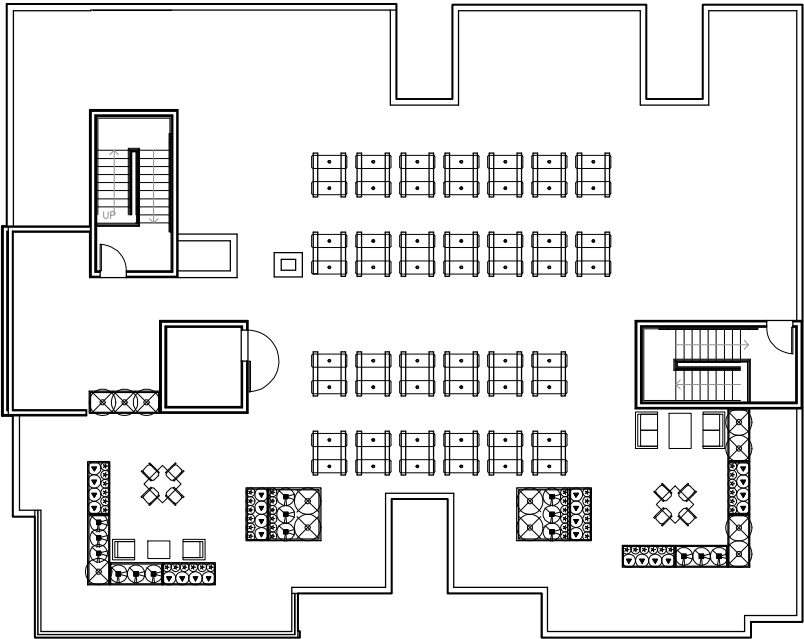
GROUND FLOOR PLAN

PLANTING LEGEND								
SYMBOL	DESCRIPTION		SIZE/SPACING	QTY.	WUCOLS	MATURE SIZE (FOOT)	TIME TO MATURITY	HYDROZON.
SHRUBS								
	CARISSA MACROCARPA 'GREEN CARPET'	GREEN CARPET NATAL PLUM	1 GAL @ 3' O.C.	56	L	1-2' X 3-4'	1-3 YRS	A
	SENECIO SERPENS	BLUE CHALKSTICKS	1 GAL @ 12" O.C.	41	L	12" X 2-3'	1-3 YRS	A
	WESTRINGIA FRUTICOSA 'SMOKEY'	COAST ROSEMARY	5 GAL @ 3' O.C.	38	L	4-6' X 4-8'	2-4 YRS	A
	NANDINA DOMESTICA 'FIREPOWER'	FIREPOWER HEAVENLY BAMBOO	1 GAL @ 30" O.C.	40	L	2-3' X 2-3'	1-3 YRS	A
	CLIVIA MINIATA (YELLOW)	YELLOW CLIVIA	1 GAL @ 2' O.C.	18	L	18-24" X 2-3'	1-3 YRS	A
	ALOE BLUE ELF	BLUE ELF ALOE	1 GAL @ 18" O.C.	17	L	18" X 1-2'	1-2 YRS	A
	BULBINE FRUTESCENS 'HALLMARK'	ORANGE STALKED BULBINE	1 GAL @ 2' O.C.	10	L	1-2' X 3-4'	1-2 YRS	A
	PHORMIUM 'YELLOW WAVE'	YELLOW WAVE NEW ZEALAND FLAX	5 GAL @ 3' O.C.	4	L	3-4' X 3-4'	2-4 YRS	A
TREES								
	RHAPHIOLEPIS 'MAJESTIC BEAUTY'	MAJESTIC BEAUTY INDIAN HAWTHORN	24" BOX	10	M	15-25' X 8-10'	8-10 YRS	B
	LAGERSTROEMIA X 'NATCHEZ'	NATCHEZ CRAPE MYRTLE	24" BOX	1	M	20-25' X 20-30'	10-15 YRS	B
	(EXISTING) JUGLANS REGIA	ENGLISH WALNUT		1	M	40-60' X 40-60'	10-15 YRS	B

TREE CALCULATIONS
(1) 24" BOX TREE PER 4 DWELLING UNITS
NUMBER OF DWELLING UNITS: 44 UNITS

TREES REQUIRED: 11 TREES
TREES PROVIDED: 11 TREES

ROOF PLANTING LEGEND			SIZE/SPACING	QTY.	WUCOLS	MATURE SIZE (HxW)	TIME TO MATURITY	HYDROZON.
SYMBOL	DESCRIPTION							
SHRUBS								
	CRASSULA CAPITELLA 'CAMPFIRE'	CAMPFIRE CRASSULA	1 GAL @ 12" O.C.	0	L	6-12" X 2-3'	1-2 YRS	A
	ALOE BLUE ELF	BLUE ELF ALOE	1 GAL @ 18" O.C.	24	L	18" X 1-2'	1-2 YRS	A
	AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	1 GAL @ 2' O.C.	15	L	1-2' X 2-3'	1-2 YRS	A
	PHORMIUM 'YELLOW WAVE'	YELLOW WAVE NEW ZEALAND FLAX	5 GAL @ 3' O.C.	12	L	3-4' X 3-4'	2-4 YRS	A

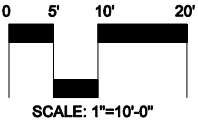


ROOF PLAN

EXHIBIT "A"

Page No. 8 of 16

Case No. ADM-2023-4682-DB-VHCA-ED1



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EMAIL: michael@savagelanddesign.com

