



DEPARTMENT OF CITY PLANNING

RECOMMENDATION REPORT

City Planning Commission

Date: Thursday, March 26, 2026

Time: After 8:30 a.m.

Place: Van Nuys City Hall
14410 Sylvan Street
Room 201
Van Nuys, CA 91401

This meeting may be available virtually, in a hybrid format. Please check the meeting agenda approximately 72 hours before the meeting for additional information at: <https://planning.lacity.org/about/commissions-boards-hearings>

Appeal Status: Appealable to City Council

Expiration Date: April 17, 2026

Multiple Approval: Yes

Case No.: CPC-2024-3381-DB-CDO-VHCA

CEQA No.: ENV-2024-3382-CE

Related Case: N/A

Council No.: 3 - Blumenfield

Plan Area: Reseda – West Van Nuys
Overlay: Reseda Central Business District Community Design Overlay (CDO)

Certified NC: Reseda

GPLU: General Commercial

Zone: [Q]R2-2D-CDO

Applicant/Owner: Rajesh and Alaknanda Kumar

Representative: Akhilesh Jha

PROJECT LOCATION: 7354 N. Baird Avenue

PROPOSED PROJECT: Construction, use, and maintenance of a three-story, 39 foot 6 inch in height, 34 unit, 13,937 square foot Residential Care Facility for the Elderly (RCFE) on a 7,503.7 square foot lot, including four units reserved for Very Low Income Senior Citizens and 30 units at Market Rate for Seniors. No automobile or bicycle parking is proposed. The applicant will demolish an existing one-story, approximately 1,420 square foot single-family dwelling and remove two on-site non-protected trees.

ACTIONS REQUESTED:

1. An Exemption from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332, Class 32, and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.
2. Pursuant to California Government Code (CA GC) Section 65915 et seq. and Chapter 1, Los Angeles Municipal Code Section (LAMC) Section 12.22 A.37 and Chapter 1A, LAMC Section 13B.2.3, a Shared Housing Building providing 34 rental units as a Residential Care Facility for the Elderly (RCFE) with four units reserved

for Very Low Income Households and 30 units reserved for Seniors at Market Rate with the following two Off-Menu Incentives and nine Waivers of Development Standards:

- a. Reseda Central Business District Community Design Overlay (CDO) (Off-Menu Incentive) – A deviation from all of the permanent Q Conditions and Design Standards and Guidelines of the Reseda Central Business District CDO (Ordinance Nos. 176,557 and 176,558).
- b. Landscaping (Off-Menu Incentive) - A 100% decrease from all landscaping requirements to provide 0 square feet of landscaping in lieu of the otherwise required landscaping pursuant to LAMC Sections 12.40 - 12.43 and 12.21 G.
- c. Front Yard Setback (Waiver) - A 100% decrease from the required front yard setback to provide a 0 foot front yard setback in lieu of the otherwise required minimum 20 feet pursuant to LAMC Section 12.09 C.1.
- d. North Side Yard Setback (Waiver) - A 36.7% decrease from the required north side yard setback to provide a 3 foot 10 inch north side yard setback in lieu of the otherwise required minimum 6 feet pursuant to LAMC Section 12.09 C.2.
- e. South Side Yard Setback (Waiver) - A 36.7% decrease from the required south side yard setback to provide a 3 foot 10 inch south side yard setback in lieu of the otherwise required minimum 6 feet pursuant to LAMC Section 12.09 C.2.
- f. Rear Yard Setback (Waiver) - A 100% decrease from the required rear yard setback to provide a 0 foot rear yard setback in lieu of the otherwise required 15 feet pursuant to LAMC Section 12.09 C.3. Pursuant to Section 12.22 C, 10 feet (1/2 of the 20 foot alley) counts toward the 15 foot rear yard calculation.
- g. Useable Open Space (Waiver) - A 100% deviation from the required open space to provide 0 square feet of open space in lieu of the otherwise required 3,400 square feet pursuant to LAMC Section 12.21 G.
- h. Long-Term Bicycle Parking (Waiver) - A 100% percent deviation from the required long-term bicycle parking to provide zero long-term bicycle parking spaces in lieu of the otherwise required three spaces pursuant to LAMC Section 12.21 A.16.
- i. Short-Term Bicycle Parking (Waiver) - A 100% percent deviation from the required short-term bicycle parking to provide zero short-term bicycle parking spaces in lieu of the otherwise required two spaces pursuant to LAMC Section 12.21 A.16.
- j. Transitional Height (Waiver) - A 100% deviation from transitional height requirements pursuant to LAMC Section 12.21.1 A.10.

- k. Tree Planting (Waiver) - A 100% reduction in the number of required trees to be planted on-site and in the public right-of-way to provide 0 trees in lieu of the otherwise required 14 trees pursuant to LAMC Sections 12.40 - 12.43 and 12.21 G.

RECOMMENDED ACTIONS:

1. **FIND**, based on the independent judgement of the decision-maker, the project is exempt from CEQA pursuant to CEQA Guidelines Section 15332, Class 32, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies; and
2. **DISMISS**, as not necessary, a request for an Off-Menu Incentive to deviate from all of the permanent Q Conditions and Design Standards and Guidelines of the Reseda Central Business District CDO (Ordinance Nos. 176,557 and 176,558), because the project meets all applicable Q Conditions and design standards and guidelines of the Reseda Central Business District CDO.
3. **DISMISS**, as not necessary, an Off-Menu Incentive to deviate from all landscaping and tree planting requirements pursuant to LAMC Section 12.21 G, because LAMC Section 12.21 G regulates landscaping and open space for six or more residential units and does not apply to Shared Housing Units.
4. **DISMISS**, as not necessary, a request for a Waiver from transitional height requirements pursuant to LAMC Section 12.21.1 A.10, because transitional height requirements are not applicable to projects located in an R2 Zone.
5. **DISMISS**, as not necessary, a request for a Waiver from useable open space to provide 0 square feet of open space in lieu of the otherwise required 3,400 square feet pursuant to LAMC Section 12.21 G, because LAMC Section 12.21 G regulates landscaping and open space for six or more residential units and does not apply to Shared Housing Units.
6. **APPROVE**, pursuant to California Government Code (CA GC) Section 65915 et seq. and Chapter 1, Los Angeles Municipal Code Section (LAMC) Section 12.22 A.37 and Chapter 1A, LAMC Section 13B.2.3, a Shared Housing Building providing 34 rental units as a Residential Care Facility for the Elderly (RCFE) with four units reserved for Very Low Income Households and 30 units reserved for Seniors at Market Rate with the following one Off-Menu Incentive and seven Waivers of Development Standards:
 - a. Landscaping (Off-Menu Incentive) - A 100% decrease from all landscaping requirements to provide 0 square feet of landscaping in lieu of the otherwise required landscaping pursuant to LAMC Sections 12.40 - 12.43.
 - b. Front Yard Setback (Waiver) - A 100% decrease from the required front yard setback to provide a 0 foot front yard setback in lieu of the otherwise required minimum 20 feet pursuant to LAMC Section 12.09 C.1.
 - c. North Side Yard Setback (Waiver) - A 36.7% decrease from the required north side yard setback to provide a 3 foot 10 inch north side yard setback in lieu of the otherwise required minimum 6 feet pursuant to LAMC Section 12.09 C.2.

- d. South Side Yard Setback (Waiver) - A 36.7% decrease from the required south side yard setback to provide a 3 foot 10 inch south side yard setback in lieu of the otherwise required minimum 6 feet pursuant to LAMC Section 12.09 C.2.
 - e. Rear Yard Setback (Waiver) - A 100% decrease from the required rear yard setback to provide a 0 foot rear yard setback in lieu of the otherwise required 15 feet pursuant to LAMC Section 12.09 C.3.
 - f. Long-Term Bicycle Parking (Waiver) - A 100% percent deviation from the required long-term bicycle parking to provide no long-term bicycle parking spaces in lieu of the otherwise required three spaces pursuant to LAMC Section 12.21 A.16.
 - g. Short-Term Bicycle Parking (Waiver) - A 100% percent deviation from the required short-term bicycle parking to provide no short-term bicycle parking spaces in lieu of the otherwise required two spaces pursuant to LAMC Section 12.21 A.16.
 - h. Tree Planting (Waiver) - A 100% reduction in the number of required trees to be planted on-site and in the public right-of-way to provide 0 trees in lieu of the trees needed to meet City Planning Commission Guidelines in compliance with LAMC Sections 12.40 - 12.43 (Landscape Ordinance No. 170,978).
7. **APPROVE** pursuant to Chapter 1, LAMC Section 13.08 E and Chapter 1A, LAMC Section 13B.2.5, a Director Determination for a 34 unit Residential Care Facility for the Elderly (RCFE).
8. **ADOPT** the attached Findings for the requested approvals.

VINCENT P. BERTONI, AICP
Director of Planning

Blake Lamb
Blake Lamb, Principal Planner

Claudia Rodriguez
Claudia Rodriguez, Senior City Planner

Laura Frazin Steele
Laura Frazin Steele, City Planner

BL:CR:LFS

ADVICE TO PUBLIC: *The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the Planning Commission Secretariat, 200 North Spring Street, Room 272, Los Angeles, CA 90012 (Phone No. 213-978-1300). While all written communications are given to the Commission for consideration, the initial packets are sent the week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to the programs, services, and activities. Sign language interpreters, Communication Access Real-Time Transcription (CART), Assistive Listening Devices, or other auxiliary aids and/or services may be provided upon request. To ensure availability, you are advised to make your request at least 72 hours prior to the meeting you wish to attend. Due to difficulties in securing Sign Language Interpreters, five or more business days' notice is strongly recommended. For additional information, please contact the Commission Secretariat (213) 978-1300.

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- A - Project Plans (dated August 26, 2025)
- B - Vicinity Map
- C - Aerial Photo
- D - Radius Map
- E - ZIMAS Zoning Map and Parcel Profile Report
- F - Site and Surrounding Area Photos
- G - Environmental Clearance – ENV- 2024-3382-CE
- H - Affordable Housing Referral Form No. PAR-2025-2840-AHRF
- I - Housing Crisis Act Vesting Preliminary Application No. PAR-2024-3058-VHCA
- J - Preliminary Zoning Assessment

PROJECT ANALYSIS

Project Summary

The applicant is proposing the construction, use, and maintenance of a three-story, 39 foot 6 inch in height, 34 unit, 13,937 square foot Residential Care Facility for the Elderly (RCFE) on a 7,503.7 square foot lot. The project includes four units reserved for Very Low Income Senior Citizens and 30 units at Market Rate for Seniors. No automobile or bicycle parking is proposed. As proposed, the applicant will demolish an existing one-story, approximately 1,420 square foot single-family dwelling and remove two on-site non-protected trees.

To achieve the project, the applicant is requesting approval for a Shared Housing Building pursuant to California Government Code (CA GC) Section 65915 et seq. and Chapter 1, Los Angeles Municipal Code Section (LAMC) Section 12.22 A.37 and Chapter 1A, LAMC Section 13B.2.3. The Shared Housing Building will operate as a 34 unit Residential Care Facility for the Elderly (RCFE) with four units reserved for Very Low Income Households and 30 units reserved for Seniors at Market Rate. All of the units will be rented. Further, the applicant is requesting the following two Off-Menu Incentives and nine Waivers of Development Standards:

- a. Reseda Central Business District Community Design Overlay (CDO) (Off-Menu Incentive) - deviation from all of the permanent Q Conditions and Design Standards and Guidelines of the Reseda Central Business District CDO (Ordinance Nos. 176,557 and 176,558).
- b. Landscaping (Off-Menu Incentive) - A 100% decrease from all landscaping requirements to provide 0 square feet of landscaping in lieu of the otherwise required landscaping pursuant to LAMC Sections 12.40 - 12.43 and 12.21 G.
- c. Front Yard Setback (Waiver) - A 100% decrease from the required front yard setback to provide a 0 foot front yard setback in lieu of the otherwise required minimum 20 feet pursuant to LAMC Section 12.09 C.1.
- d. North Side Yard Setback (Waiver) - A 36.7% decrease from the required north side yard setback to provide a 3 foot 10 inch north side yard setback in lieu of the otherwise required minimum 6 feet pursuant to LAMC Section 12.09 C.2.
- e. South Side Yard Setback (Waiver) - A 36.7% decrease from the required south side yard setback to provide a 3 foot 10 inch south side yard setback in lieu of the otherwise required minimum 6 feet pursuant to LAMC Section 12.09 C.2.
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- g. Useable Open Space (Waiver) - A 100% deviation from the required open space to provide 0 square feet of open space in lieu of the otherwise required 3,400 square feet pursuant to LAMC Section 12.21 G.
- h. Long-Term Bicycle Parking (Waiver) - A 100% percent deviation from the required long-term bicycle parking to provide no long-term bicycle parking spaces in lieu of the otherwise required three spaces pursuant to LAMC Section 12.21 A.16.

- i. Short-Term Bicycle Parking (Waiver) - A 100% percent deviation from the required short-term bicycle parking to provide no short-term bicycle parking spaces in lieu of the otherwise required two spaces pursuant to LAMC Section 12.21 A.16.
- j. Transitional Height (Waiver) - A 100% deviation from transitional height requirements pursuant to LAMC Section 12.21.1 A.10.
- k. Tree Planting (Waiver) - A 100% reduction in the number of required trees to be planted on-site and in the public right-of-way to provide 0 trees in lieu of the otherwise required 14 trees pursuant to LAMC Sections 12.40 - 12.43 and 12.21 G.

Four of the applicant's incentive/waiver requests can be dismissed, because they are not necessary as follows:

- The request for an Off-Menu Incentive to deviate from all of the permanent Q Conditions and Design Standards and Guidelines of the Reseda Central Business District CDO (Ordinance Nos. 176,557 and 176,558) is not needed. This is because the project meets all applicable Q Conditions and design standards and guidelines of the Reseda Central Business District CDO.
- The request for an Off-Menu Incentive to deviate from all landscaping and tree planting requirements pursuant to LAMC Section 12.21 G is not needed. This is because LAMC Section 12.21 G regulates landscaping and open space for six or more residential units. This project is a Shared Housing Building and not a multi-family residential project.
- The request to waive transitional height requirements is not necessary. Pursuant to LAMC Section 12.21.1 A.10, transitional height requirements apply to projects located in the C and M Zone. The project herein is located in an R2 Zone, and therefore, transitional height requirements do not apply.
- The request to Waive useable open space to provide 0 square feet of open space in lieu of the otherwise required 3,400 square feet pursuant to LAMC Section 12.21 G is not needed. LAMC Section 12.21 G regulates landscaping and open space for six or more multi-family residential units. This project is a Shared Housing Building and not a multi-family residential project.

Background

The subject site is an approximately 7,503.7 square foot (0.17 acres) lot located at 7354 N. Baird Avenue in the Reseda – West Van Nuys Community Plan area. The lot is located between Valerio Street to the north and Wyandotte Street to the south. Reseda Boulevard is located to the east, and Amigo and Capps Avenues are located to the west. The subject site fronts on Baird Avenue for approximately 50 linear feet and has a lot depth of approximately 150.08 linear feet. A 20 foot alley abuts the subject site at the rear. The project site is currently improved with one approximately 1,420 square foot single-family dwelling.

The Reseda – West Van Nuys Community Plan designates the subject site for General Commercial land use corresponding to the C1.5, C2, CR, C4, RAS3, RAS4, and P Zones (see **Figure 1**). The subject site is zoned [Q]R2-2D-CDO, which is more restrictive than the range of zones associated with the General Commercial land use designation (**Figure 2**). Therefore, the R2 Zone is consistent with the land use designation. Community Plan Map Footnote No. 7 limits project height at the subject height to three stories, which is consistent with the project proposed herein.



FIGURE 1. GENERAL PLAN LAND USE DESIGNATION MAP

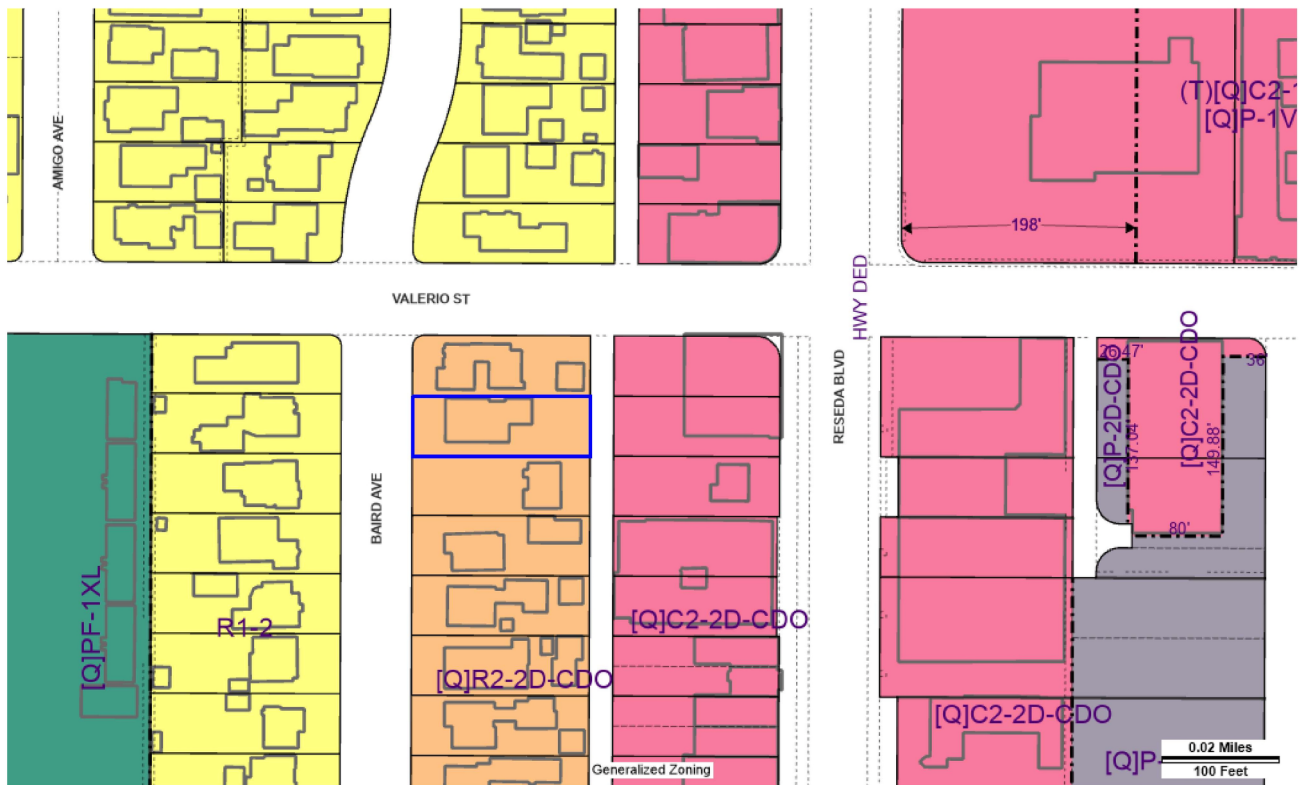


FIGURE 2. ZONING MAP

The R2 Zone, as codified in LAMC Section 12.09, is a “Two-Family” zone that permits single-family and two-family dwellings; apartment, boarding or rooming houses or multiple-dwellings on lots having a side lot line adjoining a lot in a commercial or industrial zone if specific distance requirements are met; accessory buildings; and accessory uses and home occupations subject to specific conditions; government owned parks, playgrounds, or community centers; and animal keeping for person use. A Residential Care Facility for the Elderly (RCFE) is a permitted use under the range of zones corresponding to the General Commercial land use designation.