MISSOURI APARTMENTS

11418-11424 W MISSOURI AVE

LOS ANGELES, CA 90025

No.	Revision / Issue	Date

PLANTING LAYOUT PLAN

Date	09-20-23	Sheet
Scale	1"=10'-0"	LP-1
Drawn	10 of 11	

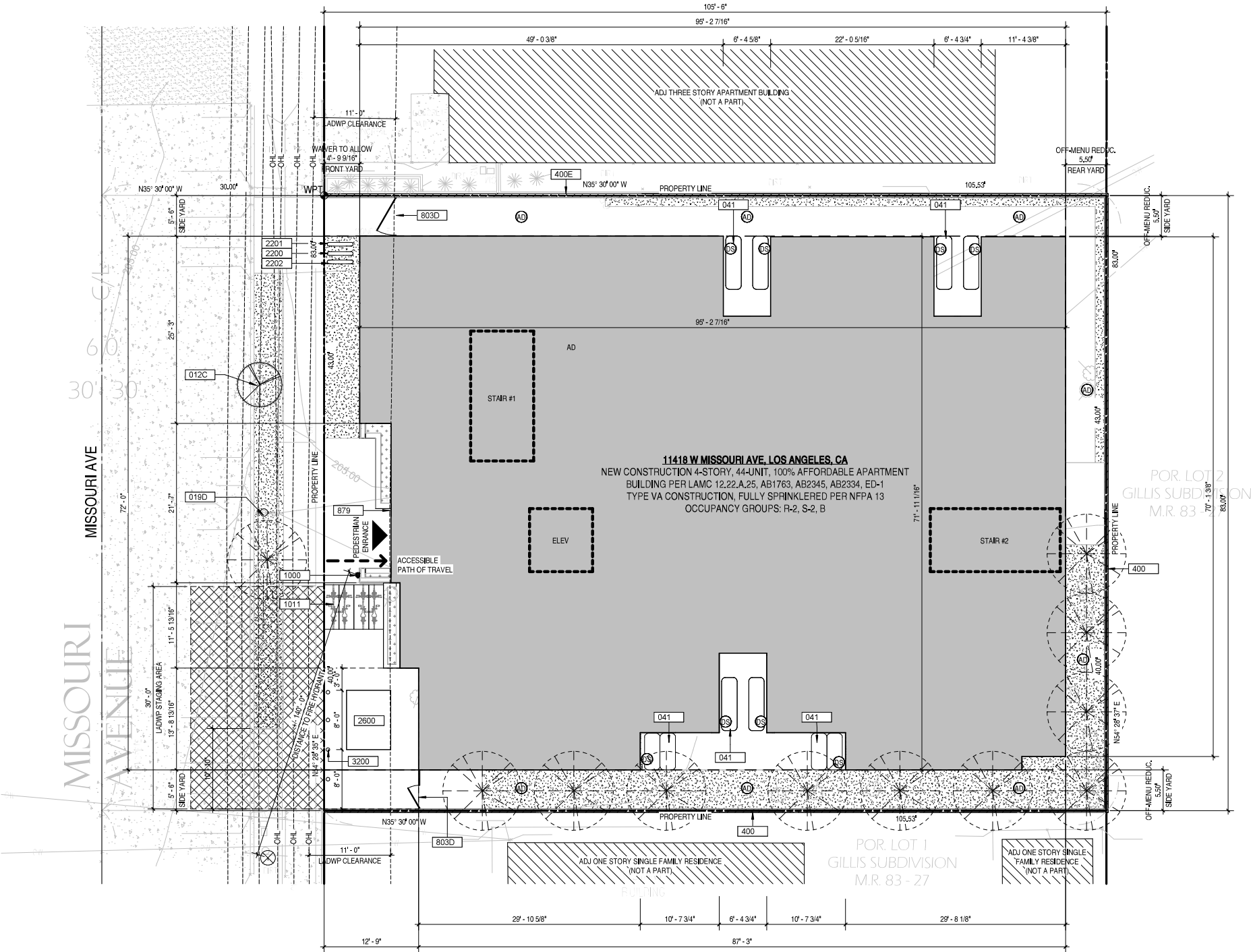


EXHIBIT "A"
Page No. 9 of 16
Case No. ADM-2023-4682-DB-VHCA-ED1

KEYNOTES

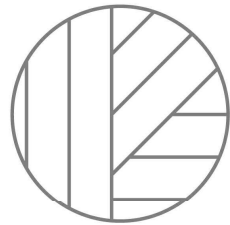
- 012C (C) EXISTING TREE
- 019D (D) UTILITY POLE, NOT A PART.
- 041 SUNLINE RAIN TANK, SEE CIVIL DWGS.
- 400 6'-0" HIGH CMU SITE WALL.
- 400E (E) CMU SITE WALL.
- 803D SECURITY GATE
- 879 EMERGENCY RAPID ACCESS SYSTEM (KNOCK BOX)
- 1000 FIRE DEPT CONNECTION (FDC) PER LAFD REQUIREMENTS.
- 1011 BICYCLE RACK, FLOOR MOUNTED, SHORT TERM RESIDENTIAL, DETAILS & CLEARANCES PER BOE STANDARD PLAN S-671-2.
- 2200 BACKFLOW PREVENTER, DOMESTIC WATER, SEE PLUMBING DWGS.
- 2201 BACKFLOW PREVENTER, FIRE WATER, SEE PLUMBING DWGS.
- 2202 BACKFLOW PREVENTER, IRRIGATION WATER, SEE PLUMBING DWGS.
- 2800 TRANSFORMER AND PAD PER LADWP REQUIREMENTS. SEE ELEC DWGS.
- 3200 BOLLARD

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS, FOC, FOM OR CENTRELINE OF COLUMN, UNLESS NOTED.
- B. ALL DIMENSIONS INDICATED AS "CL" ARE FROM FINISH TO FINISH.
- C. SEE SITS 0000-0046 FOR TYP ACCESSIBILITY REQUIREMENTS.
- D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL AND CEILING ASSEMBLIES.
- E. PROVIDE LEVEL LANDINGS @ EXT DOORS AND GATES. ALL FLOORS TO BE SLIP RESISTANT.
- F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL GREEN 8.01.4, ENERGY CODE 110.10, LAFD REQUIREMENT NO. 96.
- G. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R302.11.
- H. EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FASCIA.
- I. ROOFING MATERIAL TO BE BKVA SARVAFL 0410, CLASS-A ROOF COVERING.
- J. ROOF TO HAVE A 5-YEAR AGED SRV VALUE OF AT LEAST 14 OR BOTH A 5-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.20 AND A THERMAL EMITTANCE OF AT LEAST 0.75, ESR #14745.
- K. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R302.11.
- L. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER R302.12.
- M. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS. BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER R319.2.
- N. PROVIDE ANTI-GRAFFITI FINISH WITHIN FIRST 8 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.
- O. ALL ENTRY DOORS SHALL BE LOCATED WITHIN THREE VERTICAL FEET OF THE ADJACENT CURB LEVEL PER 010 CONDITION NC-1.A.
- P. ALL HARDSCAPE INCLUDES UNCOLORED CONCRETE WITH SMOOTH CEMENT FINISH THROUGHOUT, TYP.
- Q. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(G) SHALL BE PROVIDED TO THE OCCUPANT.

LEGEND

- ADJACENT BUILDING (NOT A PART)
- PROJECT SCOPE
- HARDSCAPE AREA
- LANDSCAPE, SEE LANDSCAPE DWGS
- LID PLANTER, SEE CIVIL DWGS.
- CMU WALL
- CONCRETE WALL
- ACCESSIBLE PATH OF TRAVEL
- (N) STREET TREE PER LANDSCAPE
- (E) STREET TREE TO REMAIN



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REVISIONS

LADWP STAMP

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CLIENT NAME

LA AFFORDABLE COMMUNITIES LLC

PROJECT NAME

MISSOURI APARTMENTS

NOT FOR CONSTRUCTION

PROJECT ADDRESS

**11418 W MISSOURI AVE
LOS ANGELES, CA 90025**

JOB NUMBER

2322

DATE

11.09.23

SHEET TITLE

SITE PLAN

SHEET NUMBER

A000

DRAWING SET TITLE

PLAN CHECK SET

11/9/2023 1:38:56 PM

SITE PLAN

1/8" = 1'-0"

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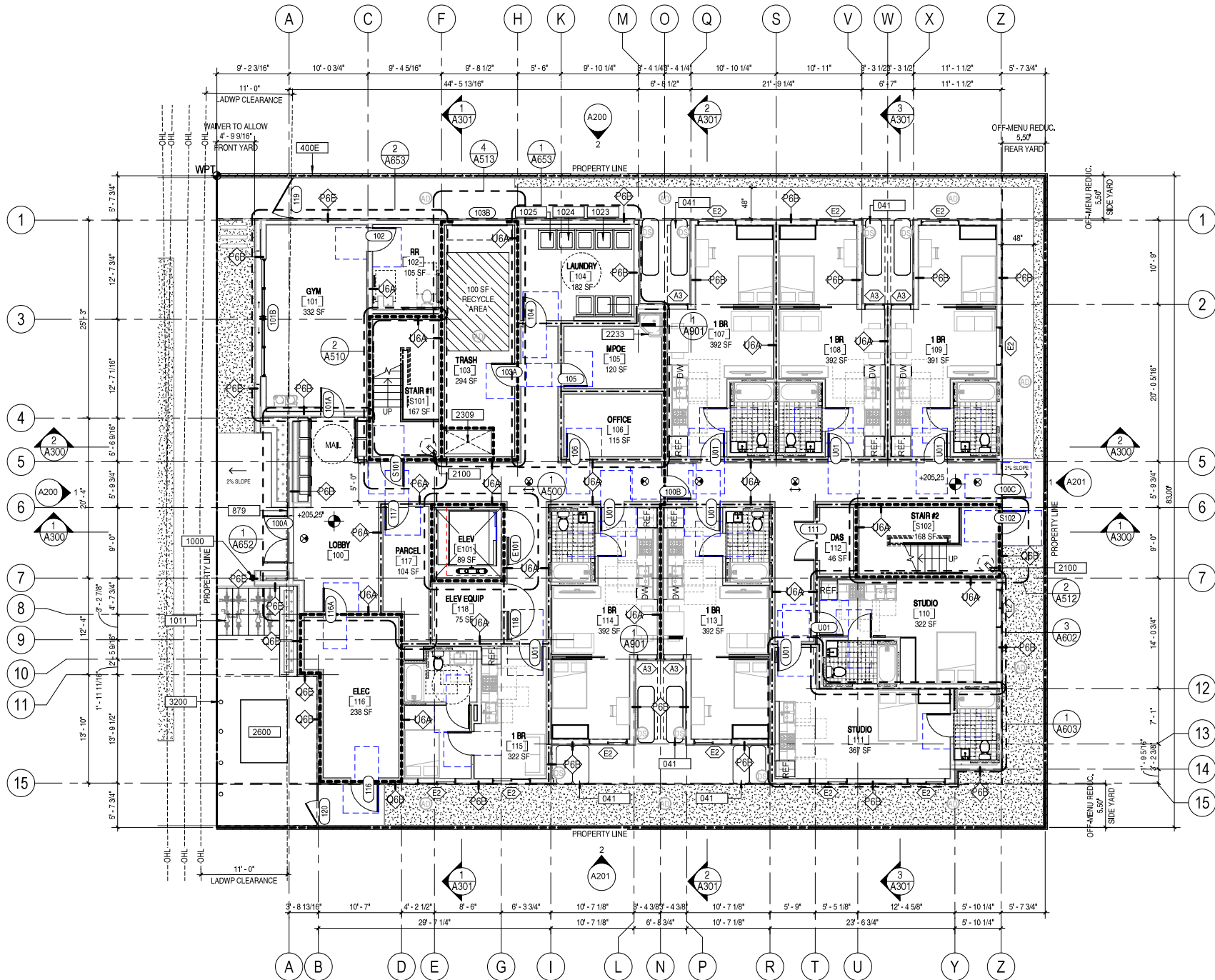