The permanent [Q] Condition associated with the zone discloses that the site falls within the geographic boundary of the Reseda Central Business District Community Design Overlay (CDO). The Reseda Central Business District CDO became effective under Ordinance Nos. 176,557 and 176,558 on May 2, 2005 (ZI-2339) to establish the Boundary Ordinance (Ordinance No. 176,557), permanent “Q” Conditions (Ordinance No. 176,558), and Design Guidelines and Standards. The purpose of the Reseda Central Business District CDO is to promote the economic viability and small scale commercial retail character, improve the physical appearance of the area, and establish guidelines to encourage orderly development and revitalization. The CDO boundaries generally encompass Sherman Way just west of Wilbur Avenue and just east of Lindley Avenue and Reseda Boulevard between Kittridge Street to the south and Saticoy Street to the north. At the subject site, Reseda Central Business District CDO permanent [Q] Condition No. 2.B.1 limits the height of structures on lots zoned R2 to 45 feet. The 2D associated with the [Q]R2-2D-CDO Zone limits height at the subject site to 10 stories pursuant to Ordinance No. 162,925-SA900 effective December 16, 1987. However, the Community Plan Map Footnote No. 7 which limits project height to three stories supersedes the 10 foot height limitation established under Ordinance No. 162,925-SA900.

ZIMAS records show that the subject site is located within an area designated as ZI-2452 Transit Priority Area in the City of Los Angeles. Residential projects located in a Transit Priority Area are not subject to review for aesthetic and parking impacts under the California Environmental Quality Act (CEQA) pursuant to Section 21099 of the California Public Resources Code (SB 743). ZIMAS records also show that the subject site is located with a Very Low Vehicle Travel area (AB 2334). Pursuant to CA GC Section 65915(o)(9), 100 percent affordable housing developments located in an area defined as a “Very Low Vehicle Travel Area” are allowed unlimited density and an additional three stories in height, as well as up to five incentives or concessions and one waiver. However, the applicant is not proposing 100 percent affordable housing. As shown on ZIMAS, the subject site is located within one-half mile of a Major Transit Stop (AB 2097; CA GC 65863.2) and therefore, no automobile parking is required.

As shown on ZIMAS, the subject site is located within 500 feet of a school zone (Reseda Elementary School). The site is located in an Urban Agricultural Incentive Zone, but no agricultural uses are proposed herein. The subject site is also located within an area of Airport Hazard, where height is limited to 200 feet above Elevation 790.

The proposed project will have no impact on protected species or their habitat. The applicant provided a signed and notarized Owner’s Declaration of Biological Resources Form No. CP-3612 dated May 18, 2024 disclosing that the project site does not contain water resources (streams, wetlands, or other water bodies), protected trees and/or shrubs, and/or other sensitive/special resources requiring additional review. As shown on ZIMAS, the project site is not located in a Coastal Zone and does not have Coastal Bluff or Canyon Bluff potential. The site is located in an Urban Agricultural Incentive Zone, but no agricultural uses are proposed herein. The project site is not located within a Very High Fire Hazard Severity Zone, Flood Zone, Watercourse, Methane Hazard Site, High Wind Velocity Area, or Special Grading Area. As shown on ZIMAS, the project site is not located in the Santa Monica Mountains Zone. The site has no potential for Biological Resources, Mountain Lions, Monarch Butterflies. The site is not located within a 300-foot Habitat

Buffer, a County-designated Significant Ecological Area (SEA) and/or Coastal Resource Area (CRA). The project site is not located within a Wildland Urban Interface (WDI) or a Criterion 1 Protected Areas for Wildlife (PAWs). As shown on ZIMAS, there are no known oil wells on site or adjacent to the subject site. The project site is approximately 10.1 km from the nearest fault (Northridge), and is not located within an Alquist-Priolo Fault Zone. The site is not located in an area of Landslide, Liquefaction, Preliminary Fault Rupture Study, or Tsunami Hazard.

There are no protected trees on the site or street trees in the public right-of-way, as disclosed in the Tree Disclosure Statement Form No. CP-4067 signed by the applicant on May 26, 2024. Two on-site trees are proposed to be removed from the subject site. The applicant has requested to waive all on-site and off-site tree planting requirements. LAMC Section 12.21 G.3 requires at least one 24-inch box tree for every four dwelling units and may include street trees in the parkway. However, LAMC Section 12.21 G.3 regulates multi-family residential dwelling units, and is not applicable to the project. LAMC Section 12.40 - 12.43 regulates landscaping, including but not limited to tree planting and water management, in compliance with the City's Landscape Ordinance No. 170,978 (effective May 12, 1996; operational July 12, 1996; amended through April 10, 2005). City Planning Commission Guidelines "O" in compliance with LAMC Sections 12.40 – 12.43 implements the Landscape Ordinance with a landscaping point system and incorporates guidelines for planting trees, plants, and shrubs. However, under Guidelines "O," a specific number of trees would not be required for the project herein.

Pursuant to LAMC Section 62.162, the Urban Forestry/Board of Public Works is authorized to require the planting of street trees. Per email communication with Urban Forestry staff on October 1, 2025, one 24-inch box size tree may be required in the public right-of-way. Prior to any work on the right-of-way, the applicant will be required to obtain approved plans from the Department of Public Works. As there currently is no approved right-of-way improvement plan and for purposes of conservative analysis and the requirements of CEQA, Planning has analyzed the worst-case potential for removal of any street trees. No street tree or protected tree may be removed without prior approval of the Board of Public Works/Urban Forestry under LAMC Section 62.161 et seq. At the time of preparation of the CEQA Categorical Exemption (ENV-2024-3382-CE), no approvals have been given for any tree removals on-site or in the right-of-way by the Board of Public Works/Urban Forestry.

Surrounding Land Uses

Lots adjacent to the subject site are developed with the urban uses (**Figure 3**). To the north, the abutting site on Baird Avenue is zoned [Q]R2-2D-CDO and designated for General Commercial land use. The site is improved with a single-family dwelling. Further north, sites on Baird Avenue across Valerio Street are zoned R1-1, designated for Low Medium II Residential land use, and improved with single-family dwellings. To the south, sites along the east side of Baird Avenue are zoned [Q]R2-2D-CDO, designated for General Commercial land use, and improved with single-family uses. Further south, at the northeast corner of Baird Avenue and Wyandotte Street, the site is zoned [Q]R3-2-CDO and designated for General Commercial land use. This site is improved with a multi-family dwelling. To the south, along the west side of Baird Avenue, sites are zoned R1-1, designated for Medium Residential use, and are improved with single-family dwellings. To the east along Reseda Boulevard, south of Valerio Street sites are zoned [Q]C2-2D-CDO, and sites north of Valerio Street are zoned [Q]C2-1VL-CDO. Along Reseda Boulevard sites north and south of Valerio Street are designated for General Commercial land use. These sites are improved with commercial uses (automotive, retail, restaurant), a U.S. Post Office, and a multi-family residence. As shown on ZIMAS, the subject site is located within 500 feet of a school zone. Reseda Elementary School is located to the west on a site zoned [Q]PF-1XL and designated for Public Facilities.

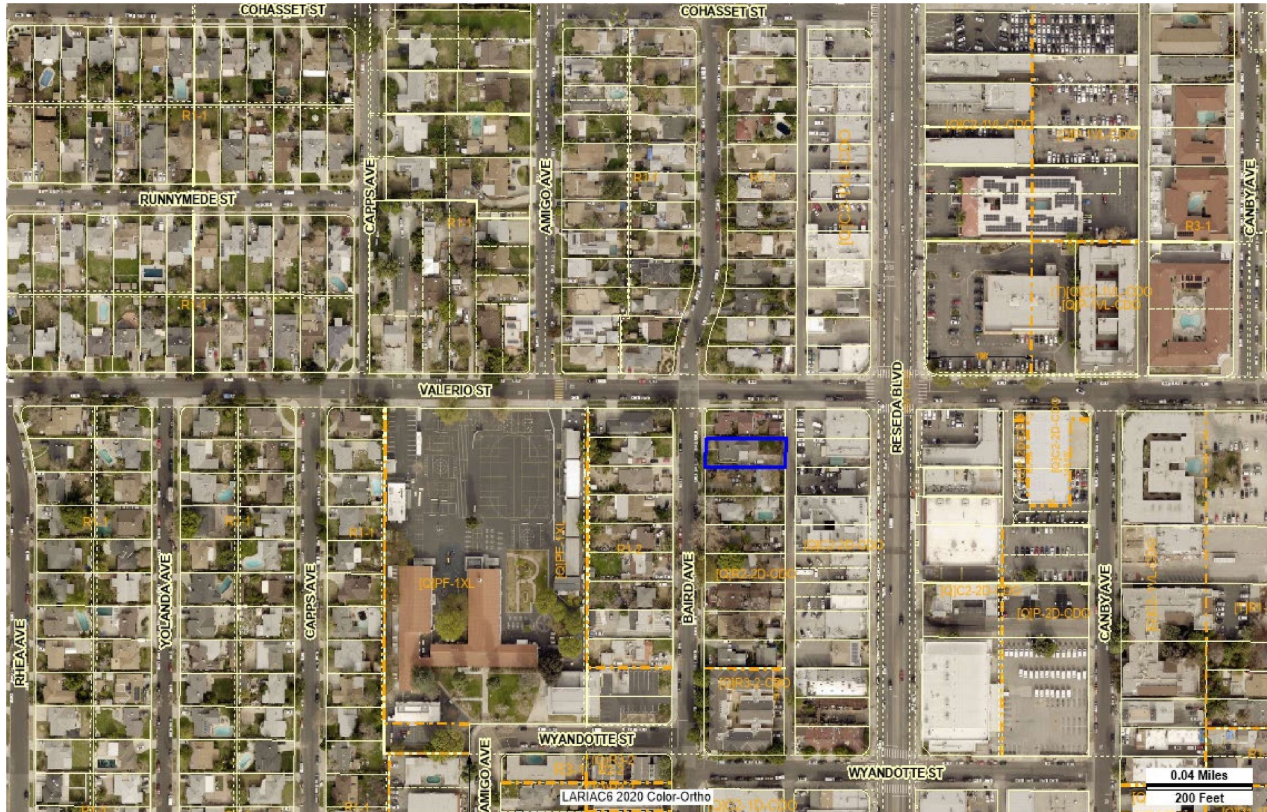


FIGURE 3. AERIAL PHOTOGRAPH

Street Designations and General Circulation

Baird Avenue – The Mobility Plan 2035 designates Baird Avenue as a Local Street – Standard with a designated right-of-way width of 60 feet and a designated roadway width of 36 feet. Baird Avenue is fully improved with a curb, sidewalk, and gutter.

Reseda Boulevard – Reseda Boulevard is designated a Boulevard II by the Mobility Plan 2035. Reseda Boulevard has a designated right-of-way width of 110 feet and a designated roadway width of 80 feet. Reseda Boulevard is fully improved with a curb, gutter, and sidewalk.

Capps Avenue - The Mobility Plan 2035 designates Capps Avenue as a Local Street – Standard with a designated right-of-way width of 60 feet and a designated roadway width of 36 feet. Capps Avenue is fully improved with a curb, gutter, and sidewalk.

Valerio Street – Under the Mobility Plan 2035, Valerio Street is designated a Collector with a designated right-of-way width of 66 feet and a designated roadway width of 40 feet. Valerio Street is partially improved with a curb and sidewalk.

Wyandotte Street – The Mobility Plan 2035 designates Wyandotte Street as a Local Street – Standard with a designated right-of-way width of 60 feet and a designated roadway width of 36 feet. Wyandotte Street is fully improved with a curb, gutter, and sidewalk.

Amigo Avenue - The Mobility Plan 2035 designates Wyandotte Street as a Local Street – Standard with a designated right-of-way width of 60 feet and a designated roadway width of 36 feet. Amigo Avenue is fully improved with a curb, gutter, and sidewalk.

Sherman Way – Sherman Way is designated a Boulevard II by the Mobility Plan 2035. Sherman Way has a designated right-of-way width of 110 feet and a designated roadway width of 80 feet. Sherman Way is fully improved with a curb, gutter, and sidewalk.

Alley – A 20 foot wide alley borders the rear of the subject site.

Relevant Cases

ON-SITE

Case No. CPC-2019-1741-CPU – The Reseda – West Van Nuys Community Plan Update was filed on March 22, 2019.

Ordinance Nos. 176,557 and 176,558 – On May 2, 2005, the Reseda Central Business District Community Design Overlay (CDO) became effective under Ordinance Nos. 176,557 and 176,558.

Ordinance No. 162,925-SA900 – Effective December 16, 1987, the -2D height district on the zone limited height at the subject site to 10 stories.

Certificate of Occupancy No. VN0642/1949 – On December 8, 1950, LADBS issued a Certificate of Occupancy for a one-story, one-family residence and attached garage.

OFF-SITE

Case No. EAR-2025-3104-AH-HES-CDO-HCA / VTT-74423-M1 – On December 18, 2025, a Density Bonus and Affordable Housing Incentive Program Letter of Compliance and Reseda Central Business District CDO approval was issued for a 100 percent Affordable Housing Development project, maximum height of six stories, 63 feet 6 inches, totaling 275 multi-family residential dwelling units, reserving 218 units set aside for Lower Income Household occupancy, 54 units set aside for Moderate Income Household occupancy, and three Manager's Units at Market Rate. Associated Case No. VTT-74423-M1 was also approved on December 18, 2025 to merge five lots into one lot for the purpose of constructing the 275 unit, 100 percent Affordable Housing project at 6648 – 6670 N. Reseda Boulevard (approximately 1 mile southeast of the subject site).

Case No. EAR-2025-5079-DB-VHCA – On September 9, 2025, an application was filed for a Density Bonus compliance review for a six story, 66 foot 9 3/8 inch in height, 34 unit Affordable Housing Development project at 7112 N. Baird Avenue (approximately 0.3 miles south of the subject site). No determination has been issued to date.

Case No. ADM-2024-2995-DB-CDO-VHCA-ED1 – On September 4, 2025, a Density Bonus Letter of Compliance and Reseda Central Business District CDO approval was issued in compliance with Executive Directive 1 for a 100 percent Affordable Housing Development project, maximum height of six stories and 65 feet 10 ½ inches, totaling 190 multi-family residential dwelling units, reserving two Manager's Units, one unit set aside for Extremely Low Income Household occupancy, 149 units set aside for Low Income Household occupancy, and 38 units set aside for Moderate Income Household occupancy at 7004 – 7018 ½ N. Baird Avenue (approximately 0.5 miles south of the subject site).

Case No. ADM-2024-4609-DB-ED1 – On May 13, 2025, a Density Bonus Letter of Compliance and Reseda Central Business District CDO approval was issued in compliance with Executive Directive 1 for a 100 percent Affordable Housing Development project, maximum height five stories and 50 feet 3 inches, 17,636 square feet, totaling 37 multi-family residential dwelling units,

reserving one Manager's Unit, one unit set aside for Very Low Income Household occupancy, 27 units set aside for Low Income Household occupancy, and eight units set aside for Moderate Income Household occupancy at 6942 - 6944 N. Baird Avenue (approximately 0.5 miles south of the subject site).

Case No. ADM-2024-956-DB-CDO-VHCA-ED1 – On September 17, 2024, a Density Bonus Letter of Compliance and Reseda Central Business District CDO approval was issued in compliance with Executive Directive 1 for a 100 percent Affordable Housing Development project, maximum height of four stories and 49 feet 4 inches, 42,011 square feet of floor area, totaling 91 multi-family residential dwelling units, reserving one Manager's Unit, three units set aside for Very Low Income Household Occupancy, 69 units set aside for Low Income Household occupancy, and 18 units set aside for Moderate Income Household at 6834 - 6840 N. Baird Avenue (approximately 0.7 miles south of the subject site).

Case No. DIR-2014-486-DB-CDO – On June 1, 2015, the Director of Planning approved a Density Bonus and Reseda Central Business District CDO review to construct a four-story, 53 foot in height, mixed-use building with 40 residential dwelling units including two units set aside for Very Low Income Household occupancy and 1,670 square feet of retail use at 7343 Reseda Boulevard (approximately 0.1 mile east of the subject site).

Eligibility for State Density Bonus Program

LAMC Section 12.22 A.37 establishes procedures for the implementation of State Density Bonus requirements, as set forth in California Government Code (CA GC) Sections 65915 – 65918. Further, the purpose of these procedures is to increase the production of affordable housing consistent with City policies.

The project proposed herein is a Residential Care Facility for the Elderly (RCFE). LAMC Section 12.22 A.37(b) includes but is not limited to the following definitions as applicable to Section 12.22 A.37: Senior Citizen and Senior Citizen Housing Development.

Senior Citizens. *Individuals who are at least 62 years of age, except for projects of at least 35 units that are subject to this subdivision, a threshold of 55 years of age may be used, provided all applicable City, state and federal regulations are met.*

Senior Citizen Housing Development. *A Housing Development that has at least 35 dwelling units or guest rooms, as defined in California Civil Code Sections 51.3 and 51.12, or a mobile home park that limits residency based on age requirements for housing for older persons pursuant to California Civil Code Sections 798.76 or 799.5. It also includes a residential care facility for the elderly, as defined in California Health and Safety Code Section 1569.2.*

For the purpose of this entitlement, the project cannot be defined as a Senior Citizen Housing Development, even if residents meet the age criteria for Senior Citizens, because the project is composed of 34 dwelling units or guest rooms. As defined under LAMC Section 12.22 A.37(b), a Senior Citizen Housing Development must include at least 35 dwelling units or guest rooms.

LAMC Section 12.22 A.37 also defines Shared Housing Building and Shared Housing Unit as follows:

Shared Housing Building. *A residential or mixed-use structure, with five or more Shared Housing Units and one or more common kitchens and dining areas designed for*

permanent residence of more than 30 days by its tenants as defined in California Government Code Section 65915(o)(7)(A).