EXHIBIT "A"
Page No. 10 of 16
Case No. ADM-2023-4682-DB-VHCA-ED1

KEYNOTES

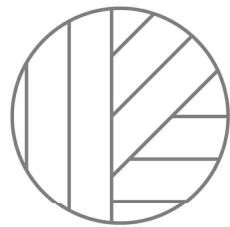
- 041 SUMLINE RAIN TANK SEE CIVIL DWGS.
400E (E) CMU SITE WALL
879 EMERGENCY RAPID ACCESS SYSTEM (KNOCK BOX)
1000 FIRE DEPT CONNECTION (FDC) PER LAFD REQUIREMENTS.
1011 BICYCLE RACK, FLOOR MOUNTED, SHORT TERM
RESIDENTIAL, DETAILS & CLEARANCES PER BOE STANDARD
PLAN S-671-2.
1023 FRONT-LOADING WASHER & DRYER, STACKED, PROVIDE
GAS, HOT & COLD WATER SUPPLY & MECHANICALLY
VENTED TO EXTERIOR. SEE SPEC. SEE PLUMBING DWGS.
1024 FRONT-LOADING ACCESSIBLE WASHER, PROVIDE HOT &
COLD WATER SUPPLY, SEE SPEC. SEE PLUMBING DWGS.
1025 FRONT-LOADING, ACCESSIBLE DRYER, PROVIDE GAS &
MECHANICALLY VENTED TO EXTERIOR. SEE PLUMBING
DWGS. SEE MECHANICAL DWGS.
2100 COMBINED STANDPIPE, CLASS I. SEE FIRE PROTECTION
DWGS.
2233 MOP SINK. SEE PLUMBING DWGS.
2309 TRASH/ RECYCLE CHUTE UP THROUGH ROOF.
2800 TRANSFORMER AND PAD PER LADWP REQUIREMENTS. SEE
ELEC DWGS.
3200 BOLLARD

SHEET NOTES

- A. SEE WALL TYPES A800 FOR ALL INTERIOR WALLS
B. ALL DIMENSIONS ARE FOR FINISH
C. ALL DIMENSIONS INDICATED AS "X" ARE FROM FINISH TO FINISH
D. WALL BASE TO BE 4" REVEAL BASE MOLDS AT ALL WALLS
E. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR
INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC
INSTALLATION. THE RESERVED SPACE SHALL BE POSTIONED AT THE OPPOSITE END
FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE
PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL GREEN 421A, ENERGY
CODE 110.15 LAFD REQUIREMENT NO. 86.
F. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A
POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE
ROOMS AT THE DESIGN TEMPERATURE
G. FIRE BLOWING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH
VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN
STORIES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER IBCS.11
H. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL
CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM
EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF
SPACE PER IBCS.11
I. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING
ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED
SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE
CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER IBCS.12
K. THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN
ACCORDANCE WITH ANPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE.
PRESERVATIVE SHALL BE LISTED IN SECTION OF ANPA U1.
L. MECHANICALLY VENTILATED BUILDINGS SHALL PROVIDE REGULARLY OCCUPIED AREAS OF
THE BUILDING WITH MERV 13 FILTER FOR OUTSIDE AND RETURN AIR. FILTERS SHALL BE
INSTALLED PRIOR TO OCCUPANCY AND RECOMMENDATIONS FOR MAINTENANCE WITH
FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE
MANUAL
M. SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF
ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. REQUIRED SMOKE
ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL
BE EQUIPPED WITH A BATTERY BACKUP
N. CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE
ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT.
REQUIRED CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE
BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP.
O. ALL ROOF RUNOFF TO DRAIN TO (PROPOSED BMP, SEE REFERENCE SHEETS)

LEGEND

- 24-HR RATED FIRE BARRIER
1-HR RATED FIRE PARTITION
SHEAR WALL, SEE STRUCT DWGS
NEW WALL, SEE A800 FOR WALL TYPE
DEMOLISHED WALL
WOOD POST PER STRUCT DWGS
WALL TAG, SEE A800 FOR WALL TYPE
DOOR TAG, SEE A800 FOR DOOR TYPE
WINDOW TAG, SEE A800 FOR WINDOW TYPE
SMOKE DETECTOR
CARBON MONOXIDE DETECTOR
DOWNSPOUT
BATHROOM EXHAUST FAN
STANDPIPE
EXIT SIGN
LANDSCAPE, SEE LANDSCAPE DWGS



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CLIENT NAME

**LA AFFORDABLE
COMMUNITIES LLC**

PROJECT NAME

**MISSOURI
APARTMENTS**

NOT FOR CONSTRUCTION

PROJECT ADDRESS

**11418 W MISSOURI AVE
LOS ANGELES, CA 90025**

JOB NUMBER

2322

DATE

11.09.23

SHEET TITLE

1ST FLOOR PLAN

SHEET NUMBER

A110

DRAWING SET TITLE

PLAN CHECK SET

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1ST FLOOR PLAN

1/8" = 1'-0"

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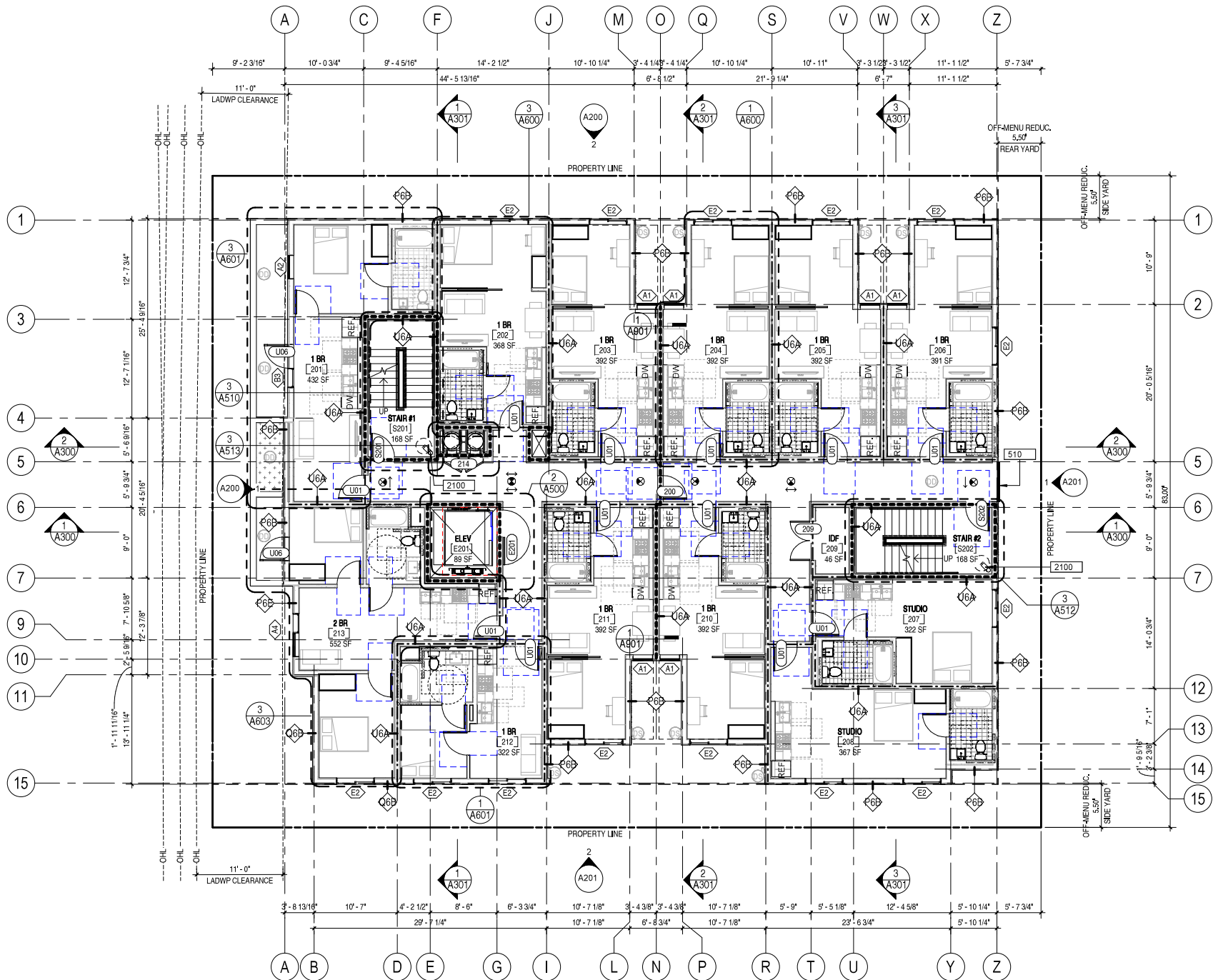