Shared Housing Unit. *One or more habitable rooms, not within another dwelling unit, that includes a bathroom, sink, refrigerator, and microwave, and is used for permanent residence in a Shared Housing Building, and is as further defined in Government Code Section 65915(o)(7)(B). A Shared Housing Unit shall comply with the definition of "Guest Room" for purposes of zoning and allowable density.*

The project meets the definition of a Shared Housing Building and a Shared Housing Unit, as defined in LAMC Section 12.22 A.37 and CA GC Sections 65915(o)(7)(A) and (B). The applicant's plans (see "**Exhibit A**") show a residential structure with 34 units. There is at least one common kitchen and dining area. All but one of the habitable rooms includes a bathroom and sink. Pursuant to CA GC Section 65915(o)(7)(A), the kitchen and dining areas must be able to adequately accommodate all residents. Further, pursuant to Section 65915(o)(7)(B), a shared housing unit for the purposes of a residential care facility for the elderly includes a unit without an individual kitchen. As conditioned herein and in compliance with LAMC Section 12.22 A.37, each unit shall include a bathroom and sink.

As codified in LAMC Section 12.22 A.37(c), eligibility for the State Density Bonus Program is met because the project qualifies as a Shared Housing Building, reserving 100 percent of its units for Senior Citizens, and providing a minimum of 5 percent of its units excluding units added by a density bonus (minimum of three units) reserved for Very Low Income Housing, consistent with CA GC Section 65915(b)(1)(B)

RCFEs are licensed and monitored by the California Department of Social Services (CDSS). For example, CDSS sets requirements for the level of care, number of residents at a facility, and patient to staff ratio. None of these requirements are governed by the LAMC. Additional information about RCFE licensing, and facility inspections is available at <https://www.cdss.ca.gov/inforesources/adult-care-licensing>.

Density

As defined by CA GC 65915(o)(6), "maximum allowable residential density" or "base density" means the greatest number of units allowed under the zoning ordinance, specific plan, or land use element of the general plan, or, if a range of density is permitted, means the greatest number of units allowed by the specific zoning range, specific plan, or land use element of the general plan applicable to the project. The proposed project site is zoned R2; however, the site's General Commercial land use designation corresponds to a range of zones including the C2 Zone. As codified in LAMC Section 12.14 C.3, which regulates the C2 Zone, the lot area requirements of the R4 Zone (LAMC Section 12.11 C.4) apply to all residential uses on a C2 zoned lot. Pursuant to LAMC Section 12.11 C.4, guest rooms require a minimum lot area of 200 square feet. Therefore, based on an 8,003.7 square foot lot (including one-half of the abutting alley), the base density is 41 Shared Housing Units or guest rooms ($8003.7/200 = 40.01$ rounded up to the whole number). The applicant is proposing to develop 34 rental units within the RCFE, so the project is not maximizing the allowable density under the General Commercial land use designation. However, by utilizing density bonus regulations and reserving a minimum of 5 percent of the units (minimum of 3 units) for Very Low Income Household occupancy, the applicant is eligible for one Incentive. The applicant has requested two Off-menu Incentives; however, this report recommends the approval of one Off-menu Incentive. Additionally, the applicant may request Waivers of Development Standards consistent with CA GC Section 65915(b)(1)(B).

Floor Area

As shown on the applicant's plans (see "**Exhibit A**"), the applicant is proposing a floor area of 13,937 square feet. LAMC Section 12.21.1 allows a base floor area ratio (FAR) of 6:1 at the [Q]R2-2D-CDO zoned site. According to LADBS Plan Check calculations, the applicant is providing a 2.78:1 FAR, which does not exceed the allowable 6:1 FAR.

Height

As shown on the applicant's plans (see "**Exhibit A**"), the proposed project will be constructed to a height of three stories and 39 feet 6 inches. As previously discussed, the 2D associated with the [Q]R2-2D-CDO Zone limits height at the subject site to 10 stories pursuant to Ordinance No. 162,925-SA900 effective December 16, 1987. Community Plan Map Footnote No. 7 further limits project height at the subject site to three stories. The -2D height district associated with the R2 Zone limits height to 33 feet with no limit on the number of stories. However, the Reseda Central Business District CDO permanent [Q] Condition No. 2.B.1 allows a maximum height of 45 feet on R2 zoned lots.

The applicant is requesting a Waiver of Development Standards for a 100 percent deviation from transitional height requirements pursuant to LAMC Section 12.21.1 A.10. However, transitional height requirements under LAMC Section 12.21.1 A.10 regulates height for buildings on C or M zoned lots. The subject site is zoned [Q]R2-2D-CDO, and transitional height requirements pursuant to Section 12.21.1 A.10 do not apply to R2 zoned lots.

Setbacks

Pursuant to LAMC Section 12.09 C, which regulates lot area requirements in the R2 Zone, the following requirements apply to the project: 20 foot front yard (20 percent of 150 foot lot depth with 20 feet maximum); 6 foot north and south side yards; and a 15 foot rear yard. Pursuant to LAMC Section 12.22 C.10, one-half of the abutting alley to rear may be used to compute a portion of the required rear yard in zones other than the RS, R1, RU, RZ, RMP, and R2 Zones. Since the subject site is zoned R2, the project may not utilize one-half of the alley to compute a portion of the required rear yard.

The applicant is requesting a Waiver of Development Standard to provide a 0 foot front yard setback in lieu of the required 20 feet, which is a 100 percent decrease. The applicant is requesting two Waivers of Development Standards for a reduced north and side yard setback to provide 3 foot 10 inch north and south side yards, which is a 36.7 percent decrease. The applicant is also requesting a Waiver of Development Standard to provide a 0 foot side yard setback in lieu of the required 15 feet, which is a 100 percent decrease.

Parking and Access

Automobile Parking. As disclosed on ZIMAS, the subject site is located within one-half mile of a Major Transit Stop (AB 2097; CA GC 65863.2) and therefore, pursuant to State law, no automobile parking is required. As shown on "**Exhibit A**," no automobile parking is provided. The project location qualifies as a Major Transit Stop due to its proximity to the Metro Bus Line 240 and Metro Bus Line 162, both of which stop at Reseda Boulevard and Sherman Way.

Bicycle Parking. LAMC Section 12.21 A.16 requires three long-term bicycle parking spaces and two short-term bicycle parking spaces for the project. The applicant is requesting a Waiver of Development Standards for long-term bicycle parking to provide no long-term bicycle parking spaces in lieu of the otherwise required three spaces. The applicant is also requesting a Waiver

of Development Standards for short-term bicycle parking to provide no short-term bicycle parking spaces in lieu of the otherwise required two spaces.

The applicant's plans ("**Exhibit A,**" **Sheet A102**) shows a 19 foot driveway access along the southeastern portion of the site.

Open Space

LAMC Section 12.21 G requires the provision of open space for six or more residential units. The applicant is requesting a 100 percent deviation from the required open space to provide 0 square feet of open space in lieu of the otherwise required 3,400 square feet pursuant to LAMC Section 12.21 G. However, the proposed project is providing shared housing units or guest rooms. For the purpose of requiring open space under LAMC Section 12.21 G, shared housing units or guest rooms are not the same as residential units. Therefore, no open space is required.

Trees and Landscaping

According to the Tree Disclosure Statement Form No. CP-4067 submitted by the applicant, the property does not contain any protected trees or shrubs, and there are no street trees in the public right-of-way. Further, the applicant discloses that no trees or shrubs have been removed in the last 2 years. According to information provided by the applicant, two existing non-protected trees located on site will need to be removed to construct the proposed project.

The Municipal Code regulates landscaping in LAMC Sections 12.40 – 12.43 and 12.21 G. As previously stated, LAMC Section 12.21 G is not applicable to a shared housing unit project. Pursuant to LAMC Section 12.40 E and F, Planning shall not approve proposed landscape for any project unless the landscape satisfies the requirements of the landscape point system, as established by the City Planning Commission, including City Planning Commission Guidelines. The Guidelines include but are not limited to tree planting and water management, and the landscape point system is referenced under Guidelines O. Under the point system, points are awarded for features and techniques such as tree planting, use of 100 percent California native plants, and planting on walls and fences.

LAMC Section 62.162 gives the Urban Forestry Division/Board of Public Works the power to plant, maintain, and issue tree permits. Under this authority, Urban Forestry Division/Board of Public Works requires street trees in the public right-of-way. The Urban Forestry Division/Board of Public Works reviews projects during Plan Check. The Department of City Planning does not have authority under LAMC Section 62.162.

The applicant has requested herein a Waiver of Development Standards for a 100 percent reduction in the required number of trees to be planted on site and the public right-of-way. No landscaping, including planting of California native plants, is shown on the applicant's plans.

Design

The applicant's plans, as shown in "**Exhibit A,**" disclose a three-story Residential Care Facility for the Elderly (RCFE) fronting on Baird Avenue. The rear elevation abutting the alley shows an unenclosed space on the first floor which is covered by the second and third floors. The first floor includes an office and eight shared housing units with an attached bath. The second floor includes 14 shared housing units; 13 units have an attached bath, and one unit has a bath adjacent to but outside of the unit. The project is designed with a dining room and living room on the second floor. The third floor plan shows 12 units with an attached bath, kitchen, dining room, living room, and laundry. The roof plan shows rooftop open space and solar panels.

The project was reviewed by the Los Angeles City Planning Urban Design Studio on October 22, 2025 and the Professional Volunteer Program (PVP) on November 4, 2025. The following design comments were offered to the applicant regarding pedestrian first orientation, 360 degree design, and climate adapted design. These comments are shown together with the applicant’s responses in **Table 1**. The applicant did not provide an explanation to all questions asked by the PVP beyond noting that State licensing and monitoring regulations, as overseen by the California Department of Social Services (CDSS), will be met.

TABLE 1. URBAN DESIGN STUDIO/PROFESSIONAL VOLUNTEER PROGRAM COMMENTS WITH APPLICANT RESPONSES

Urban Design Studio/Professional Volunteer Program Comments	Applicant Responses
Pedestrian First Orientation:	
<ul style="list-style-type: none"> • Has the applicant incorporated any State access requirements for RCFEs into the project design? 	No formal engagement with CDSS has been conducted yet. However, the building satisfies all known RCFE regulations to me. I am a Licensed RCFE administrator.
<ul style="list-style-type: none"> ○ For example, is a lobby required? 	Reception area will be satisfactory.
<ul style="list-style-type: none"> ○ Is there sufficient emergency access, including emergency access for non-ambulatory patients? 	Yes
<ul style="list-style-type: none"> ○ How will non-ambulatory patients be moved during meals? 	Dining Area is provided on the 2nd and 3rd floors. For the residents unable to go to the dining room, such as bedridden residents, the food will be served in the bedroom.
<ul style="list-style-type: none"> ○ Is there control of access for dementia patients who might wander? 	This will be arranged if and when the facility applies to allow dementia patients.
<ul style="list-style-type: none"> • The winding stairs, with differential tread widths, would seem problematic for any users including RCFE users. 	We will redesign the stairs if the ADA department has any concerns with this design.
<ul style="list-style-type: none"> • Please clarify the planned activity for the covered open area at the rear of the building. 	There is no planned activity at this point of application.
<ul style="list-style-type: none"> • Potentially, there is an issue with the egress from the rear stairway, because the exit is discharged under a building; Planning recommends the applicant consult with the Los Angeles Fire Department (LAFD) and Los Angeles Department of Building and Safety (LADBS). 	We are already in consultation with LAFD. There is no concern.
<ul style="list-style-type: none"> • Please consult with LADBS regarding seismic safety, particularly regarding the unenclosed area at the rear of the structure 	Not at this point of time in application.
<ul style="list-style-type: none"> • Please consult with LADBS regarding Building Code requirements for openings per story; it is possible that the project 	Not at this point of time in application.

Urban Design Studio/Professional Volunteer Program Comments	Applicant Responses
does not meet these requirements due to proposed 3 foot 10 inch side yards	
<ul style="list-style-type: none"> Re: unit 183 on the 2nd floor – why isn't the restroom attached? Will the occupant have to go into the hallway to use the restroom? 	It is not necessary to provide bathroom to every bedroom.
360 Degree Design:	
<ul style="list-style-type: none"> This plan creates what will be a warehouse for seniors, because there is little provision for socializing beyond meals. For example, there are no amenities except the living room. There is no outdoor open space, landscaping, or opportunities to exercise. 	The design will exceed all requirements by CDSS.
<ul style="list-style-type: none"> Why are dining and living rooms duplicated on the 2nd and 3rd floors? 	So that residents can access these rooms on the same floor and that these rooms do not become too crowded.
<ul style="list-style-type: none"> What is the purpose of the driveway access shown on the 1st floor plan? 	Access by emergency vehicles.
Climate-Adapted Design:	
<ul style="list-style-type: none"> The building will add to the urban heat island effect and stormwater runoff due to: (1) lack of trees / tree canopy; (2) lack of landscaping; (3) the entire area will be impervious. 	According to a recent report after the historical Los Angeles fire, tree clearance around houses are very important to reduce the fire exposure.

Housing Crisis Act Vesting Preliminary Application

The project received a Housing Crisis Act Vesting Preliminary Application on May 16, 2024 (payment date and submittal completion date) signed by Planning staff on May 17, 2024 under PAR-2024-3058-VHCA. Vesting status allows the project to vest City ordinances, policies, and standards adopted and in effect at that time. To maintain vesting status, a project application must be filed within 180 days of the preliminary application deemed complete. Additionally, to maintain vesting status, any change in the unit count must be less than 20 percent of the total proposed on the preliminary application. The project application was filed on May 28, 2024, which met the 180 day deadline. Under the vesting application, the project proposed a three-story, 45 foot in height structure comprised of 30 residential dwelling units with four units restricted to Very Low Income Households for disabled veterans. The current project proposes 34 units, which is a 13.3 percent change. As such, the project herein maintained vesting rights.

Housing Replacement

Pursuant to California Government Code Section 66300 et seq. (Housing Crisis Act of 2019 (HCA), as amended by Senate Bill 8 and Assembly Bill 1218), any proposed development project that requires the demolition of existing residential dwelling units or occupied or vacant Protected Units, or is located on a site where Protected Units were demolished in the previous 5 years, is subject to replacement. The Replacement Unit Determination (RUD) issued by the Los Angeles Housing Department (LAHD) on September 23, 2024 based their determination on the owner's plan to construct a new 30 unit residential building on the Property using Density Bonus. LAHD determined the property has been owner occupied since September 2023 and the proposed

housing development does not require the demolition of any prohibited types of housing, and no SB 8 replacement affordable units are required. However, if the project changes, a new RUD is required.

On September 23, 2024, when LAHD issued the RUD determination, the applicant's density bonus application was subject to processing under LAMC Section 12.22 A.25. Prior to February 11, 2025, all State Density Bonus provisions were codified under LAMC Section 12.22 A.25. Following the adoption of Ordinance 188,477 under the Citywide Housing Incentive Program (CHIP Ordinance), effective on February 11, 2025, the City complies with State Density Bonus Law through the filing, processing, and effectuation procedures codified under LAMC Sections 12.22 A.37 through 12.22 A.39. On August 26, 2025, the applicant submitted revised Department of City Planning Application Form No. CP13-7771.1 and chose to opt into a new entitlement path, which is the City's State Density Bonus Program as codified in LAMC Section 12.22 A.37. As such, the project is subject to the Resident Protections Ordinance (RPO) also approved in February 2025.

Environmental

The project was analyzed under ENV-2024-3382-CE as the construction, use and maintenance of a three-story, 39 foot 6 inch in height, 34 unit, 13,937 square foot Residential Care Facility for the Elderly on a 7,503.7 square foot lot including four units reserved for Very Low Income Senior Citizens and 30 units at Market Rate for Seniors. No automobile parking or bicycle parking is proposed. To achieve the proposed project, the applicant will demolish an existing one-story, approximately 1,420 square foot single-family dwelling and remove two on-site non-protected trees.

The project qualifies for an Exemption under CEQA pursuant to CEQA Guidelines Section 15332, Class 32. Class 32 consists of an infill development within an urbanized area and meets all of the qualifications for a Class 32 Exemption. Specifically, the project site is less than 5 acres; the project is consistent with the General Plan (i.e., Community Plan) and zoning; the project is not a habitat for endangered, rare, or threatened species; the project will not result in any significant effects relating to traffic, noise, air quality, or water quality; and the project can be adequately served by all required utilities and public services.

Further, there is no applicable exception to the use of a categorical exemption due to location, cumulative impacts of similar RCFE projects, or unusual circumstances. The project is not located on a scenic highway or hazardous waste site. The project is not the site of a historic resource. Therefore, as set forth in State CEQA Guidelines Section 15300.2, there are no exceptions that would prohibit the use of any categorical exemption.

Hearing Officer Comments

Public Hearing

The public hearing for Case No. CPC-2024-3381-DB-CDO-HCA was conducted electronically via Zoom on Tuesday, February 3, 2026 at 9:30 a.m. Planning staff conducted the hearing.

Akhilesh Jha represented the owner at the public hearing.

Elizabeth Ene, Director of Planning and Economic Development, Council District 3, expressed being taken aback by all of the requested waivers, especially trees and open space, because trees and open space would be enjoyed by the residents. Elizabeth Ene asked Akhilesh Jha to explain why the waivers are needed.

Akhilesh Jha stated that he also struggles with the number of waivers requested and provided the following reasons for the requests:

- Trees must be cleared within 10 feet of all sides of the building pursuant to Los Angeles County Fire Department regulations.
- This is a small lot (7,503 square feet).
- It is extremely hard to go through the approval process in the City, even for Akhilesh Jha, who is a rocket scientist and aerospace engineer. He has never done anything so hard.
- The project does have open space, but the City's criteria for open space is different. The living room, kitchen, dining room, rooftop, and TV room are open space. The residents are non-ambulatory and do not need a lot of open space. If more open space is needed later on, a bedroom can be vacated to be used as open space.
- The project is moderate in scale.
- This is a business, and if residents are unhappy it does not help the business owner. If the residents are unhappy, the representative / owner can always come back to the City for changes to the project.

Elizabeth Ene also asked where visitors will park, because no parking is proposed. Akhilesh Jha responded as follows:

- The City and State are moving in the direction of not requiring parking.
- This site is located in an area where parking is not required by the State.
- Providing parking would result in a loss of units.
- Both Baird Avenue at the front of the site and the alley at the rear of the site can be used for drop-off.
- Half of the first floor (the covered area at the rear of the site) will be open for emergency vehicles, facility vendors, and visitors to park.

Elizabeth Ene clarified that under Municipal law, vehicles cannot park in the alley.

No members of the community or stakeholders attended the hearing.

Comments from Interested Parties

No comments have been received to date.

Conclusion

The proposed Shared Housing Building operating as a Residential Care Facility for the Elderly is requesting two Off-Menu Incentives and nine Waivers of Development Standards. The proposed project is subject to State and municipal Density Bonus regulations (California Government Code Section 65915 et seq. and LAMC Section 12.22 A.37). Based on State and municipal Density Bonus law and the public hearing and information submitted to the record, staff recommends that the City Planning Commission adopt staff's recommended actions and the attached Conditions of Approval and Findings, including the finding that the project is categorically exempt from CEQA.

CONDITIONS OF APPROVAL

Pursuant to Los Angeles Municipal Code (LAMC) Chapter 1, Section 12.22 A.37 State Density Bonus Program and the procedures set forth in LAMC Chapter 1A, Section 13B.2.3 Class 3 Conditional Use Permit, the following conditions are hereby imposed upon the use of the subject property.

1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the Applicant, stamped “**Exhibit A,**” and attached to the subject case file. Subsequent modifications are reviewed pursuant to 13B.2.3 H (Modification Procedures) and may be permitted where they are equal to or less than 10% of what was initially approved and do not require additional incentives, subject to review by the Department of City Planning. Modifications greater than 10% or that require additional incentives shall necessitate a new case filing. Minor deviations may be allowed in order to comply with the provisions of the LAMC or the project conditions. Each change shall be identified and justified in writing.
2. **Density.** The project shall be limited to a density of 34 Shared Housing Units, and defined by LAMC Section 12.22 A.37 and California Government Code (CA GC) Sections 65915(o)(7)(A) and (B), including density bonus units.
3. **On-Site Restricted Affordable Units.** Four units shall be reserved for Very Low Income Households for Senior Citizens (Senior Citizens as defined by LAMC Section 12.22 A.37) to the satisfaction of the Los Angeles Housing Department (LAHD).
4. **Changes in On-Site Restricted Units.** Deviations that increase the number of restricted affordable units shall be consistent with the provisions of State Density Bonus Law in CA GC Section 65915(b)(1)(B) and 65915(f) and LAMC Section 12.22 A.37(c)(2)(iii) and 12.22 A.37 (e)(1)(iii)(a).
5. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing Department (LAHD) to make four units available to Very Low Income Households for Senior Citizens, for rental as determined to be affordable to such households by LAHD for a period of 99 years. In the event the applicant reduces the proposed density of the project, the number of required set-aside affordable units may be adjusted, consistent with LAMC Section 12.22 A.37(c)(2)(iii) and CA GC Section 65915(b)(1)(B), to the satisfaction of LAHD, and in consideration of the project’s SB 8 Determination and LAMC Section 16.61. Enforcement of the terms of said covenant shall be the responsibility of LAHD. The applicant will present a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Fair Housing Requirements for Affordable Housing adopted by the City Council and with any monitoring requirements established by the LAHD. Additionally, the applicant shall comply with all applicable Occupant Protections required by LAMC Section 16.60 A.3(b). Refer to the “Density Bonus/ Affordable Housing Incentive Program Findings” of this determination.
6. **Housing Crisis Act and Resident Protections**
 - a. **No Net Loss.** The project shall comply with LAMC Chapter 1, Section 16.60 A.5. A Housing Development Project shall include at least as many residential dwelling units as the greatest number of residential dwelling units that existed on the project site within the last five years (i.e., “no net loss”). Projects subject to the Resident Protections Ordinance that result in a net loss of housing are prohibited.

- b. Occupant Protections.** Additionally, the applicant shall comply with all applicable Occupant Protections required by LAMC Chapter 1, Section 16.60 A.3(b), including the Right to Remain up to 6 months prior to construction, Right to Return if Demolition does not proceed, and for qualifying tenants the Right to Return to an Affordable unit in the new project, and the Right to Relocation.
- 7. Use.** The project site shall be limited to a Residential Care Facility for the Elderly (RCFE).
- 8. Shared Housing Unit.** Each unit shall include a bathroom and sink.
- 9. Loading.** All loading activities shall be conducted on-site.
- 10. Floor Area.** The project is limited to a maximum floor area of 13,937 square feet and a maximum floor area ratio (FAR) of 2.78:1 as shown on “**Exhibit A**” (Sheet A000).
- 11. Height.** The project is limited to a maximum height of three stories and 39 feet 6 inches as shown on “**Exhibit A**,” (Sheets A200 and A201).
- 12. Automobile Parking.** As permitted under State AB 2097 and CA GC 65863.2, no automobile parking is required.
- 13. Additional Off-Menu Incentive – Landscaping.** The project is allowed a 100% decrease from all landscaping requirements to provide 0 square feet of landscaping in lieu of the otherwise required landscaping pursuant to LAMC Sections 12.40 - 12.43.
- 14. Waivers of Development Standards.**
- a. Front Yard.** The project is allowed 100% reduction from the required front yard setback to provide a 0 foot front yard setback in lieu of the otherwise required minimum 20 feet pursuant to LAMC Section 12.09 C.1.
- b. North Side Yard.** The project is allowed a 36.7% decrease in the required north side yard setback to provide a 3 foot 10 inch north side yard setback in lieu of the otherwise required minimum 6 feet pursuant to LAMC Section 12.09 C.2.
- c. South Side Yard.** The project is allowed a 36.7% decrease in the required south side yard setback to provide a 3 foot 10 inch south side yard setback in lieu of the otherwise required minimum 6 feet pursuant to LAMC Section 12.09 C.2.
- d. Rear Yard.** The project is allowed a 100% decrease from the required rear yard setback to provide a 0 foot rear yard setback in lieu of the otherwise required 15 feet pursuant to LAMC Section 12.09 C.3.
- e. Long-Term Bicycle Parking.** The project is allowed a 100% percent decrease in the required long-term bicycle parking to provide zero long-term bicycle parking spaces in lieu of the otherwise required three spaces pursuant to LAMC Section 12.21 A.16.
- f. Short-Term Bicycle Parking.** The project is allowed a 100% decrease in the required short-term bicycle parking to provide zero short-term bicycle parking spaces in lieu of the otherwise required two spaces pursuant to LAMC Section 12.21 A.16.

- g. Tree Planting.** The project is allowed a 100% reduction in the number of required trees to be planted on-site and in the public right-of-way to provide zero trees in lieu of the otherwise required 14 trees pursuant to LAMC Sections 12.40 - 12.43.
- 15. SB 8 Replacement Units (Government Code Section 66300).** The project shall be required to provide a Replacement Unit Determination (RUD) letter issued by the Los Angeles Housing Department (LAHD) for inclusion in the subject case file. The project is required to demonstrate compliance with the RUD letter to the satisfaction of LAHD. If restricted affordable units are required by LAHD, the most restrictive affordability levels shall be followed in the covenant. In the event the On-site Restricted Affordable Units condition requires additional affordable units or more restrictive affordability levels, the most restrictive requirements shall prevail.
- 16. Accessory Dwelling Units (ADUs).** No ADUs are proposed herein. If the applicant proposes ADUs at a future date, those ADUs shall be subject to affordability requirements as determined by LAHD.
- 17. Reseda Central Business District Community Design Overlay (CDO).** The project is required to comply with the following:
- a. Signage.** Any wall or nameplate signage proposed shall be in substantial compliance with “**Exhibit A**,” Sheet A202.
 - b. Signage.** All signage shall meet the requirements of LAMC Sections 12.09 and 12.21 A.7 as regulated by the Los Angeles Department of Building and Safety.
 - c. Trash Areas.** Trash areas shall be fully enclosed and screened from public view.
 - d. Colors.** As shown on “**Exhibit A**” (Sheet A113), the building colors are black, dark gray, gray, and off-white.
 - e. Security Devices.** As shown on “**Exhibit A**” (Sheet A113), no security devices using barbed wire, razor wire, and/or concertina wire are used.

Administrative Conditions

- 18. Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff “**Plans Approved.**” A copy of the Plans Approved, supplied by the applicant, shall be retained in the subject case file.
- 19. Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application, shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.
- 20. Approvals, Verification, and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.

- 21. Code Compliance.** Use, area, height, open space, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
- 22. Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
- 23. Recording Covenant.** Prior to the issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Development Services Center at the time of Condition Clearance for attachment to the subject case file.
- 24. Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning.
- 25. Indemnification and Reimbursement of Litigation Costs.**

Applicant shall do the following:

- i. Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- ii. Reimburse the City for any and all costs incurred in defense of an action related to or arising out of the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- iii. Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- iv. Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by

the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).

- v. If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissioners, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

FINDINGS

A. DENSITY BONUS / AFFORDABLE HOUSING INCENTIVES COMPLIANCE FINDINGS.

The applicant requested two Off-Menu Incentives which can be dismissed as follows:

- A request to deviate from all landscaping and tree planting requirements pursuant to LAMC Section 12.21 G, which regulates multi-family residential projects and does not apply to Shared Housing Buildings. Therefore, the request to deviate from landscaping and tree planting is discussed elsewhere herein, but not as applicable to LAMC Section 12.21 G.
- A request to deviate from all of the permanent Q Conditions and Design Standards and Guidelines of the Reseda Central Business District Community Design Overlay. All of the required findings of the Reseda Central Business District Community Design Overlay can be made, and the request for an Off-Menu Incentive to deviate from the Reseda Central Business District CDO can be dismissed.

Pursuant to Chapter 1, LAMC Section 12.22 A.37(f) and consistent with California Government (CA GC) Code Section 65915(d)(1), a Housing Development may request Incentive(s) not on the Menu of Incentives to seek a deviation from a Development Standard elsewhere in the Los Angeles Municipal Code (LAMC) or a site's applicable zoning ordinance, Community Plan, Specific Plan, or overlay. The Incentive shall be granted unless any of the following written findings are made based upon substantial evidence.

- 1. The Incentive does not result in identifiable and actual cost reductions, consistent with CA GC Section 65915(k), to provide for affordable housing costs, as defined in California Health and Safety Code Section 50052.5, or for rents for the targeted units to be set as specified in CA GC Section 659154(c).**

The applicant has requested herein a 100% decrease from all landscaping requirements to provide zero square feet of landscaping in lieu of the otherwise required landscaping pursuant to LAMC Sections 12.40 – 12.43 and 12.21 G. The applicant has also requested to deviate from the requirement to plant trees as a Waiver of Development Standard, which shall be discussed elsewhere herein.

The Municipal Code regulates landscaping in LAMC Sections 12.40 – 12.43 and 12.21 G. LAMC Section 12.21 G regulates six or more multi-family residential dwelling units and is not applicable to a Shared Housing Unit project. Therefore, the request for an Incentive to deviate from all landscaping requirements, including tree planting, pursuant to 12.21 G can be dismissed. Pursuant to LAMC Section 12.40 E and F, Planning shall not approve proposed landscape for any project unless the landscape satisfies the requirements of the landscape point system, as established by the City Planning Commission, including City Planning Commission Guidelines. The Guidelines include but are not limited to tree planting and water management, and the landscape point system is referenced under Guidelines "O." Under the point system, points are awarded for features and techniques such as tree planting, use of 100 percent California native plants, and planting on walls and fences. No landscaping, including planting of California native plants, is shown on the applicant's plans.

The record does not contain substantial evidence that would allow the City Planning Commission to make a finding that the requested Incentive to deviate from all landscaping requirements does not result in identifiable and actual cost reductions to provide for affordable housing costs per State Law. The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for very low-, low-, and moderate-income households. Section 50052.5 addresses owner-occupied housing, and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed 25 percent gross income based on area median income thresholds dependent on affordability levels.

LAMC Section 12.22 A.37(f)(1)(i) establishes that an Affordable Housing Project that provides 5% of the units as restricted affordable units (excluding units added as a density bonus) for Very Low Income Household occupancy may qualify for one Incentive. To qualify for two Incentives, the project would be required to set aside 10% of its units for Very Low Income Household occupancy. The project is setting aside four shared housing units for Very Affordable Housing occupancy for Seniors or 9%. As such, the project qualifies for one Incentive to allow the developer a 100% decrease from all landscaping requirements to provide 0 square feet of landscaping in lieu of landscaping otherwise required under LAMC Sections 12.40 – 12.43.

- 2. The Incentive will have a Specific Adverse Impact upon public health and safety or on any real property that is listed in the California Register of Historical Resources and for which there is no feasible method to satisfactorily mitigate or avoid the Specific Adverse Impact without rendering the development unaffordable to low-income and moderate-income households. Inconsistency with the zoning ordinance or General Plan land use designation shall not constitute a Specific Adverse Impact upon the public health or safety.**

There is no evidence in the record that the proposed density bonus Incentive to deviate from all landscape requirements will have a specific adverse impact. A “specific adverse impact” is defined as “a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete” (per CA GC Section 65589.5(d)(2) and LAMC Section 12.03).

The project does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments. The project is not located on a substandard street in a Hillside area or a Very High Fire Hazard Severity Zone. There is no evidence in the record which identifies a written objective health and safety standard that has been exceeded or violated. There is also no substantial evidence that the project’s proposed Incentive will have a specific adverse impact on public health and safety, or on property listed in the California Register of Historic Resources.

Therefore, there is not substantial evidence that the proposed project, and thus the requested Incentive to deviate from landscape requirements, will have a specific adverse impact on the physical environment, or on public health and safety. Based on the above, there is no basis to deny the requested landscape Incentive.

- 3. The Incentive would be contrary to state or federal law.**

The Incentive for a deviation from all landscape requirements is not contrary to state or federal law.

B. DENSITY BONUS / AFFORDABLE HOUSING WAIVER COMPLIANCE FINDINGS.

Pursuant to LAMC Section 12.22 A.37(d)(3)(i) and consistent with CA GC Section 65915(e) a Waiver of Development Standards shall be approved by the applicable decision-making authority unless that decision making authority makes one of the following findings:

- 4. The Development Standard associated with a request for a Waiver will not have the effect of physically precluding the construction of a development meeting the eligibility criteria described in LAMC Section 12.22 A.37(c) at the densities or with the Base Incentives and Additional Incentives permitted under this subdivision.**

Per CA GC Section 65915(e)(1) and LAMC Section 12.22 A.37(d)(3)(i), Waivers are "...reductions in Development Standards that will have the effect of physically precluding the construction of a Housing Development meeting the [affordable set-aside percentage] at the densities or with the Incentives permitted under [the State Density Bonus Program]...Waivers neither reduce nor increase the number of Incentives to which a project is entitled."

The project requested two Waivers of Development Standards which are not applicable and can be dismissed as follows:

- **A 100% Waiver of transitional height requirements pursuant to LAMC Section 12.21.1 A.10.** Transitional height requirements under LAMC Section 12.21.1 A.10 regulates height for buildings on C or M zoned lots. The subject site is zoned [Q]R2-2D-CDO, and transitional height requirements pursuant to Section 12.21.1 A.10 do not apply to R2 zoned lots. As such, the applicant's request to waive all transitional height requirements pursuant to LAMC Section 12.21.1 A.10 can be dismissed.
- **A 100% Waiver of useable open space to provide 0 square feet of open space in lieu of the otherwise required 3,400 square feet pursuant to LAMC Section 12.21 G.** LAMC Section 12.21 G applies to multi-family residential dwelling units and not to Shared Housing Units. Therefore, the applicant's request to deviate from open space requirements as regulated by LAMC Section 12.21 G is not applicable and is dismissed.

The project will set aside four Shared Housing Units at Very Low Income for Senior Citizens. The applicant is requesting and is approved for Waivers of Development Standards for reduced yard setbacks, bicycle parking, and tree planting. As disclosed by the applicant, denying these Waivers would physically preclude the construction of the 34 unit Shared Housing Building. The following seven Waivers from Zoning Code regulations are approved:

- **Front Yard Setback - A 100% decrease from the required front yard setback to provide a 0 foot front yard setback in lieu of the otherwise required minimum 20 feet pursuant to LAMC Section 12.09 C.1.** Granting the Waiver of Development Standards for a front yard setback allows the developer to expand the building envelope so that additional Shared Housing Units can be constructed, and the overall space dedicated to living opportunities for Senior Citizens can be increased.
- **North Side Yard Setback - A 36.7% decrease from the required north side yard setback to provide a 3 foot 10 inch north side yard setback in lieu of the**

- otherwise required minimum 6 feet pursuant to LAMC Section 12.09 C.2.** Granting the Waiver of Development Standards for a reduced north side yard setback allows the developer to expand the building envelope so that additional Shared Housing Units for Senior Citizens can be constructed, and the overall space dedicated to living opportunities for Very Low Income Senior Citizens can be increased.
- **South Side Yard Setback - A 36.7% decrease from the required south side yard setback to provide a 3 foot 10 inch south side yard setback in lieu of the otherwise required minimum 6 feet pursuant to LAMC Section 12.09 C.2.** Granting the Waiver of Development Standards for a reduced south side yard setback allows the developer to expand the building envelope so that additional Shared Housing Units for Senior Citizens can be constructed, and the overall space dedicated to living opportunities for Very Low Income Senior Citizens can be increased.
 - **Rear Yard Setback - A 100% decrease from the required rear yard setback to provide a 0 foot rear yard setback in lieu of the otherwise required 15 feet pursuant to LAMC Section 12.09 C.3.** The project site abuts an alley, which provides a 20 foot buffer between the proposed structure and the property to the rear of the site. Further, granting the Waiver of Development Standards for a reduced rear yard setback allows the developer to expand the building envelope so that additional Shared Housing Units for Senior Citizens can be constructed, and the overall space dedicated to living opportunities for Very Low Income Senior Citizens can be increased.
 - **Long-Term Bicycle Parking - A 100% percent deviation from the required long-term bicycle parking to provide no long-term bicycle parking spaces in lieu of the otherwise required three spaces pursuant to LAMC Section 12.21 A.16.** Granting the Waiver of Development Standards for zero long-term bicycle parking spaces allows the developer to expand the building envelope so that additional Shared Housing Units for Senior Citizens can be constructed, and the overall space dedicated to living opportunities for Very Low Income Senior Citizens can be increased. Furthermore, requiring the project to provide long-term bicycle parking may require passageway requirements under the LAMC, which could further restrict the developer's ability to provide Shared Housing Units for Senior Citizens at Very Low Income.
 - **Short-Term Bicycle Parking - A 100% percent deviation from the required short-term bicycle parking to provide no short-term bicycle parking spaces in lieu of the otherwise required two spaces pursuant to LAMC Section 12.21 A.16.** Granting the Waiver of Development Standards for zero short-term bicycle parking spaces allows the developer to expand the building envelope so that additional Shared Housing Units for Senior Citizens can be constructed, and the overall space dedicated to living opportunities for Very Low Income Senior Citizens can be increased. Also, requiring the project to provide short-term bicycle parking may require passageway requirements under the LAMC, which could further restrict the developer's ability to provide Shared Housing Units for Senior Citizens at Very Low Income.
 - **Tree Planting - A 100% reduction in the number of required trees to be planted on-site and in the public right-of-way to provide 0 trees in lieu of the trees required pursuant to LAMC Sections 12.40 - 12.43.** According to the Tree

Disclosure Statement Form No. CP-4067 submitted by the applicant, the property does not contain any protected trees or shrubs and there are no street trees in the public right-of-way. Further, the applicant discloses that no trees or shrubs have been removed in the last 2 years. According to information provided by the applicant, two existing non-protected trees located on site will need to be removed to construct the proposed project.