EXHIBIT "A"
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Case No. ADM-2023-4682-DB-VHCA-ED1

KEYNOTES

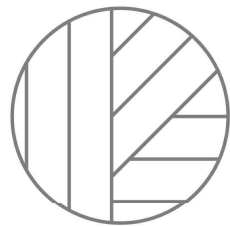
510 STEEL GUARDRAIL, 3'-6" MIN
2100 COMBINED STANDPIPE, CLASS I. SEE FIRE PROTECTION DWGS.

SHEET NOTES

- SEE WALL TYPES A800 FOR ALL INTERIOR WALLS.
- ALL DIMENSIONS ARE FOR UNO.
- ALL DIMENSIONS INDICATED AS "CL" ARE FROM FINISH TO FINISH.
- WALL BASE TO BE 4" REVEAL BASE MOLINGS AT ALL WALLS.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSTIONED AT THE OPPOSITE END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL GREEN 421A, ENERGY CODE 110.14(F) REQUIREMENT NO. 96.
- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
- FIRE BLOWING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER IBC 802.11.
- IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER IBC 802.11.
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER IBC 802.12.
- THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH ANPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVE SHALL BE LISTED IN SECTION 04 OF ANPA U1.
- MECHANICALLY VENTILATED BUILDINGS SHALL PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH FRESH AIR FILTER FOR OUTSIDE AND RETURN AIR FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL.
- SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP.
- CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. REQUIRED CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP.
- ALL ROOF RUNOFF TO DRAIN TO (PROPOSED BMP, SEE REFERENCE SHEETS).

LEGEND

- | | |
|--|--------------------------------------|
| | 24-HR RATED FIRE BARRIER |
| | 1-HR RATED FIRE PARTITION |
| | SHEAR WALL, SEE STRUCT DWGS |
| | NEW WALL, SEE A800 FOR WALL TYPE |
| | DEMOLISHED WALL |
| | WOOD POST PER STRUCT DWGS |
| | WALL TAG, SEE A800 FOR WALL TYPE |
| | DOOR TAG, SEE A800 FOR DOOR TYPE |
| | WINDOW TAG, SEE A800 FOR WINDOW TYPE |
| | SMOKE DETECTOR |
| | CARBON MONOXIDE DETECTOR |
| | DOWNSPOUT |
| | BATHROOM EXHAUST FAN |
| | STANDPIPE |
| | EXIT SIGN |
| | LANDSCAPE, SEE LANDSCAPE DWGS |



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NOT FOR CONSTRUCTION

PROJECT ADDRESS

11418 W MISSOURI AVE
LOS ANGELES, CA 90025

JOB NUMBER

2322

DATE

11/09/23

SHEET TITLE

2ND FLOOR PLAN

SHEET NUMBER

A120

DRAWING SET TITLE

PLAN CHECK SET

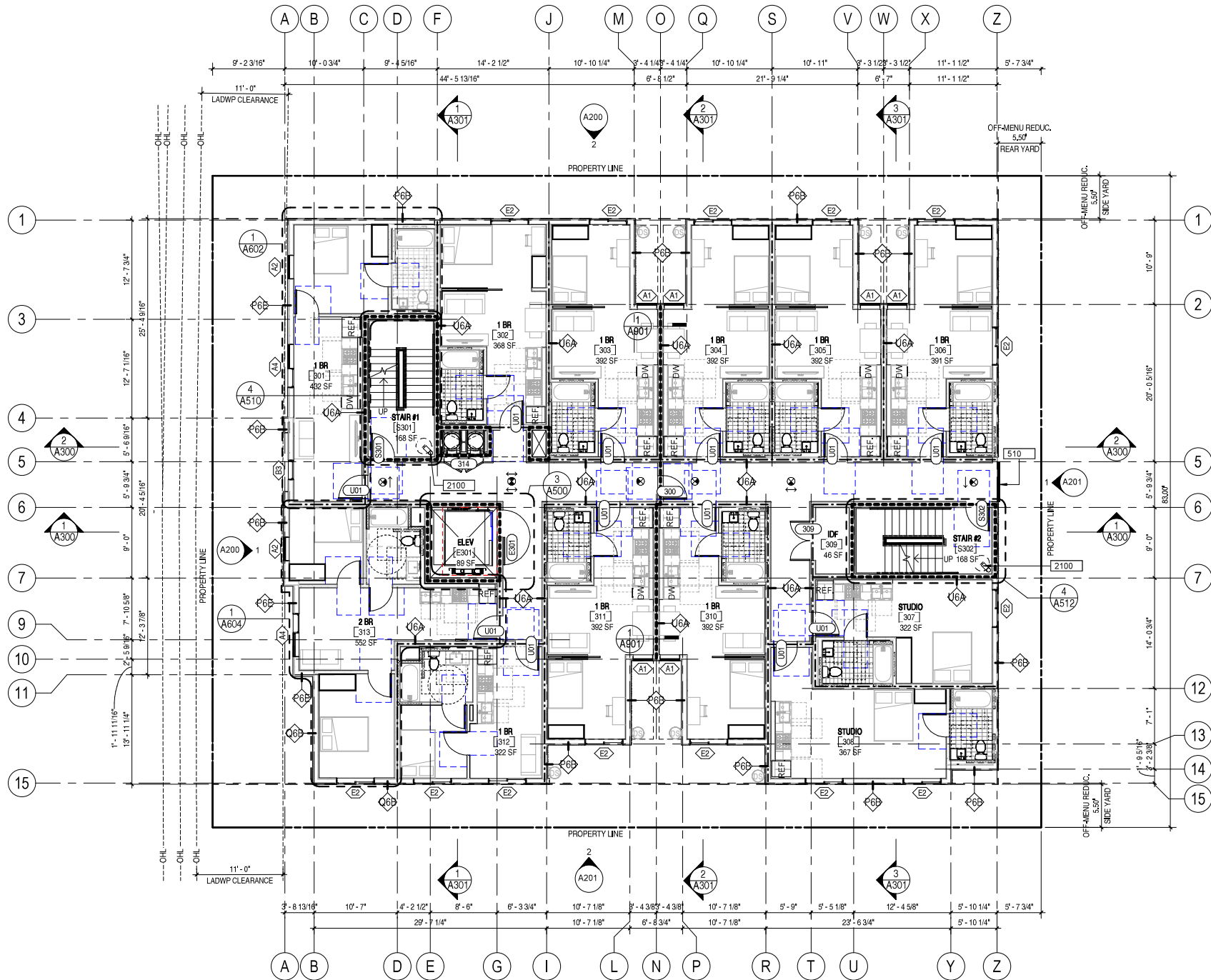


EXHIBIT "A"
Page No. 12 of 16
Case No. ADM-2023-4682-DB-VHCA-ED1

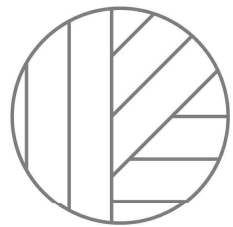
KEYNOTES

SHEET NOTES

- SEE WALL TYPES A800 FOR ALL INTERIOR WALLS.
- ALL DIMENSIONS ARE FOR UNO.
- ALL DIMENSIONS INDICATED AS "CL" ARE FROM FINISH TO FINISH.
- WALL BASE TO BE 4" REVEAL BASE MOLINGS AT ALL WALLS.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSTERIZED AT THE OPPOSITE LOAD END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL GREEN 421 A ENERGY CODE 116.0 LARD REQUIREMENT NO. 96.
- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
- FIRE BLOCCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R08.11.
- IN COMBUSTIBLE CONSTRUCTION, FIREBLOCCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R08.11.
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1000 SQUARE FEET. DRAFTSTOPPING SHALL SEVE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER R08.12.
- THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE, PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
- MECHANICALLY VENTILATED BUILDINGS SHALL PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH MECH. FILTERS FOR OUTSIDE AND RETURN AIR. FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL.
- SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP.
- CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. REQUIRED CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP.
- ALL ROOF RUNOFF TO DRAIN TO (PROPOSED BMP). SEE (REFERENCE SHEETS).

LEGEND

- | | |
|--|--------------------------------------|
| | 24-HR RATED FIRE BARRIER |
| | 14-HR RATED FIRE PARTITION |
| | SHEAR WALL, SEE STRUCT DWGS |
| | NEW WALL, SEE A800 FOR WALL TYPE |
| | DEMOLISHED WALL |
| | WOOD POST PER STRUCT DWGS |
| | WALL TAG, SEE A800 FOR WALL TYPE |
| | DOOR TAG, SEE A800 FOR DOOR TYPE |
| | WINDOW TAG, SEE A800 FOR WINDOW TYPE |
| | SMOKE DETECTOR |
| | CARBON MONOXIDE DETECTOR |
| | DOWNSPOUT |
| | BATHROOM EXHAUST FAN |
| | STANDPIPE |
| | EXIT SIGN |
| | LANDSCAPE, SEE LANDSCAPE DWGS |



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CLIENT NAME

LA AFFORDABLE COMMUNITIES LLC

PROJECT NAME

MISSOURI APARTMENTS

NOT FOR CONSTRUCTION

PROJECT ADDRESS

11418 W MISSOURI AVE
LOS ANGELES, CA 90025

JOB NUMBER

2322

DATE:

11/09/23

SHEET TITLE

3RD FLOOR PLAN

SHEET NUMBER

A130

DRAWING SET TITLE

PLAN CHECK SET

11/9/2023 1:39:04 PM

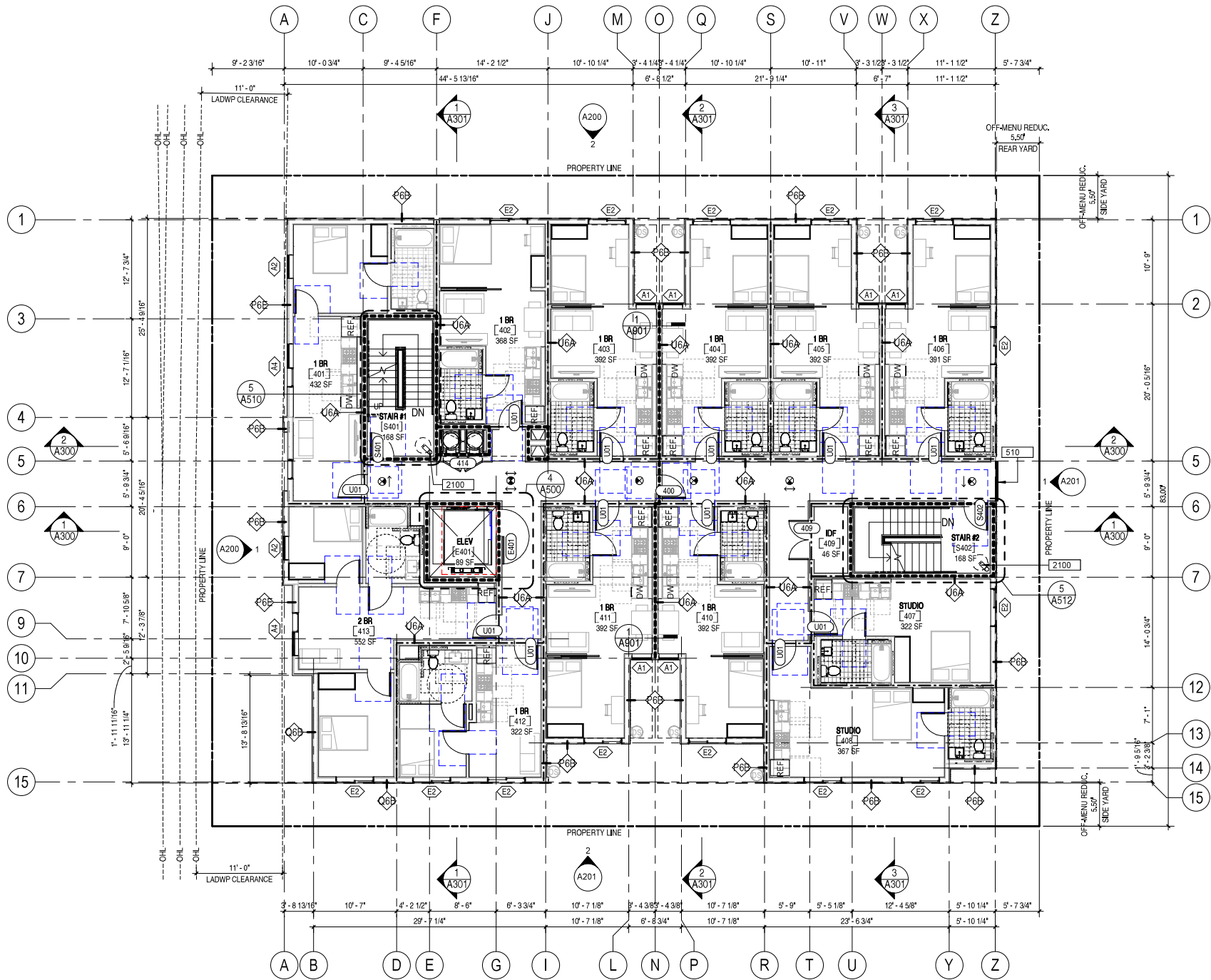


EXHIBIT "A"
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Case No. ADM-2023-4682-DB-VHCA-ED1

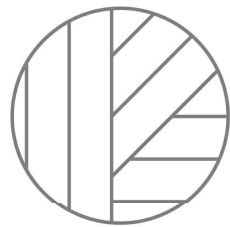
KEYNOTES

SHEET NOTES

- SEE WALL TYPES A800 FOR ALL INTERIOR WALLS.
- ALL DIMENSIONS ARE FOR UNO.
- ALL DIMENSIONS INDICATED AS "CL" ARE FROM FINISH TO FINISH.
- WALL BASE TO BE 4" REVEAL BASE MOLINGS AT ALL WALLS.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSTERIZED AT THE OPPOSITE LOAD END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL GREEN 4211-A, ENERGY CODE 116.10, LADWP REQUIREMENT NO. 96.
- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
- FIRE BLOCCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R082.11.
- IN COMBUSTIBLE CONSTRUCTION, FIREBLOCCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R082.11.
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFTSTOPPING SHALL SEVE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER R08.12.
- THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE, PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
- MECHANICALLY VENTILATED BUILDINGS SHALL PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH MEYER 151 FILTER FOR OUTSIDE AND RETURN AIR. FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL.
- SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. REQUIRED CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP.
- CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. REQUIRED CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP.
- ALL ROOF RUNOFF TO DRAIN TO (PROPOSED BMP). SEE (REFERENCE SHEETS).

LEGEND

- | | |
|--|--------------------------------------|
| | 24-HR RATED FIRE BARRIER |
| | 14-HR RATED FIRE PARTITION |
| | SHEAR WALL, SEE STRUCT DWGS |
| | NEW WALL, SEE A800 FOR WALL TYPE |
| | DEMOLISHED WALL |
| | WOOD POST PER STRUCT DWGS |
| | WALL TAG, SEE A800 FOR WALL TYPE |
| | DOOR TAG, SEE A800 FOR DOOR TYPE |
| | WINDOW TAG, SEE A800 FOR WINDOW TYPE |
| | SMOKE DETECTOR |
| | CARBON MONOXIDE DETECTOR |
| | DOWNSPOUT |
| | BATHROOM EXHAUST FAN |
| | STANDPIPE |
| | EXIT SIGN |
| | LANDSCAPE, SEE LANDSCAPE DWGS |



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REVISIONS

LADWP STAMP

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CLIENT NAME

LA AFFORDABLE COMMUNITIES LLC

PROJECT NAME

MISSOURI APARTMENTS

NOT FOR CONSTRUCTION

PROJECT ADDRESS

**11418 W MISSOURI AVE
LOS ANGELES, CA 90025**

JOB NUMBER

2322

DATE

11.09.23

SHEET TITLE

4TH FLOOR PLAN

SHEET NUMBER

A140

DRAWING SET TITLE

PLAN CHECK SET

11/9/2023 1:39:05 PM

4TH FLOOR PLAN

1/8" = 1'-0"