As previously discussed herein, LAMC Section 12.21 G applies to multi-family residential dwelling units and not to Shared Housing Units. Therefore, the applicant's request to deviate from tree planting requirements as regulated by LAMC Section 12.21 G is not applicable and is dismissed. The request to waive tree requirements under LAMC Sections 12.40 – 12.43 is granted herein, as it will allow the developer to expand the building envelope and results in construction efficiencies that provide for affordable housing costs.

LAMC Section 62.162 gives the Urban Forestry Division/Board of Public Works the power to plant, maintain, and issue tree permits. Under this authority, Urban Forestry Division/Board of Public Works requires street trees in the public right-of-way. The Urban Forestry Division/Board of Public Works reviews projects during Plan Check. The Department of City Planning does not have authority under LAMC Section 62.162.

5. The Waiver would have a Specific Adverse Impact as defined in California Government Code Section 65589.5(d)(2), upon public health and safety and for which there is no feasible method to satisfactorily mitigate or avoid the Specific, Adverse Impact.

There is no evidence in the record that the proposed Zoning Code Waivers from landscaping and tree planting requirements; front, side, and rear yard setback requirements; and short- and long-term bicycle parking regulations will have a specific adverse impact. A "specific adverse impact" is defined as "a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" (per CA GC Section 65589.5(d)(2) and LAMC Section 12.03).

The project does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments. There is no substantial evidence that the project's proposed Waivers will have a specific adverse impact on property listed in the California Register of Historic Resources. Moreover, the project is not located on a substandard street in a Hillside area or a Very High Fire Hazard Severity Zone. There is no evidence in the record which identifies a written objective health and safety standard that has been exceeded or violated. There is also no substantial evidence that the project's proposed Waivers will have a specific adverse impact on public health and safety.

During Plan Check, the project will be reviewed for compliance with the Building Code. This review will ensure compliance with Building Code regulations, including but not limited to fire regulations, access, and ADA compliance. No Waiver is granted herein for Building Code regulations.

Further, the project will be required to meet all California Department of Social Services (CDSS) licensing requirements for a Residential Care Facility for the Elderly (RCFE). The

City of Los Angeles has no jurisdiction over State RCFE requirements. No Waiver was requested or can be granted herein from State RCFE requirements.

Therefore, there is no substantial evidence that the proposed project, and thus the requested Waivers of Development Standards, will have a specific adverse impact on the physical environment, or on public health and safety. Based on the above, there is no basis to deny the requested Waivers from landscaping and tree planting requirements; front, side, and rear yard setback requirements; and short- and long-term bicycle parking.

6. The Waiver would have an adverse impact on any real property that is listed in the California Register of Historical Resources.

The existing structure on site and the property are not listed in the City's database of historic resources, including Historic Places LA or SurveyLA. The project does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments. The property is not listed in the California Register of Historical Resources as identified on Historic Places LA or SurveyLA. Therefore, the Waiver would not have an adverse impact on any real property that is listed in the California Register of Historical Resources.

7. The Waiver would be contrary to state or federal law.

The requested Waiver is not contrary to state or federal law.

C. RESEDA CENTRAL BUSINESS DISTRICT COMMUNITY DESIGN OVERLAY (CDO) FINDINGS

The project is located within the Reseda Central Business District CDO designated under ZIMAS as ZI-2339 (Ordinance Nos. 176,557 and 176,558). The Reseda Central Business District CDO permanent [Q] Conditions and Design Guidelines and Standards serve to enhance the physical appearance of the area, promote exterior design standards, and reinforce pedestrian scale. Pursuant to LAMC Section 13.08, the following findings must be made to grant an approval of plans under the Reseda Central Business District CDO.

8. The project substantially complies with the adopted Community Design Overlay and Design Guidelines and Standards.

The permanent [Q] Conditions, as codified in Ordinance No. 176,558, include regulations that are not applicable to a Shared Housing use as follows: automotive uses (permanent Q Conditions 2.A.1(a) and 2.A.2.B; open storage (permanent Q Conditions 2.A.1(b); commercial project street front entrances (permanent Q Condition 2.A.1(d); and industrial uses (permanent Q Condition 2.A.2).

The following permanent Q Conditions may be applicable to a Shared Housing use:

- Permanent Q Condition 2.A.1(c) prohibits ground-floor residential uses on any commercially zoned lot to a depth of a minimum 100 feet as measured from the building frontage. However, the subject site is zoned [Q]R2-2D-CDO and is not a commercially zoned lot. As such, permanent Q Condition 2.A.1(c) is not applicable to the proposed project.
- Permanent Q Condition 2.B limits the height of buildings to 45 feet with the exception of projects located in a RAS Zone. However, State Density Bonus Law

under CA GC Section 65915 and the State Density Bonus Program under LAMC Section 12.22 A.37 supersede the CDO height regulation. In this instance, the project height is requested at 39 feet 6 inches, which is in compliance with the CDO's 45 foot height limitation.

- Permanent Q Condition 2.C regulates signage, including business signage. Condition 2.C.1 prohibits specific types of signage, including pole signs, off-site commercial sign and billboards, freestanding signs on walls and fences, illuminated architectural canopy signs, cabinet and roof signs, inflatable signs, blinking/flashing/electronic signs, and flags. Conditions 2.C.2 a, b, and d restrict signage size per business. Condition 2.C.2 c restricts the area of each wall sign to 2 square feet for each 1 foot of building frontage. Condition 2.C.2 also restricts the size of awning signs to one square foot for each foot of building frontage, and requires that rear signs be non-illuminated.

Pursuant to LAMC Section 12.09 A.7, the project site's R2 Zoning allows name plates and signs as allowed for in LAMC Section 12.21 A.7. LAMC Section 12.21 A.7 does not allow signage in an R Zone to project above the roof ridge or parapet wall; allows for only one unlighted nameplate limited to 1.5 square feet in the R Zone; and unlighted signage pertaining to rental limited to 12 square feet. Each sign is limited to 20 square feet and the surface area of all signage cannot exceed 30 square feet. Other signage conditions under LAMC Section 12.21 A.7 are not applicable, including but not limited to the sale of farm products and church bulletin boards.

The applicant has not requested entitlement approval for signage herein on the Department of City Planning Application Form No. CP13-7771.1. However, the applicant's plans show a 15 square foot sign affixed to the building frontage (see "**Exhibit A**" Sheet A202). The sign shown on Sheet A202 is not included in the list of signs prohibited under Permanent Q Condition 2.C.1. Moreover, the sign shown on "**Exhibit A**" is consistent with the size regulations of Permanent Q Condition 2.C.2.c, and is not a projecting sign, awning sign, or rear signage.

As shown herein on Sheet A202 of "**Exhibit A**" and as conditioned herein, the signage complies with the Reseda Central Business District CDO. LADBS will review any sign plans to determine whether the signage complies with LAMC Section 12.21 A.7. Sign plans prepared to LADBS specifications will be reviewed for compliance with "**Exhibit A.**"

- Permanent Q Condition 2.D regulates parking buildings adjacent to residentially zoned property. The project does not include a parking building, and this condition is not applicable.

The Reseda Central Business District CDO Design Standards and Guidelines were established primarily for commercial properties and are not applicable to Shared Housing uses. For example, the project does not incorporate a surface parking lot (Standard 2b, Standard 4) or shopping areas with pedestrian walkways (Guideline 5). The project meets the applicable Reseda Central Business District CDO Design Standards and Guidelines as follows:

- Guideline 7 regulates the visual look of trash areas. As shown on "**Exhibit A,**" and as conditioned herein, trash areas shall be screened from public view.

- Guideline 13 regulates building colors to avoid highly reflective colors that produce glare. As conditioned herein and as shown on “**Exhibit A**,” the project is designed with exterior colors that do not produce glare, including but not limited to black, dark gray, gray, and off-white.
- Guideline 21 regulates Security Devices. As shown on “**Exhibit A**” (Sheet A113), in compliance with Guideline 21 and as conditioned herein, no security devices using barbed wire, razor wire, and/or concertina wire are used.

9. The structures, site plan and landscaping are harmonious in scale and design with existing development and any cultural, scenic, or environmental resources adjacent to the site and in the vicinity.

The applicant is requesting and has been granted an Off-Menu Incentive to waive landscaping requirements. However, the structures and site plan are harmonious in scale and design with existing development and any cultural, scenic, or environmental resources adjacent to the site and in the vicinity.

The surrounding area is improved with urban uses. To the north, the abutting site on Baird Avenue is zoned [Q]R2-2D-CDO and designated for General Commercial land use. The site is improved with a single-family dwelling. Further north, sites on Baird Avenue across Valerio Street are zoned R1-1, designated for Low Medium II Residential land use, and improved with single-family dwellings. To the south, sites along the east side of Baird Avenue are zoned [Q]R2-2D-CDO, designated for General Commercial land use, and improved with single-family uses. Further south, at the northeast corner of Baird Avenue and Wyandotte Street, the site is zoned [Q]R3-2-CDO and designated for General Commercial land use. This site is improved with a multi-family dwelling. To the south, along the west side of Baird Avenue, sites are zoned R1-1, designated for Medium Residential use, and are improved with single-family dwellings. To the east along Reseda Boulevard, south of Valerio Street sites are zoned [Q]C2-2D-CDO and sites north of Valerio Street are zoned [Q]C2-1VL-CDO. Along Reseda Boulevard sites north and south of Valerio Street are designated for General Commercial land use. These sites are improved with commercial uses (automotive, retail, restaurant), a U.S. Post Office, and a multi-family residence. As shown on ZIMAS, the subject site is located within 500 feet of a school zone. Reseda Elementary School is located to the west on a site zoned [Q]PF-1XL and designated for Public Facilities.

Siting a Residential Care Facility for the Elderly at the subject site will allow residents and employees of the facility to walk along sidewalks in an improved neighborhood. Further, facility residents and/or employees can utilize nearby commercial uses, such as the post office and restaurants. The project is separated from commercial uses along Reseda Boulevard by a 20-foot alley. As such, the three-story, 34 unit Shared Housing Building provides a buffer between abutting commercial and residential uses. The proposed structure, site plan, and use are harmonious in scale and design with existing development and any cultural, scenic, or environmental resources adjacent to the site and in the vicinity.

Therefore, as shown on “**Exhibit A**” and as conditioned herein, the project substantially complies with the applicable adopted Community Design Overlay and Design Guidelines and Standards.

D. CEQA FINDINGS

The project was analyzed under Case No. ENV-2024-3382-CE the construction, use and maintenance of three-story, 39 foot 6 inch in height, 34 unit, 13,937 square foot Residential Care Facility for the Elderly on a 7,503.7 square foot lot including four units reserved for Very Low Income Senior Citizens and 30 units at Market Rate for Seniors. No automobile parking or bicycle parking is proposed. To achieve the proposed project, the applicant will demolish an existing one-story, approximately 1,420 square foot single-family dwelling and remove two on-site non-protected trees.

The project qualifies for a Categorical Exemption under Section 15332, Class 32 as an infill development within an urbanized area. To be eligible for a Class 32 Exemption, all of the following qualifications must be met: the project site is 5 acres or less; the project is consistent with the General Plan (i.e., Community Plan) and zoning; the project is not located on any hazardous waste site list; the project is not demolishing a historical resource; and it is not readily apparent the project will create a significant impact to the environment.

All required qualifications to be eligible for a Class 32 are met. The subject site is wholly within the City of Los Angeles, on a site that is approximately 7,503.7 square feet / 0.17 acres. The project is consistent with the General Plan and zoning. The project site is zoned [Q]R2-2D-CDO and is located within the Reseda-West Van Nuys Community Plan. The project site is designated for General Commercial land use which corresponds to the C1.5, C2, CR, C4, RAS3, RAS4, and P Zones. The R2 Zone is more restrictive than the range of zones corresponding to the General Commercial land use designation, and therefore, the zoning is consistent with the land use. Pursuant to LAMC Section 12.09 A, the R2 Zone is a “two-family zone” that allows any use permitted in the R1 “one-family zone;” two-family dwellings; apartment houses, boarding or rooming houses, or multiple dwellings under specific circumstances; accessory buildings; and accessory uses and home occupations. The applicant is utilizing the density of the RAS3 Zone as allowed pursuant to CA GC Section 65915 and LAMC Section 12.22 A.37 to construct a 34 unit Shared Housing Building. A Residential Care Facility for the Elderly is a permitted use under the range of zones corresponding to the General Commercial land use designation. Further, the project site is in compliance with the Reseda Central Business District Community Design Overlay. The project site has been previously disturbed by development and has no value as habitat for endangered, rare or threatened species, including but not limited to protected trees. Approval of the 34 unit Shared Housing Building will not result in significant effects relating to traffic, noise, air quality, or water quality. Furthermore, the three-story, 39 foot 6 inch in height, 13,937 square foot facility can be adequately served by all required utilities and public services.

Further, there are no exceptions to the use of a categorical exemption due to location, cumulative impact of similar Shared Housing Buildings or Residential Care Facility for the Elderly uses, or unusual circumstances. The project is not located on a scenic highway or hazardous waste site. The project is not the site of a historic resource. Therefore, as set forth in State CEQA Guidelines Section 15300.2, there are no exceptions that would prohibit the use of any categorical exemption, and no mitigation measures are required.

The project is also subject to review under existing City ordinances (Sewer Ordinance, Grading Ordinance, Flood Plain Management, Xeriscape Ordinance, Stormwater Ordinance, etc.) and regulatory compliance measures, which are specifically intended to mitigate potential impacts on all projects.

Therefore, Find, based on the whole of the administrative record, the project is exempt from CEQA pursuant to CEQA Guidelines Section 15332, Class 32, and there is no substantial

evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

The records upon which this decision is based are with Valley Project Planning, Department of City Planning, 6262 Van Nuys Boulevard, Room 430, Los Angeles, CA 91401.

PUBLIC HEARING AND COMMUNICATIONS

The public hearing for Case No. CPC-2024-3381-DB-CDO-HCA was conducted electronically via Zoom on Tuesday, February 3, 2026 at 9:30 a.m. Planning staff conducted the hearing.

Akhilesh Jha represented the owner at the public hearing.

Elizabeth Ene, Director of Planning and Economic Development, Council District 3, expressed being taken aback by all of the requested waivers, especially trees and open space, because trees and open space would be enjoyed by the residents. Elizabeth Ene asked Akhilesh Jha to explain why the waivers are needed.

Akhilesh Jha stated that he also struggles with the number of waivers requested and provided the following reasons for the requests:

- Trees must be cleared within 10 feet of all sides of the building pursuant to Los Angeles County Fire Department regulations.
- This is a small lot (7,503 square feet).
- It is extremely hard to go through the approval process in the City, even for Akhilesh Jha, who is a rocket scientist and aerospace engineer. He has never done anything so hard.
- The project does have open space, but the City's criteria for open space is different. The living room, kitchen, dining room, rooftop, and TV room are open space. The residents are non-ambulatory and do not need a lot of open space. If more open space is needed later on, a bedroom can be vacated to be used as open space.
- The project is moderate in scale.
- This is a business, and if residents are unhappy it does not help the business owner. If the residents are unhappy, the representative / owner can always come back to the City for changes to the project.

Elizabeth Ene also asked where visitors will park, because no parking is proposed. Akhilesh Jha responded as follows:

- The City and State are moving in the direction of not requiring parking.
- This site is located in an area where parking is not required by the State.
- Providing parking would result in a loss of units.
- Both Baird Avenue at the front of the site and the alley at the rear of the site can be used for drop-off.
- Half of the first floor (the covered area at the rear of the site) will be open for emergency vehicles, facility vendors, and visitors to park.

Elizabeth Ene clarified that under Municipal law, vehicles cannot park in the alley.

No members of the community or stakeholders attended the hearing.

Comments from Interested Parties

No comments have been received to date.

NEW 3 STORY RCFC BUILDING 7354 BAIRD AVE RESEDA, CA 91335

EXHIBIT
Page No. 1 of 1
Case No CPC-1888

PROJECT DESCRIPTION
CONSTRUCTION OF A NEW THREE-STORY, 34-UNIT RESIDENTIAL CARE FACILITY FOR THE ELDERLY (RCFE), FULLY SPRINKLERED IN ACCORDANCE WITH NFPA 13.