1

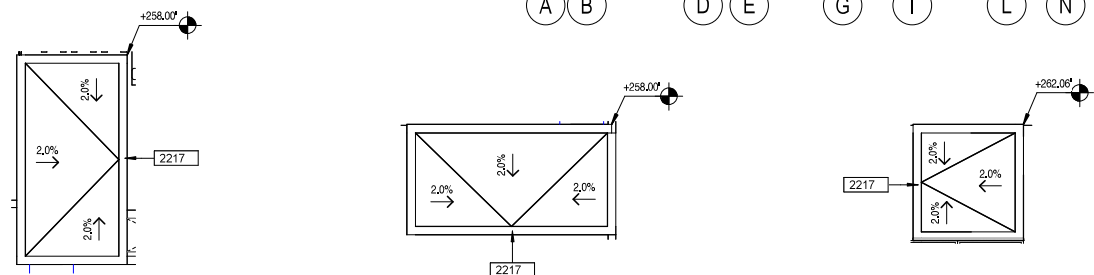


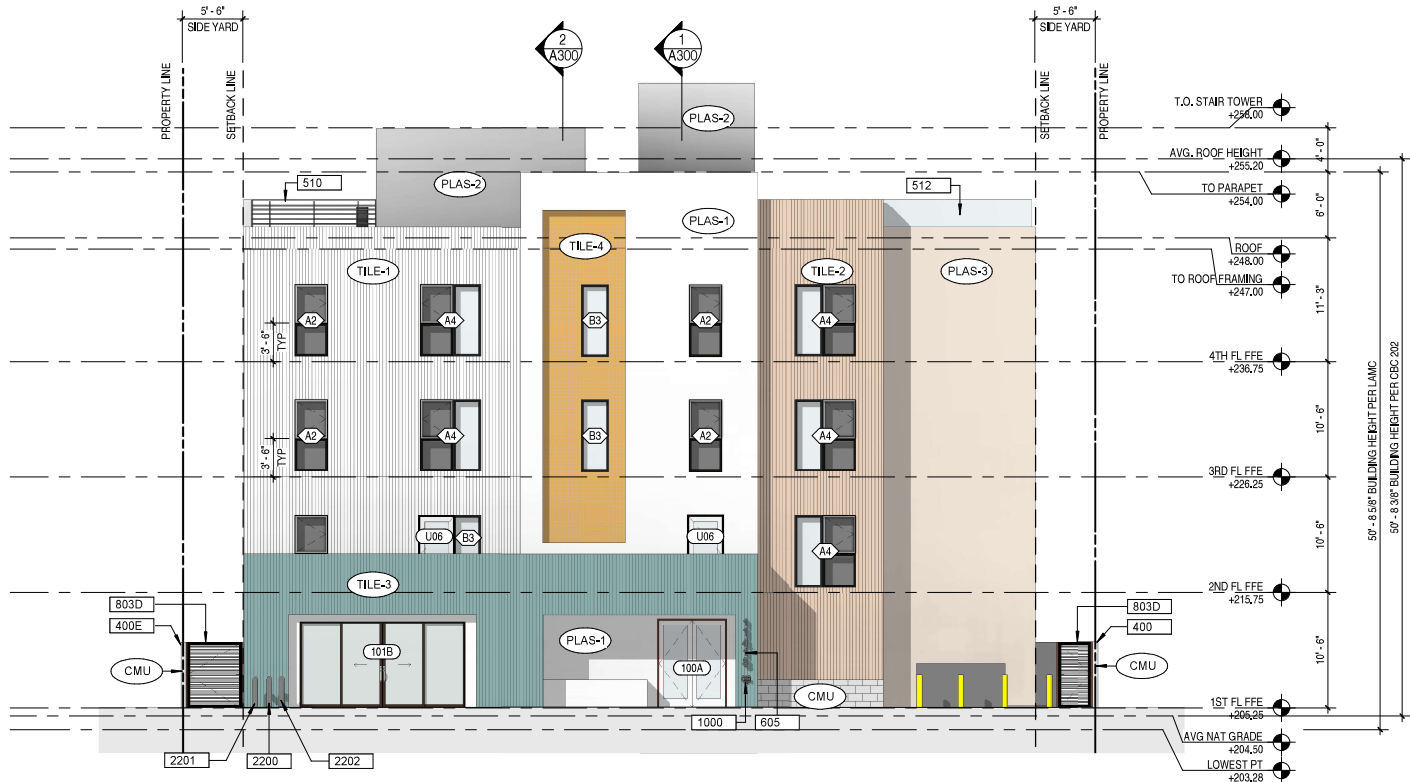
EXHIBIT "A"
Page No. 14 of 16
Case No. ADM-2023-4682-DB-VHCA-ED1

STAIR #1 - HIGH ROOF PLAN | 1/8" = 1'-0" | 1 | STAIR #2 - HIGH ROOF PLAN | 1/8" = 1'-0" | 4 | ELEVATOR - HIGH ROOF PLAN | 1/8" = 1'-0" | 3

ROOF	1/8" = 1'-0"	2
-------------	--------------	----------

11/9/2025 1:39:07 PM

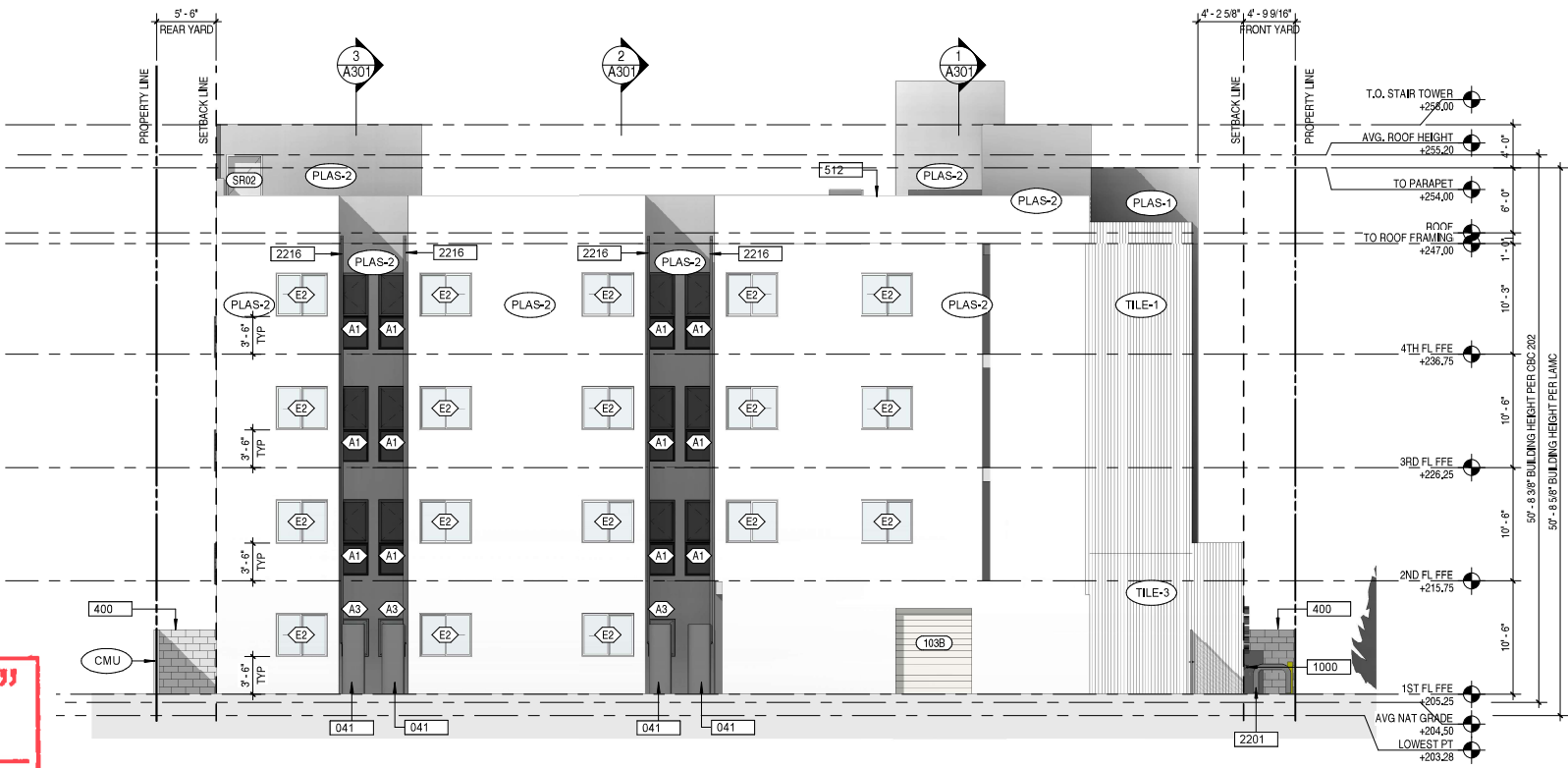
	SLOPED ROOFING
	WALKING PAD AROUND EQUIPMENT
	SOLAR ZONE EQUAL TO OR GREATER THAN 15% OF THE BUILDING ROOF AREA
	ROOFTOP MECHANICAL EQUIPMENT, SEE MECH DWGS.
	VENT THROUGH ROOF
	DOWNSPOUT AND SCUPPER OVERFLOW
	INDICATES ROOF SLOPE DIRECTION, ALL ROOF SLOPES TO HAVE A 2% SLOPE MIN UNO
	EXIT SIGN



WEST ELEVATION

1/8" = 1'-0"

1



SOUTH ELEVATION

1/8" = 1'-0"

2

KEYNOTES

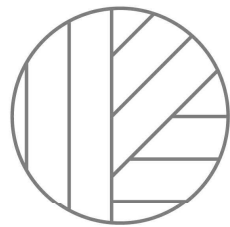
- 041 SUMLINE RAIN TANK, SEE CIVIL DWGS.
400 6'-0" HIGH CMU SITE WALL.
400E (E) CMU SITE WALL.
510 STEEL GUARDRAIL, 3'-6" MIN
512 1/2" MIN LAMINATED, FRAMELESS SAFETY GLASS, 3'-6" HIGH MIN.
605 BUILDING ADDRESS NUMBERING, BRUSHED METAL DARK BRONZE
803D SECURITY GATE
1000 FIRE DEPT CONNECTION (FDC) PER LAFD REQUIREMENTS.
2200 BACKFLOW PREVENTER, DOMESTIC WATER, SEE PLUMBING DWGS.
2201 BACKFLOW PREVENTER, FIRE WATER, SEE PLUMBING DWGS.
2202 BACKFLOW PREVENTER, IRRIGATION WATER, SEE PLUMBING DWGS.
2216 ROOF DOWNSPOUT AND OVERFLOW COMBO, DIRECT ALL ROOF RUNOFF TO RAIN TANKS, SEE PLUMBING DWGS, SEE CIVIL DWGS.

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS, FOR OR CENTERLINE OF WALL UNCL.
B. ALL DIMENSIONS INDICATED AS "CL" ARE FROM FINISH TO FINISH.
C. ENVIRONMENTAL EXHAUST LOUVERS TO BE 3'-0" FROM OUTSIDE AIR INLET.
D. PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 8 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
E. ALL DOWNSPOUTS TO DRAIN TO PROPOSED BMP, SEE CIVIL DWGS.
F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC - CAL GREEN 621-A ENERGY CODE 115.10, LAFD REQUIREMENT NO. 96.
G. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
H. FIRE BLOOMING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R302.11.
J. EDGE FLASHING TO BE 16 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FASCIA.
K. ROOFING MATERIAL TO BE 5/8" SARNIAFEL 0410, CLASS-A ROOF COVERING.
L. ROOF TO HAVE A 5-YEAR AGED SR VALUE OF AT LEAST 18 OR BOTH A 5-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.20 AND A THERMAL EMITTANCE OF AT LEAST 0.75, ESR #1405.
M. IN COMBUSTIBLE CONSTRUCTION, FIREBLOOMING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R302.11.
N. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER R302.12.
P. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER R302.3.
Q. PROTECTION OF WOOD AND WOOD AGED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R307.1.87.
R. THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA 11 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
S. PROVIDE ANTI-GRAFFITI FINISH WITHIN FIRST 8 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.
T. ALL DOWNSPOUTS TO DRAIN TO (PROPOSED) BMP, SEE (REFERENCE) SHEETS.
U. PROVIDE MINIMUM 2" RECESS FOR ALL WINDOWS, SEE DETAILS ON A945.

LEGEND

- PLAS-1 EXTERIOR CEMENT PLASTER, HEAVY LACE, WHITE
PLAS-2 EXTERIOR CEMENT PLASTER, SMOOTH FINISH, WHITE
PLAS-3 EXTERIOR CEMENT PLASTER, SMOOTH FINISH, BEIGE
TILE-1 FLUTED BLOCK VENEER, WHITE
TILE-2 FLUTED BLOCK VENEER, DESERT ROSE
TILE-3 FLUTED BLOCK VENEER, DESERT CACTUS
TILE-4 4" SQUARE TILE
CMU CMU PAINTED WHITE



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CLIENT NAME

LA AFFORDABLE COMMUNITIES LLC

PROJECT NAME

MISSOURI APARTMENTS

NOT FOR CONSTRUCTION

PROJECT ADDRESS

11418 W MISSOURI AVE
LOS ANGELES, CA 90025

JOB NUMBER

2322

DATE

11.09.23

SHEET TITLE

ELEVATIONS

SHEET NUMBER

A200

DRAWING SET TITLE

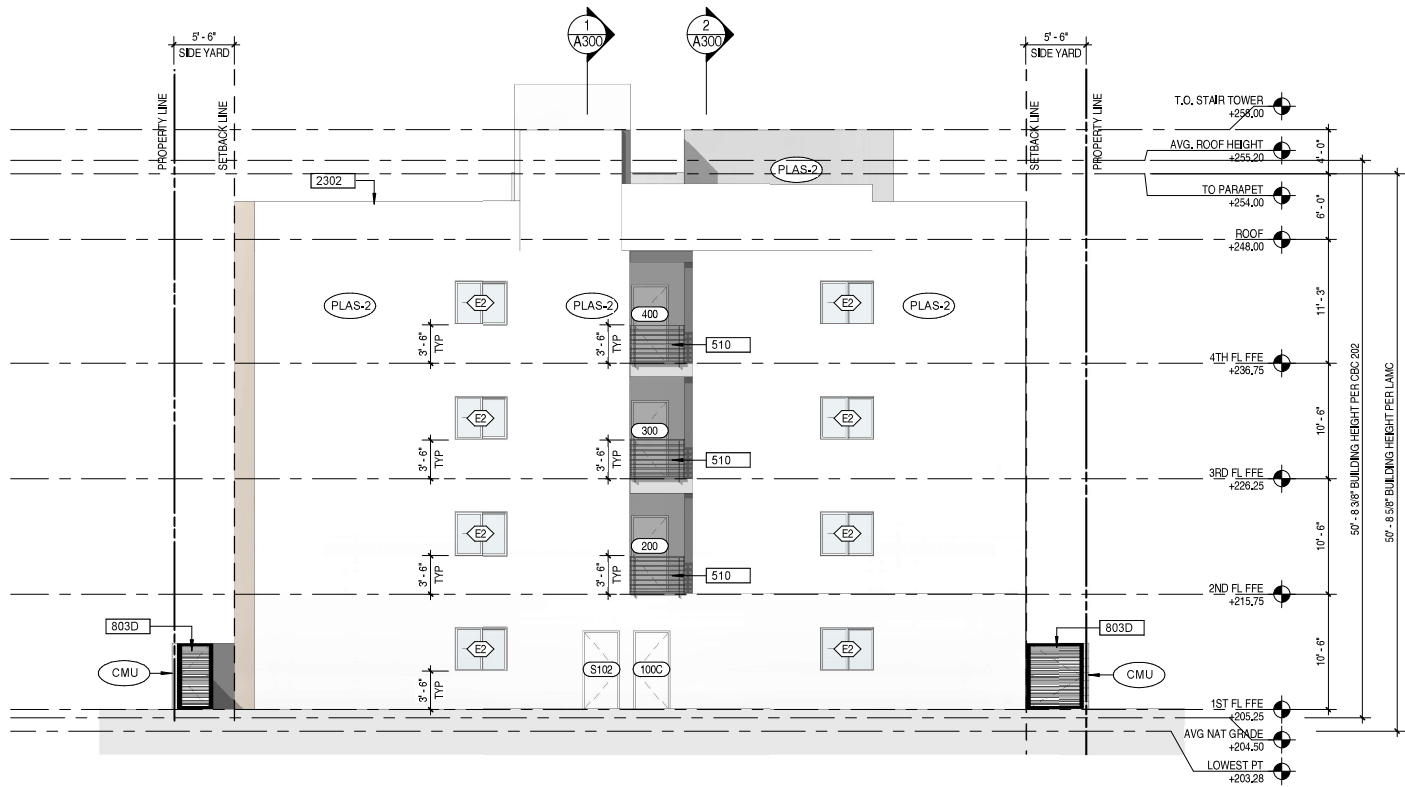
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EXHIBIT "A"