APPLICABLE CODES
ALL CONSTRUCTION AND ALL WORKS SHALL BE IN ACCORDANCE WITH THE 2020 CBC, CEC, CMC, CPC, THEIR L.A. AMENDMENTS, AND THE L.A. GREEN BUILDING CODE ORDINANCE

GENERAL NOTES
1. THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER / ENGINEER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, DIMENSIONS AND GRADE ELEVATIONS. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE DESIGNER / ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. NO CHANGES SHALL BE MADE ON THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT OF THE ENGINEER.
4. OMISSIONS FROM THE PLANS AND SPECIFICATIONS SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF FURNISHING, MAKING, OR INSTALLING WORK REQUIRED BY ANY ORDINANCES THAT ARE USUALLY FURNISHED, MADE, OR ENFORCED WITHIN THE SCOPE AND CHARACTER INDICATED BY THE PLANS & SPECIFICATIONS.
5. REFERENCES TO ANY DETAIL OR DRAWING DOES NOT LIMIT ITS APPLICATION BUT SHALL BE USED ON SIMILAR OR TYPICAL CONDITIONS.
6. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, UTILITIES, AND OTHER SERVICES NECESSARY TO PROPERLY EXECUTE THE WORK.
7. THE CONTRACTOR SHALL COMPLY WITH THE INDUSTRY STANDARDS, THE AVERAGE OF A DETAIL MANAGER DOES NOT BELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF MEETING THE ACCEPTABLE STANDARDS.
8. THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY: WORKER, PEDESTRIAN, BYSTANDERS, ADJACENT PROPERTIES, AND JOB SITE PROTECTION SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE AT ALL TIMES THAT ALL MATERIALS, PARTS, AND EQUIPMENT FURNISHED BY THE CONTRACTOR IN THIS PROJECT SHALL BE BRAND NEW, FREE FROM ANY DEFECTS, AND THE QUALITY OF WORK SHALL BE IN ACCORDANCE WITH THE GENERALLY ACCEPTED STANDARDS.
9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE DRAWINGS PRIOR TO INSTALLATION OF ANY ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL WORK. SHOULD THERE BE A CONFLICT OR DISCREPANCY IT SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER / ENGINEER FOR CORRECTION IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK PERFORMED BY THE CONTRACTOR AT HIS OWN EXPENSE AND AT NO COST TO THE OWNER.
10. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE MEANS AND METHODS OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR NECESSARY TO COMPLETE THE BUILDING.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THE SUBCONTRACTORS ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK.
12. A TEMPORARY TOILET SHALL BE PROVIDED AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
13. PRIOR TO FINAL INSPECTION AND AFTER THE WORK IS COMPLETE, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE AREA INSIDE AND OUT AND UTILIZE PROFESSIONAL CLEANERS WHEN NECESSARY.
14. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE (5) FT. CLEAR AND UNOBSTRUCTED ACCESS TO WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOODCAP.
15. THE CONTRACTOR SHALL NOT BE WITHIN TEN (10) FT. OF ANY POWER LINES, WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY.
FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

PROJECT DATA
SITE ADDRESS: 7354 BAIRD AVE RESEDA, CA 91335
LOT AREA: 24,600.34 SQ. FT. **7503.7 SF**
BLOCK: NONE
LOT: 14
APN: 211 8015013
ZONING: IG192-2D-CDO
T.O.C: TIER 2
CONT. TYPE: V-A
OCCUPANCY: R-2.1, 3 RESIDENTIAL FLOORS
GENERAL PLAN: GENERAL COMMERCIAL
LAND USE: RES.
HALF OF THE ALLEY AREA: 50X10= 500 SF
TOTAL AREA: 7508.34=500+ 8008.3 SF
DENSITY: 200 SF/GUEST ROOM UNIT
BASE NUMBER OF UNITS: 41 UNITS
NUMBER OF VERY-LOW INCOME UNITS= 5% = 2 UNITS
MAXIMUM NUMBER OF UNITS ALLOWED: 44
NUMBER OF UNITS PROVIDED: 34 UNITS
NUMBER OF MARKET RATE UNITS PROVIDED = 30 UNITS
NUMBER OF VERY-LOW INCOME UNITS PROVIDED= 4 UNITS LABC
MAX ALLOWED HEIGHT PER TABLE 504.3: 70 FT(TYPE V-A)
MAX ALLOWED STORES PER TABLE 504.4: 4 STORES (TYPE V-A)
NUMBER OF STORES PROVIDED: 3 STORES
MAX ALLOWED BUILDING AREA PER 506.2.3: 36,000 SF(TYPE V-A)
BUILDING AREA PROVIDED: 18,683 SF
LABC FIRE ALARM: MANUAL FIRE ALARM SYSTEM PER LABC 907
COMMUNICATION SYSTEM: TWO-WAY RADIO COMMUNICATION SYSTEM PER LABC 910

NUMBER OF UNITS
NUMBER OF 1 BR UNITS ON 1ST FLOOR: 8
NUMBER OF 1 BR UNITS ON 2ND FLOOR: 14
NUMBER OF 1 BR UNITS ON 3RD FLOOR: 12
NUMBER OF 1 BR UNITS: 34

HEIGHT AND STORY TABLE
CATEGORY: ALLOWED PROVIDED REFERENCE
BUILDING HEIGHT (ZONING): 45' 39'-6" ORD-174658: G. CONDITION HEIGHT OF BUILDINGS SHALL BE RESTRICTED TO 45 FT
NUMBER OF STORY: 3 3 RESEDA-WEST VAN NUYS COMMUNITY PLAN (GENERAL PLAN FOOTNOTE 7) - HEIGHT LIMIT 3 STORES
ORD-162925-5A900: D. LIMITATIONS NO STRUCTURE SHALL EXCEED TEN STORIES IN HEIGHT

BICYCLE PARKING
TABLE 12.21 A.16(A)(2) REQUIRED BICYCLE PARKING SPACES PER BUILDING FLOOR AREA, AS DEFINED UNDER SECTION 12.03
ALL INSTITUTIONAL USES
1 PER 10,000 SQ. FT. (MINIMUM 2)
1 PER 5,000 SQ. FT. (MINIMUM 2)
REQUIRED
GIVEN FLOOR AREA: 13,937 SF
BICYCLE PARKING REQUIREMENTS PER LAMC TABLE 12.21 A.16(A)(2): 3
SHORT-TERM BICYCLE PARKING: 13,937/10,000 = 1.39
LONG-TERM BICYCLE PARKING: 13,937/5,000 = 2.78
REQUIRED NUMBER OF SHORT-TERM BICYCLE SPACE = 2
LONG-TERM BICYCLE PARKING:
REQUIRED: 1 SPACE PER 5,000 SQ.FT. (MINIMUM OF 2 SPACES)
LONG-TERM BICYCLE PARKING: 13,937/5,000 = 2.78
0.5 ROUND
DOWN: FRACTIONS OVER 0.5 ROUND UP.
REQUIRED NUMBER OF LONG-TERM BICYCLE SPACE = 3 SPACES

OPEN SPACE
UNIT TYPE NUMBER OF UNITS OS PER UNIT OS PER UNIT TYPE
TOTAL OPEN SPACE
TOTAL COMMON OPEN SPACE
INTERIOR COMMON OPEN SPACE
OPEN TO-SKY COMMON OPEN SPACE
TOTAL PRIVATE OPEN SPACE

TREE CALCULATION
TREE CATEGORY CALCULATION TOTAL
STREET TREES (\$12.40) 9 TREES
PARKING AREA TREES (LAMC §12.21 A.4(i), 12.42) NO PARKING PROVIDED
BUFFER TREES (\$12.41) NOT APPLICABLE FOR THIS ZONING
REPLACEMENT FOR REMOVING TWO ON-SITE TREES 2
TOTAL REQUIRED
PROVIDED
THE EXISTING SITE DOES NOT HAVE ANY PROTECTED TREES AND/OR SHRUBS.

PROJECT DIRECTORY
OWNER:
RAJESH KUMAR
7354 BAIRD AVE
RESEDA, CA 91335
CIVIL ENGINEER:
MECHANICAL ENGINEER:
SOIL ENGINEER:

SETBACKS
ALLOWABLE YARD SETBACK
FRONT YARD SETBACK 20
REAR YARD SETBACK 15
LEFT SIDE YARD SETBACK 6
RIGHT SIDE YARD SETBACK 6
PROVIDED
YARD SETBACK
FRONT YARD SETBACK 0
REAR YARD SETBACK 0
LEFT SIDE YARD SETBACK 3'-10"
RIGHT SIDE YARD SETBACK 3'-10"

TOC INDEX (CONTINUE)
A 000 COVER SHEET
A 102 FIRST FLOOR PLAN
SHEET INDEX (CONTINUE)

SHEET INDEX (CONTINUE)
A 200 ELEVATIONS
TOC TIER 2 ZONE

OPEN SPACE
UNIT TYPE NUMBER OF UNITS OS PER UNIT OS PER UNIT TYPE
TOTAL OPEN SPACE
TOTAL COMMON OPEN SPACE
INTERIOR COMMON OPEN SPACE
OPEN TO-SKY COMMON OPEN SPACE
TOTAL PRIVATE OPEN SPACE

TOC INDEX (CONTINUE)
A 200 ELEVATIONS
TOC TIER 2 ZONE

PROJECT DIRECTORY
OWNER:
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7354 BAIRD AVE
RESEDA, CA 91335
CIVIL ENGINEER:
MECHANICAL ENGINEER:
SOIL ENGINEER:

OPEN SPACE
UNIT TYPE NUMBER OF UNITS OS PER UNIT OS PER UNIT TYPE
TOTAL OPEN SPACE
TOTAL COMMON OPEN SPACE
INTERIOR COMMON OPEN SPACE
OPEN TO-SKY COMMON OPEN SPACE
TOTAL PRIVATE OPEN SPACE

TOC INDEX (CONTINUE)
A 200 ELEVATIONS
TOC TIER 2 ZONE

PROJECT DIRECTORY
OWNER:
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CIVIL ENGINEER:
MECHANICAL ENGINEER:
SOIL ENGINEER:

OPEN SPACE
UNIT TYPE NUMBER OF UNITS OS PER UNIT OS PER UNIT TYPE
TOTAL OPEN SPACE
TOTAL COMMON OPEN SPACE
INTERIOR COMMON OPEN SPACE
OPEN TO-SKY COMMON OPEN SPACE
TOTAL PRIVATE OPEN SPACE

TOC INDEX (CONTINUE)
A 200 ELEVATIONS
TOC TIER 2 ZONE

PROJECT DIRECTORY
OWNER:
RAJESH KUMAR
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RESEDA, CA 91335
CIVIL ENGINEER:
MECHANICAL ENGINEER:
SOIL ENGINEER:

OPEN SPACE
UNIT TYPE NUMBER OF UNITS OS PER UNIT OS PER UNIT TYPE
TOTAL OPEN SPACE
TOTAL COMMON OPEN SPACE
INTERIOR COMMON OPEN SPACE
OPEN TO-SKY COMMON OPEN SPACE
TOTAL PRIVATE OPEN SPACE

TOC INDEX (CONTINUE)
A 200 ELEVATIONS
TOC TIER 2 ZONE

PROJECT DIRECTORY
OWNER:
RAJESH KUMAR
7354 BAIRD AVE
RESEDA, CA 91335
CIVIL ENGINEER:
MECHANICAL ENGINEER:
SOIL ENGINEER:

OPEN SPACE
UNIT TYPE NUMBER OF UNITS OS PER UNIT OS PER UNIT TYPE
TOTAL OPEN SPACE
TOTAL COMMON OPEN SPACE
INTERIOR COMMON OPEN SPACE
OPEN TO-SKY COMMON OPEN SPACE
TOTAL PRIVATE OPEN SPACE

TOC INDEX (CONTINUE)
A 200 ELEVATIONS
TOC TIER 2 ZONE

PROJECT DIRECTORY
OWNER:
RAJESH KUMAR
7354 BAIRD AVE
RESEDA, CA 91335
CIVIL ENGINEER:
MECHANICAL ENGINEER:
SOIL ENGINEER:

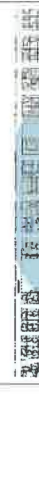
OPEN SPACE
UNIT TYPE NUMBER OF UNITS OS PER UNIT OS PER UNIT TYPE
TOTAL OPEN SPACE
TOTAL COMMON OPEN SPACE
INTERIOR COMMON OPEN SPACE
OPEN TO-SKY COMMON OPEN SPACE
TOTAL PRIVATE OPEN SPACE

TOC INDEX (CONTINUE)
A 200 ELEVATIONS
TOC TIER 2 ZONE

PROJECT DIRECTORY
OWNER:
RAJESH KUMAR
7354 BAIRD AVE
RESEDA, CA 91335
CIVIL ENGINEER:
MECHANICAL ENGINEER:
SOIL ENGINEER:

OPEN SPACE
UNIT TYPE NUMBER OF UNITS OS PER UNIT OS PER UNIT TYPE
TOTAL OPEN SPACE
TOTAL COMMON OPEN SPACE
INTERIOR COMMON OPEN SPACE
OPEN TO-SKY COMMON OPEN SPACE
TOTAL PRIVATE OPEN SPACE

TOC INDEX (CONTINUE)
A 200 ELEVATIONS
TOC TIER 2 ZONE



FLOOR AREA	
LEVEL	
1ST FLOOR	
2ND FLOOR	
3RD FLOOR	
ROOF	
TOTAL FAR	

AREA SUMMARY	
	RESIDENTIAL
1ST FLOOR	2212
2ND FLOOR	3954
3RD FLOOR	3380
ROOF	0

FLOOR AREA, TOTAL
 WALLS OF A BUILDING
 EXTERIOR WALLS
 OPERATING EQUIPMENT
 ASSOCIATED DRIVEWAYS
 PARKING, SPACES
 OUTDOOR DINING
 PROPERTIES ZONING
 ZONE WHICH ARE
 DEFINITION OF

- Bathroom
- Bedroom
- Circulation Space
- Covered Area
- Lift
- Office
- Stair
- TRASH CONTAINER



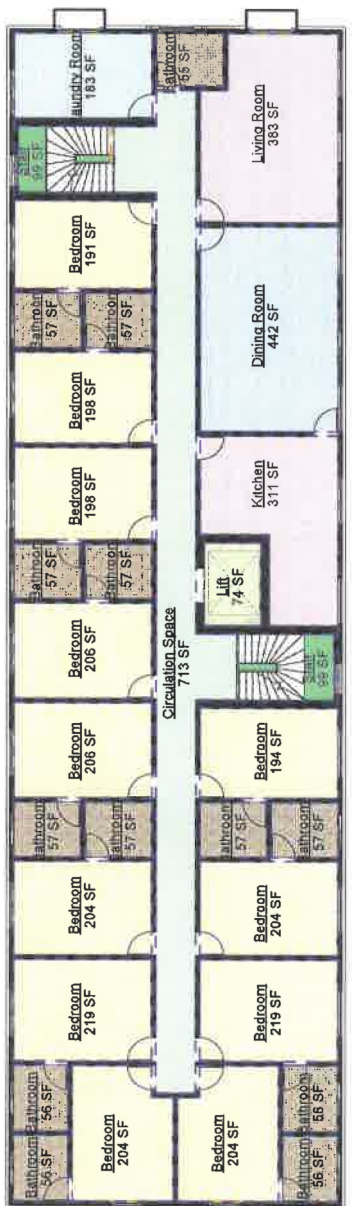
1 FIRST FLOOR
 3/32" = 1'-0"

- Bathroom
- Bedroom
- Circulation Space
- Dining Room
- Lift
- Living Room
- Stair



2 SECOND FLOOR
 3/32" = 1'-0"

- Bathroom
- Bedroom
- Circulation Space
- Dining Room
- Kitchen
- Laundry Room
- Lift
- Living Room
- Stair



3 THIRD FLOOR
 3/32" = 1'-0"

Proposed Door Schedule - First Level

Type	Description	Count	Width	Height	Sill Height	Frame Material	Function	Rating	Fire	Level
BB- single flush 3x8	D2	11	3'-0"	8'-0"	0"	varies	Interior	20		FLOOR
TO- single flush 3x8.2	D3	9	3'-0"	6'-8"	0"		Interior			FLOOR
MES- Double Flush 72" x 96" 3	D5	1	6'-0"	8'-0"	0"	Wood	Exterior	60		FLOOR
72" x 84" height 8	S02	8	5'-6"	7'-9"	0"		Interior			FLOOR
FIRST FLOOR: 29		29								
Grand total: 29		29								

Proposed Window Schedule - First...

Type	Description	Count	Width	Height	Sill Height	Level
Window-F-applied W1	W1	2	4'-0"	15'-0"	3'-0"	FIRST FLOOR
Family W4	W3	4	4'-0"	12'-6"	5'-6"	FIRST FLOOR
W3: 4						
Grand total: 6						

PRODUCT OF JELD WED COMPANY ICC# 700-2012
ALL RATED DOORS MUST BE EITHER SELF-CLOSING OR AUTOMATIC CLOSING

Ventilation Calculations

FLOOR AREA: 161 S.F.
TOTAL FLOOR AREA X .06= ALLOWABLE VENTILATION
REQUIRED= 9.66 S.F.
PROVIDED= 30 S.F.

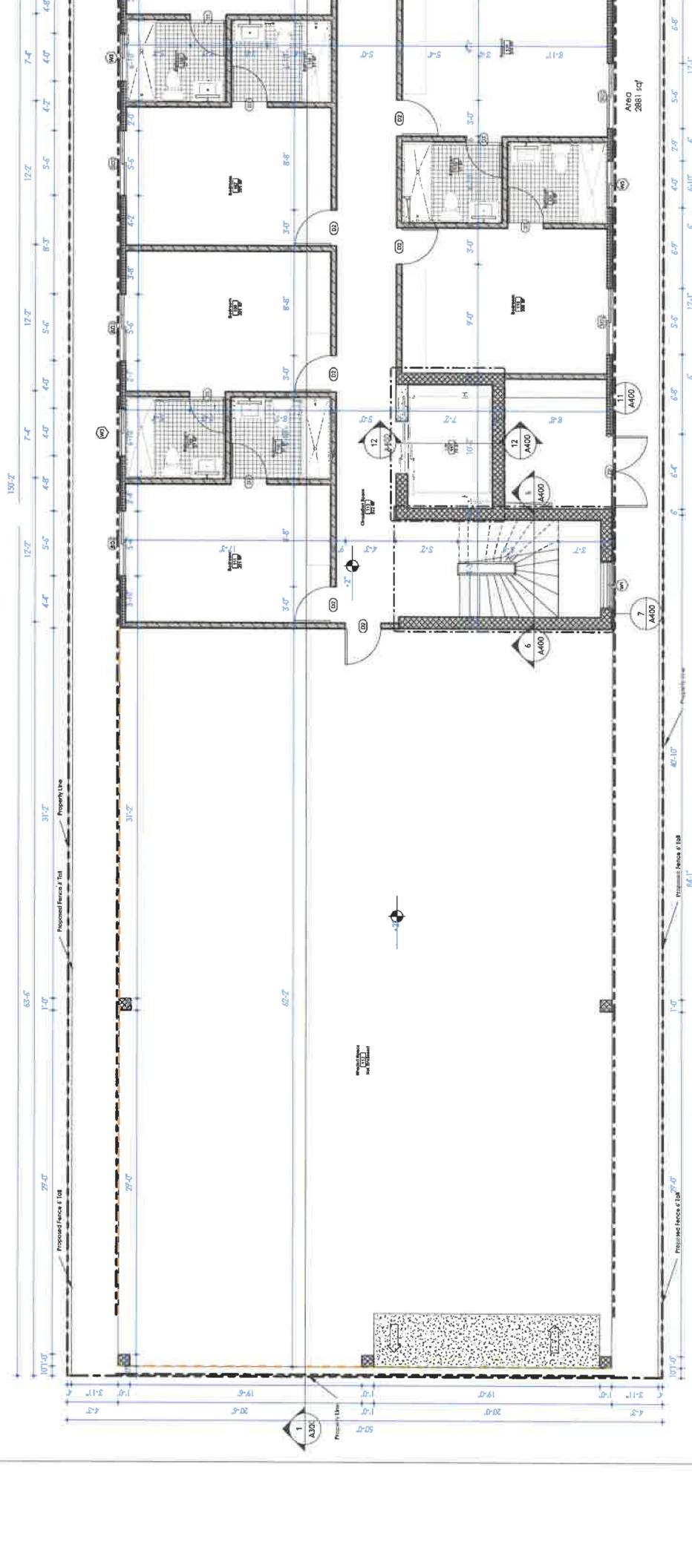
Light Calculations

FLOOR AREA: 161 S.F.
TOTAL FLOOR AREA X .08= ALLOWABLE VENTILATION
REQUIRED= 12.88 S.F.
PROVIDED= 30 S.F.