Page No. 15 of 16

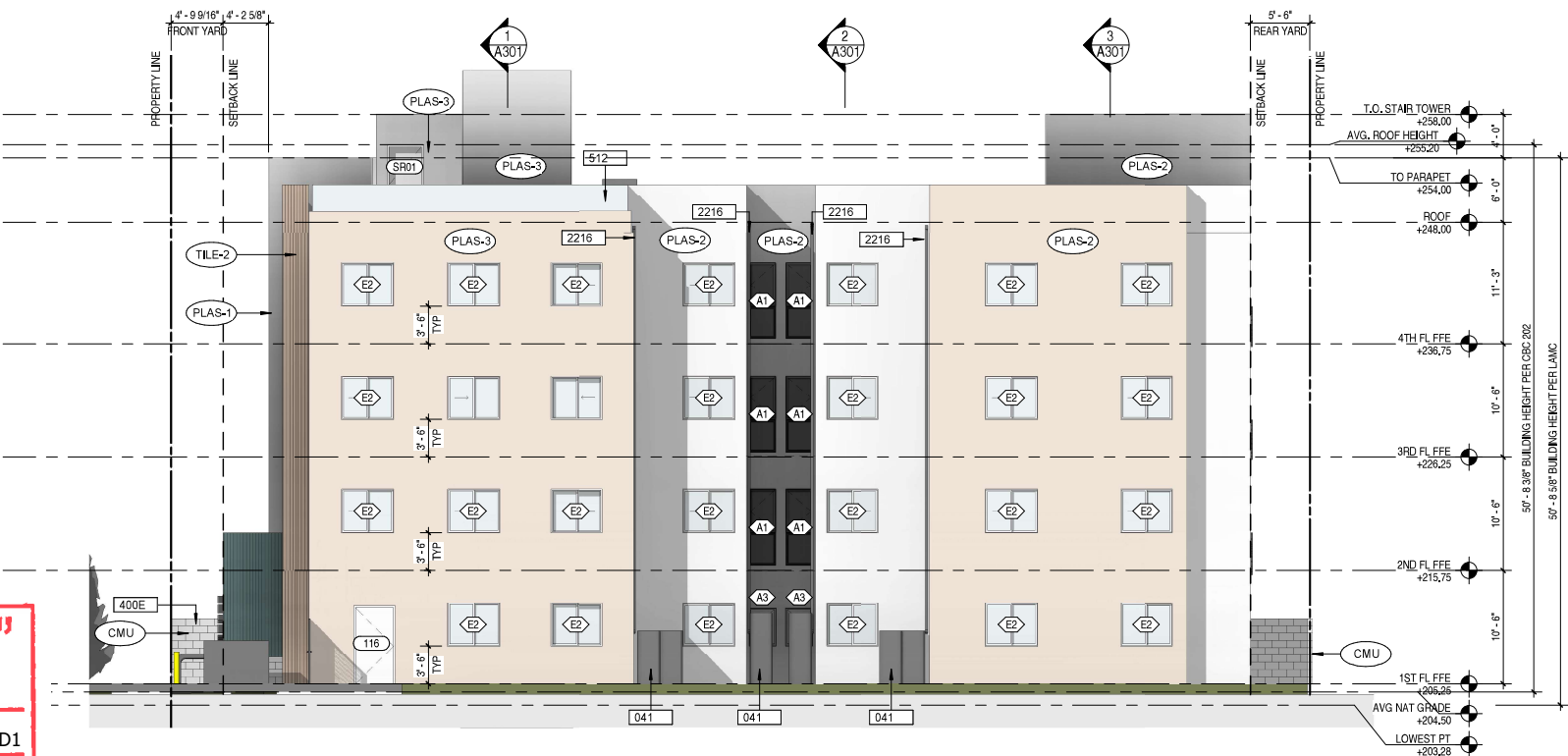
Case No. ADM-2023-4682-DB-VHCA-ED1



EAST ELEVATION

1/8" = 1'-0"

1



NORTH ELEVATION

1/8" = 1'-0"

2

KEYNOTES

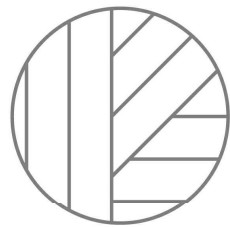
- 041 SUMMLINE RAIN TANK, SEE CIVIL DWGS.
400E (E) CMU SITE WALL
510 STEEL GUARDRAIL, 3'-6" MIN
512 1/2" MIN LAMINATED, FRAMELESS SAFETY GLASS, 3'-6" HIGH MIN.
803D SECURITY GATE
2216 ROOF DOWNSPOUT AND OVERFLOW COMBO, DIRECT ALL ROOF RUNOFF TO RAIN TANKS, SEE PLUMBING DWGS, SEE CIVIL DWGS.
2302 MECHANICAL EQUIPMENT CURB & UNISTRUT, VERIFY PAD SIZE WITH EQUIPMENT MANUFACTURER.

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTRILINE OF WALL UNCL.
B. ALL DIMENSIONS INDICATED AS "CL" ARE FROM FINISH TO FINISH.
C. ENVIRONMENTAL EXHAUST LOUVERS TO BE 3'-0" FROM OUTSIDE AIR INLET.
D. PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 8 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
E. ALL DOWNSPOUTS TO DRAIN TO PROPOSED BMP, SEE CIVIL DWGS.
F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL GREEN BTLA ENERGY CODE 110.10, LAFC REQUIREMENT NO. 96.
G. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 1 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
H. FIRE BLOOMING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R302.11.
J. EDGE FLASHING TO BE 16 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FASCIA.
K. ROOFING MATERIAL TO BE 30A SARNIAFL 0410, CLASS-A ROOF COVERING.
L. ROOF TO HAVE A 5-YEAR AGED SR VALUE OF AT LEAST 18 OR BOTH A 5-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.20 AND A THERMAL EMITTANCE OF AT LEAST 0.70, ESR #1470.
M. IN COMBUSTIBLE CONSTRUCTION, FIREBLOOMING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R302.11.
N. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER R302.12.
P. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS. BUILDING NUMBERS ON APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER R303.1.
Q. PROTECTION OF WOOD AND WOOD AGED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R307.1.8 BY:
R. THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
S. PROVIDE ANTI-GRAFFITI FINISH WITHIN FIRST 8 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.
T. ALL DOWNSPOUTS TO DRAIN TO (PROPOSED) BMPs, SEE (REFERENCE) SHEETS.
U. PROVIDE MINIMUM 2" RECESS FOR ALL WINDOWS, SEE DETAILS ON A940.

LEGEND

- (PLAS-1) EXTERIOR CEMENT PLASTER, HEAVY LACE, WHITE
(PLAS-2) EXTERIOR CEMENT PLASTER, SMOOTH FINISH, WHITE
(PLAS-3) EXTERIOR CEMENT PLASTER, SMOOTH FINISH, BEIGE
(TILE-1) FLUTED BLOCK VENEER, WHITE
(TILE-2) FLUTED BLOCK VENEER, DESERT ROSE
(TILE-3) FLUTED BLOCK VENEER, DESERT CACTUS
(TILE-4) 4" SQUARE TILE
(CMU) CMU PAINTED WHITE



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SEAL:



REVISIONS

(L)B(S) TAP

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CLIENT NAME:

LA AFFORDABLE
COMMUNITIES LLC

PROJECT NAME:

MISSOURI
APARTMENTS

NOT FOR CONSTRUCTION

PROJECT ADDRESS:

11418 W MISSOURI AVE
LOS ANGELES, CA 90025

JOB NUMBER:

2322

DATE:

11.09.23

SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

A201

DRAWING SET TITLE:

PLAN CHECK SET

11/9/2023 1:39:57 PM

EXHIBIT "A"

Page No. 16 of 16

Case No. ADM-2023-4682-DB-VHCA-ED1