- ① CARBON MONOXIDE DETECTOR
- ② PHOTOELECTRIC INKRE DETECTOR
- ③ PHOTOELECTRIC INKRE DETECTOR
- ④ PHOTOELECTRIC INKRE DETECTOR
- ⑤ PHOTOELECTRIC INKRE DETECTOR
- ⑥ PHOTOELECTRIC INKRE DETECTOR
- ⑦ PHOTOELECTRIC INKRE DETECTOR
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DRAWING LEGEND
3/16" = 1'-0"

EXHIBIT "A"
 Page No. 4 of 12
 Case No. CPC-8024-3381-
 DB-CDO-VHCA



SOLAR AREA NOTES	ROOF NOTES	NOTE TO CONTRACTOR	HARDSCAPE CALCULATIONS
<p>FOR RESIDENTIAL BUILDINGS, OTHER THAN ONE- AND TWO-FAMILY DWELLINGS, COMPLY WITH THE FOLLOWING:</p> <p>A. DESIGNATE ON THE ROOF PLAN SOLAR ZONE AREA (S) WITH TOTAL AREA EQUAL TO OR GREATER THAN 15% OF THE BUILDING'S ROOF AREA. THE SOLAR ZONE SHALL BE ORIENTED BETWEEN 10° AND 70° OF TRUE NORTH, AND EACH FEET AND EACH AREA SHALL NOT BE LESS THAN:</p> <p>I. 80 SQ FT FOR ROOF AREAS OF 10,000 SQ FT OR LESS</p> <p>II. 160 SQ FT FOR ROOF AREAS OVER 10,000 SQ FT.</p> <p>B. FOR ROOF SLOPES $\geq 2:12$ (19.5° FROM HORIZONTAL), SHOW THAT THE SOLAR ZONE IS ORIENTED BETWEEN 10° AND 70° OF TRUE NORTH.</p> <p>C. THE SOLAR ZONE SHALL BE FREE OF OBSTRUCTIONS AND BE SETBACK AT LEAST 12 INCHES FROM THE EDGE OF THE ROOF. OBSTRUCTIONS SHALL BE LIMITED TO VENTS, CHIMNEYS, EQUIPMENT, PARAPETS, AND STAIRWELLS.</p> <p>D. FOR ROOF SLOPES $\geq 2:12$, A MINIMUM 4 FOOT CENTER LINE AXIS PATHWAY SHALL BE PROVIDED ON BOTH AXES OF THE ROOF.</p> <p>E. FOR ROOF SLOPES $\geq 2:12$, A MINIMUM 4-FOOT STRAIGHT LINE PATHWAY SHALL BE PROVIDED FROM THE ACCESS PATH TO ROOF STAIRWELLS. ROOF ACCESS HATCHES, SKYLIGHTS AND/OR VENTILATION HATCHES.</p> <p>F. (4-FOOT) WIDE CLEAR PERIMETER ACCESS AROUND THE EDGES OF THE ROOF.</p> <p>G. A COPY OF THE CONSTRUCTION DOCUMENTS OR A CODE SECTIONS DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(I)(1) SHALL BE PROVIDED TO THE OCCUPANT.</p>	<p>1-CLASS A BUILT UP ROOF WITH THE SPECIFIED ROOF COVERING SYSTEMS.</p> <p>2-ALL THE MANUFACTURER'S RECOMMENDATIONS HAVE TO BE STRICTLY FOLLOWED.</p> <p>3-EXCEPTION 4 TO SECTION 110.10(B) 1B- LOW-RISE AND HIGH-RISE MULTIFAMILY BUILDINGS MEETING THE FOLLOWING CONDITIONS:</p> <p>I. THE BUILDING IS A MULTIFAMILY BUILDING.</p> <p>II. THE BUILDING IS A LOW-RISE BUILDING.</p> <p>III. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>IV. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>V. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>VI. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>VII. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>VIII. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>IX. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>X. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>XI. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>XII. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>XIII. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>XIV. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>XV. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>XVI. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>XVII. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>XVIII. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>XIX. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>XX. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>XXI. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>XXII. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>XXIII. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>XXIV. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>XXV. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>XXVI. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>XXVII. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>XXVIII. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>XXIX. THE BUILDING IS A HIGH-RISE BUILDING.</p> <p>XXX. THE BUILDING IS A HIGH-RISE BUILDING.</p>	<p>FIBER GLASS REINFORCED CONCRETE (FRP) SHALL BE USED FOR THE ROOF DECK AND PAVEMENT. INITIAL SOLAR REFLECTANCE 0.83 INITIAL EMISSIVITY 0.90</p> <p>INSTALL PER MANUFACTURER'S SPECIFICATION.</p> <p>ROOF DECK SHALL HAVE A SLIP RESISTANT FLOOR FINISH AND BE SAME MATERIAL AS THE REST OF THE ROOF.</p> <p>NO SOLAR AREA PROVIDED PER EXCEPTION 4 TO SECTION 110.10(B) 1B OF THE BUILDING ENERGY EFFICIENCY STANDARDS, USE THERMOSTAT IN EACH UNIT. (SEE ROOF NOTES BELOW)</p>	<p>TOTAL LOT AREA: 7,569.3 S.F. (421,613 S.F.)</p> <p>ROOF DECK + PAVEMENT AREA: 3,303.4 S.F. (42.67%)</p> <p>INTERVENE AREA (ROOF): 2,271.6 S.F.</p> <p>FIBER GLASS-REINFORCED ATTACHED CUT SHEET</p> <p>ROOF DECK: 4,304.9 S.F. (57.33%)</p> <p>PERVIOUS AREA: 1,501.7 S.F.</p> <p>PERMEABLE PAVEMENT AREA: 1,501.7 S.F.</p> <p>SEE ATTACHED CUT SHEET - LIGHT COLORED CONCRETE, SOLAR REFLECTANCE AT LEAST 0.80 AND SRI OF AT LEAST 21.</p>

Proposed Door Schedule_Roof Level

Type	Description	Count	Width	Height	Sill Height	Frame Material	Fire Rating	Function	Level
02-	single flush 3x8 Z	2	3'-0"	6'-6"	0"			Interior	ROOF FLOOR
ROOF FLOOR: 2									
Grand total: 2									

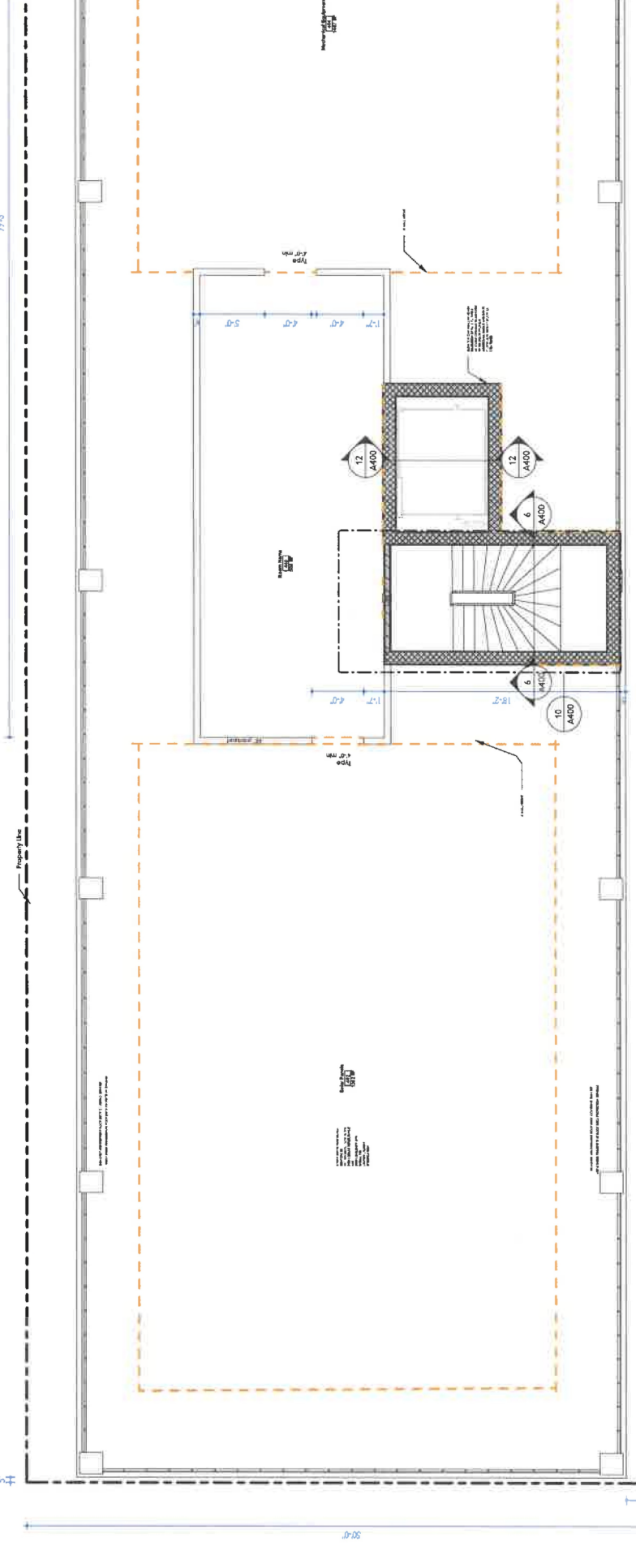
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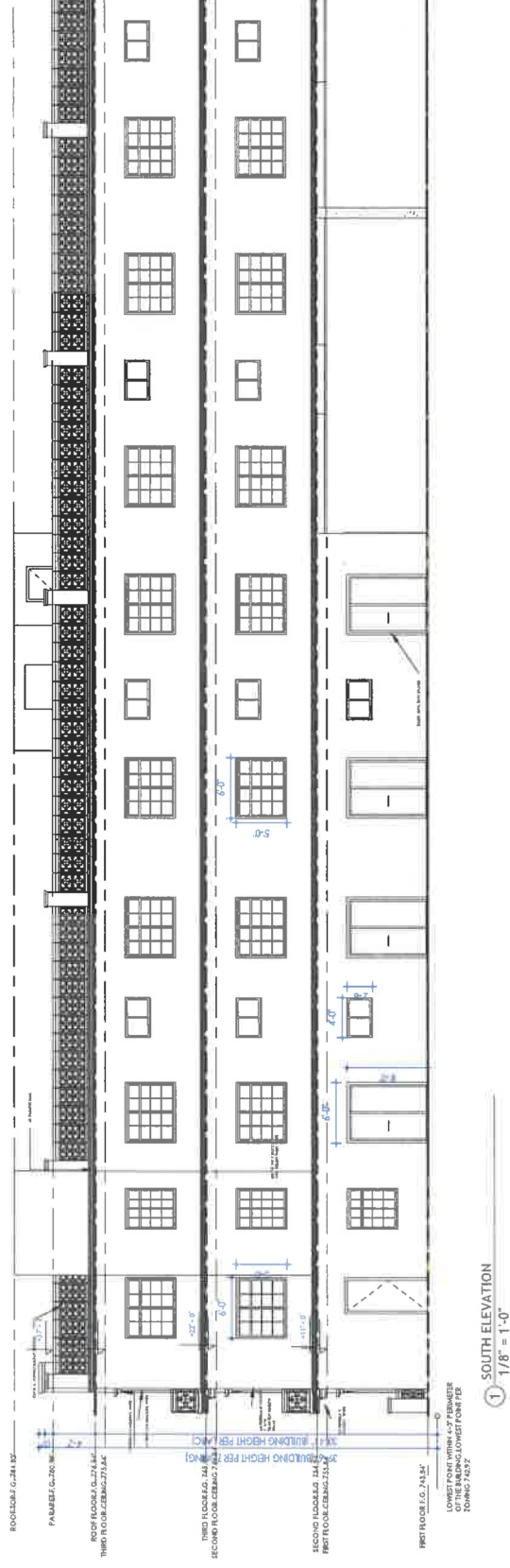
Page No. 7 of 10

Case No. CAC-2024-3381-

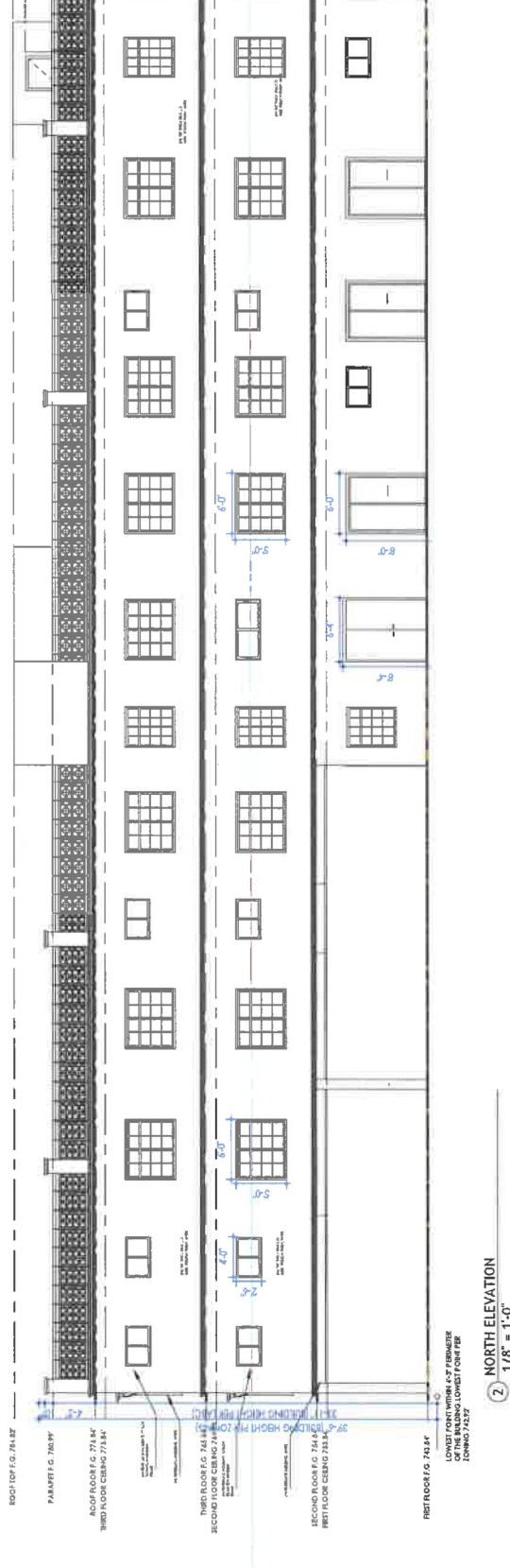
DB-CDO-VITCA

1357





1 SOUTH ELEVATION
1/8" = 1'-0"



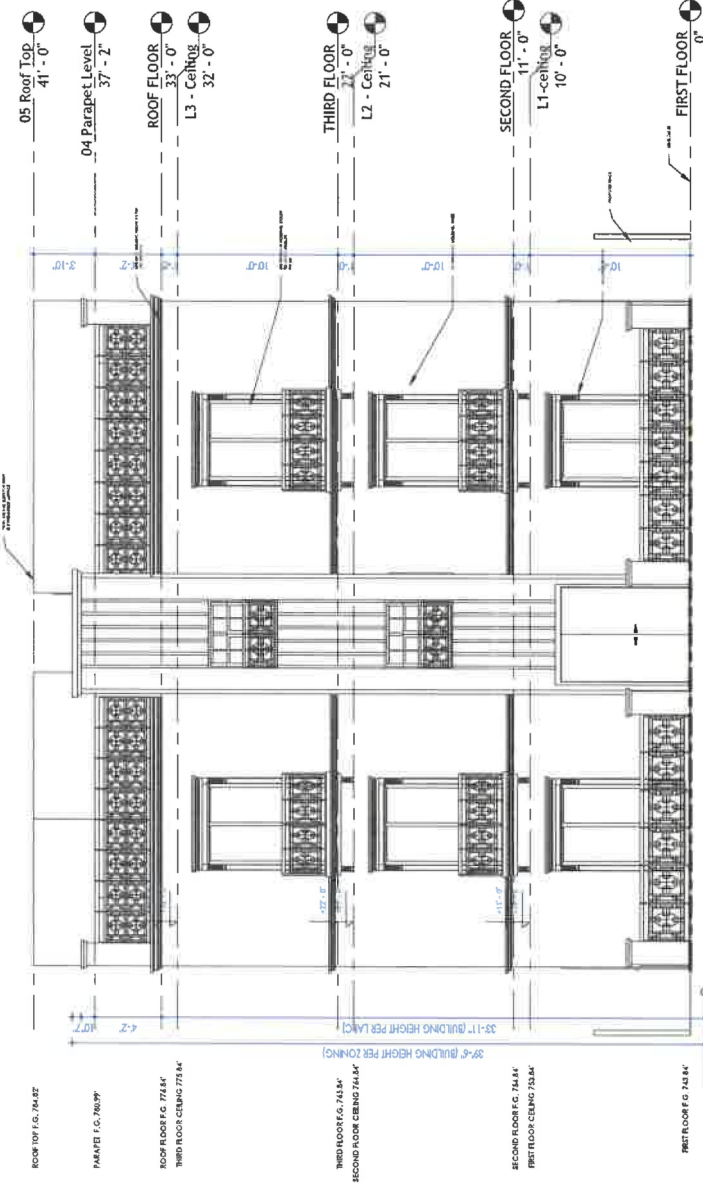
2 NORTH ELEVATION
1/8" = 1'-0"

Door Legend	
Name	Top View
3'x6'	Front View

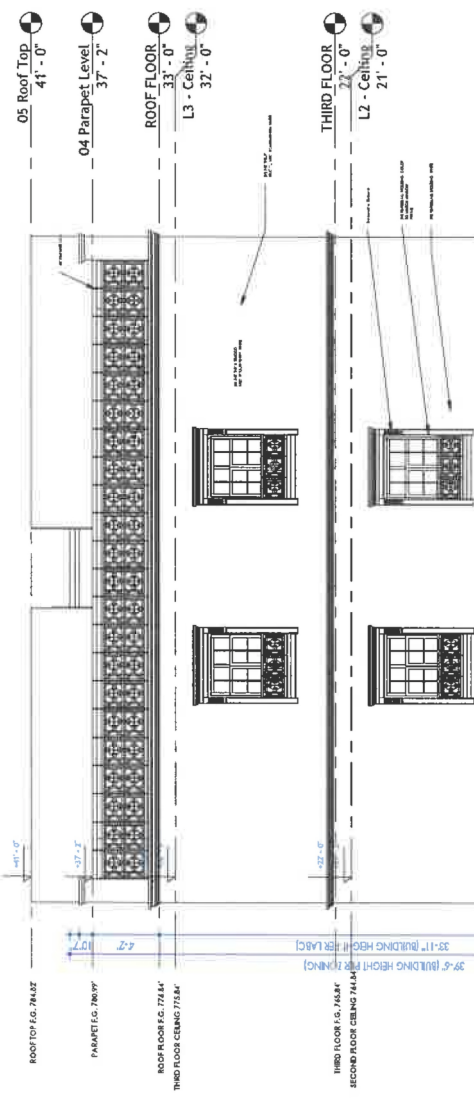
Window Legend	
Name	Top View
4'x5'	Front View

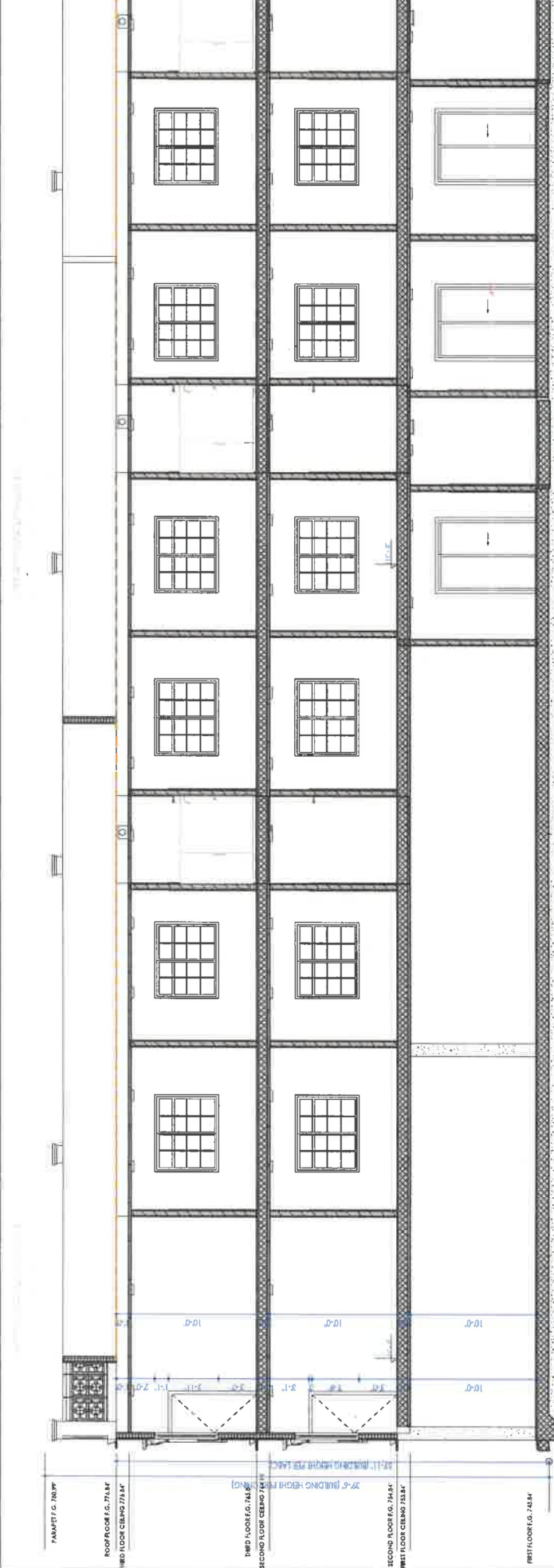
Name	Top View
3'x8'	
3'x6'-8"	
6'x8'	
5'x8'	

Door Legend
3/16" = 1'-0"



WEST ELEVATION
3/16" = 1'-0"



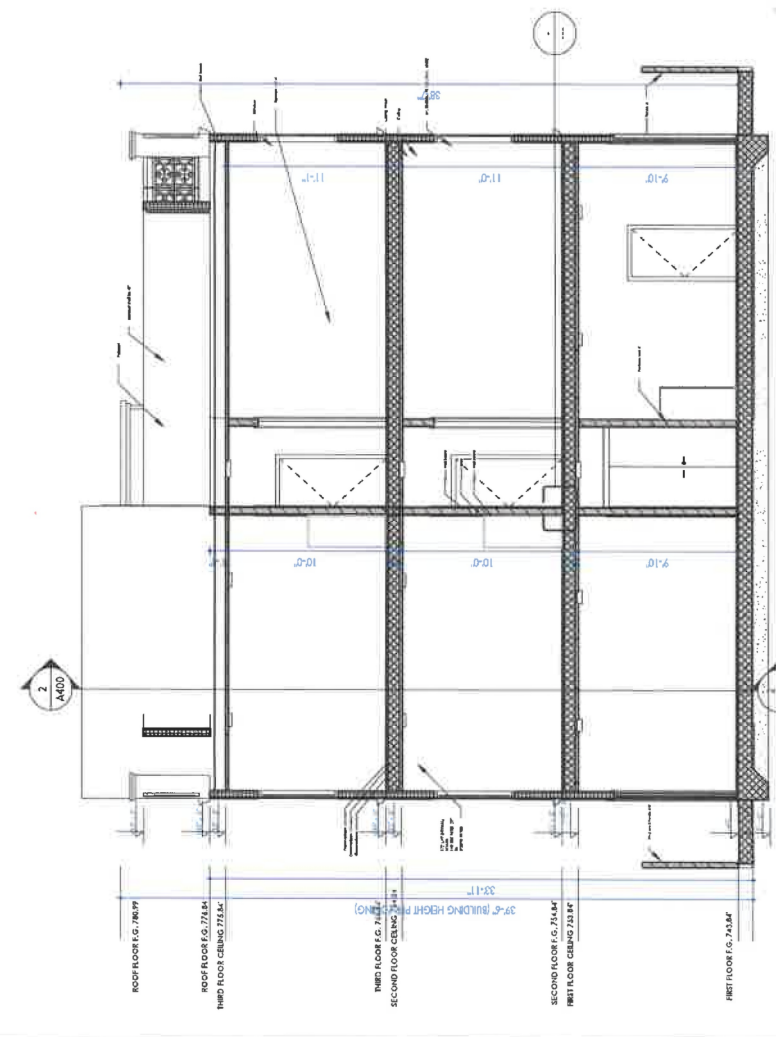


Section 7
 1 3/16" = 1'-0"

Name	Top View
3x8'	
3x6'-8"	
6x8'	
5x8'	

Name	Top View	Front View
4x5'		
6x2'-6"		
4x2'-6"		
4x3'		
4'-4"x6'-4"		
6x5'		

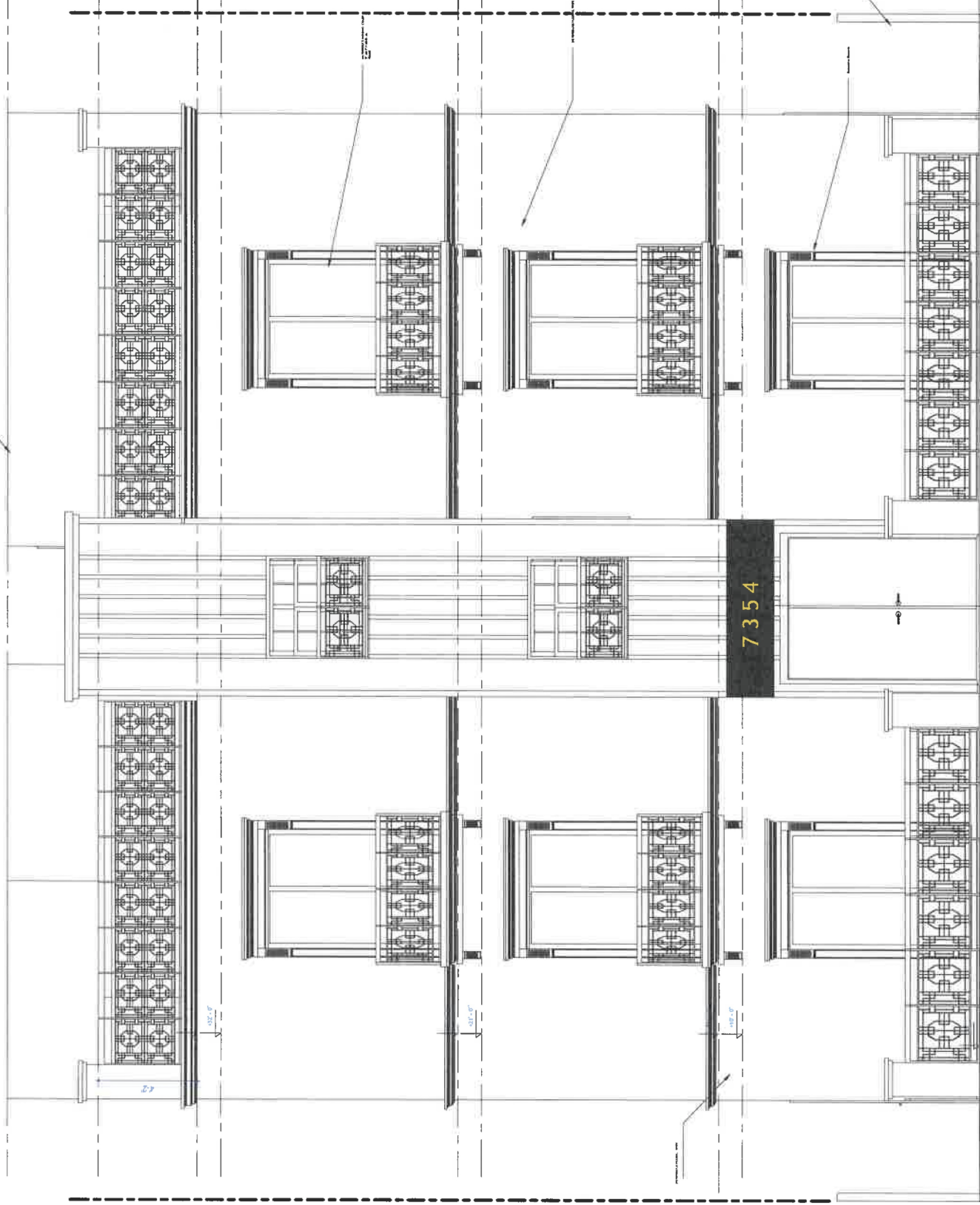
Window Legend
 3/16" = 1'-0"



2
 A400

Door Legend
 3/16" = 1'-0"

PROPOSED



7354

BUILDING NUMBER SIGNICIFER:
2024 MAX. 4" HIGH, 18" WIDE GOLD

50'-0"

LOT FRONTAGE = 50'-0"

1 WEST ELEVATION
3/8" = 1'-0"

Decorative Element,
Dark Gray

Exterior Cement Plaster,
Smooth, Off-White

Decorative Element, Off-
White

Exterior Cement
Plaster, Smooth, Dark
Gray

Storefront System,
Aluminum, Black

Decorative Element,
Dark Black

Frame, Vinyl, Dark Black

Decorative Element,
Dark Gray

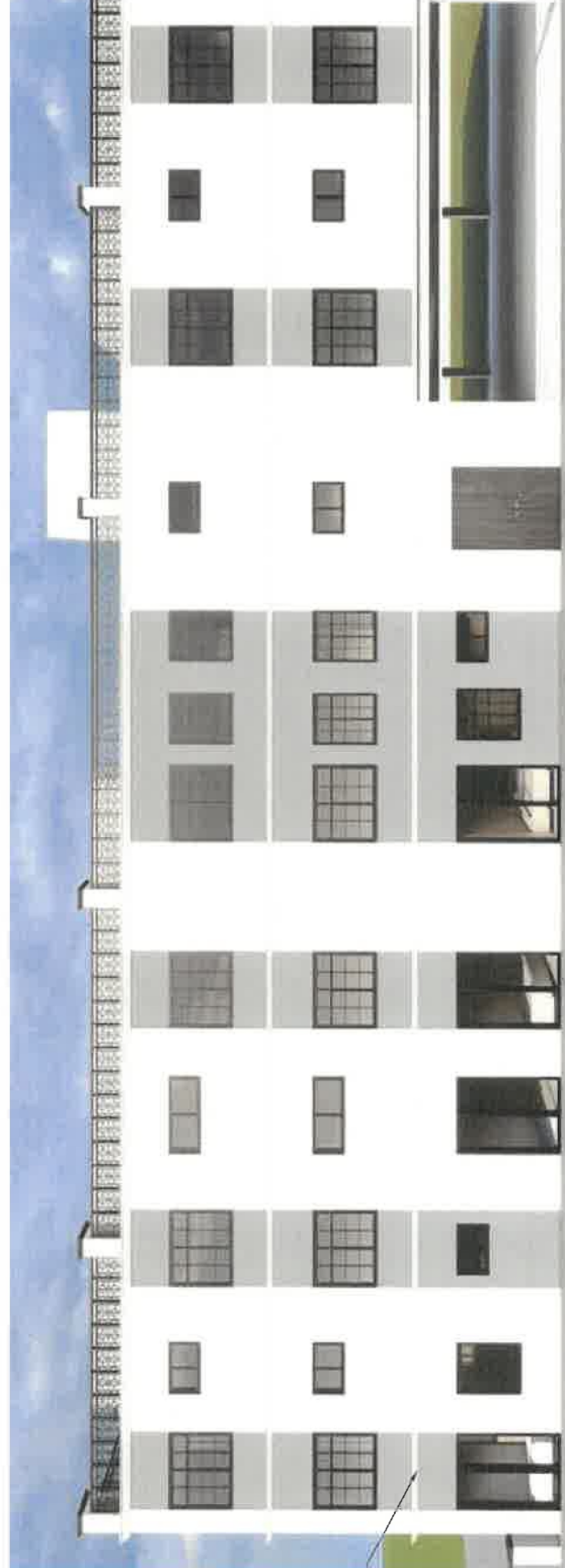
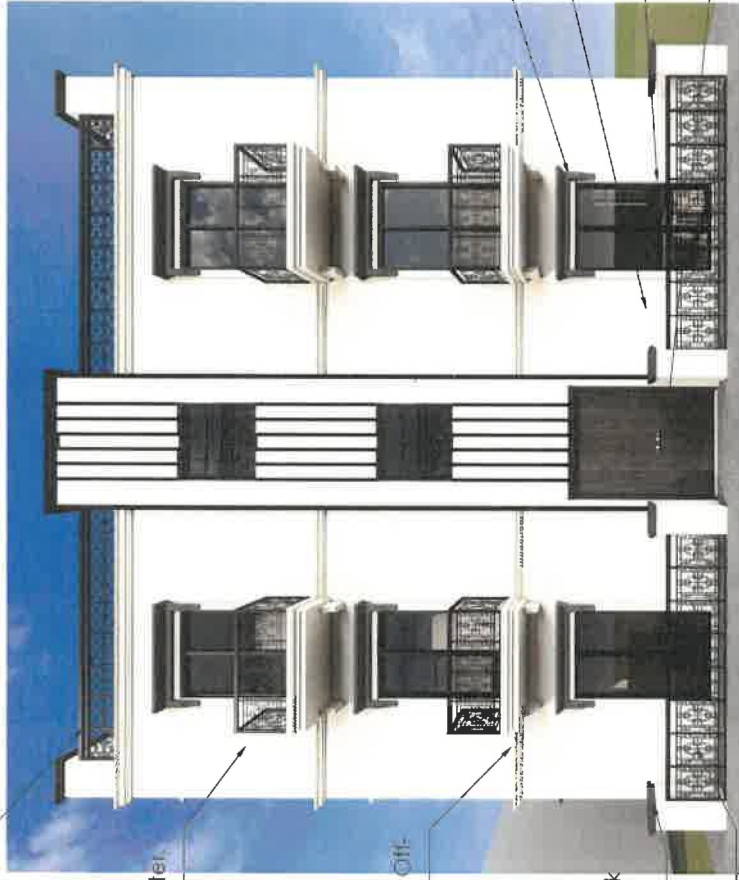
False Balcony, Vinyl,
Black

Frame, Vinyl, Dark Black

Main Entry

FRONT ELEVATION
BAIRD AVE

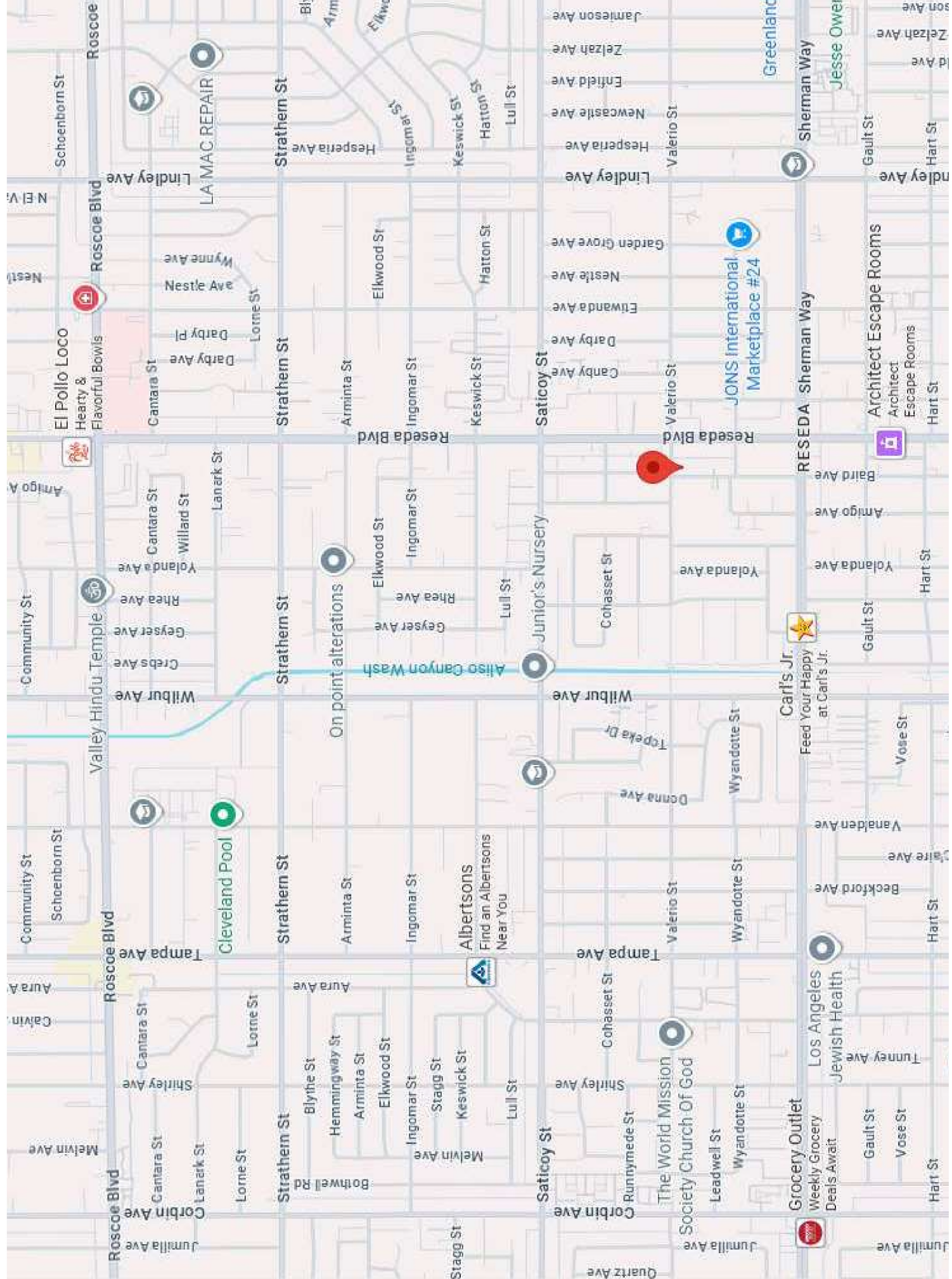
Exterior Cement
Plaster, Smooth,
Gray

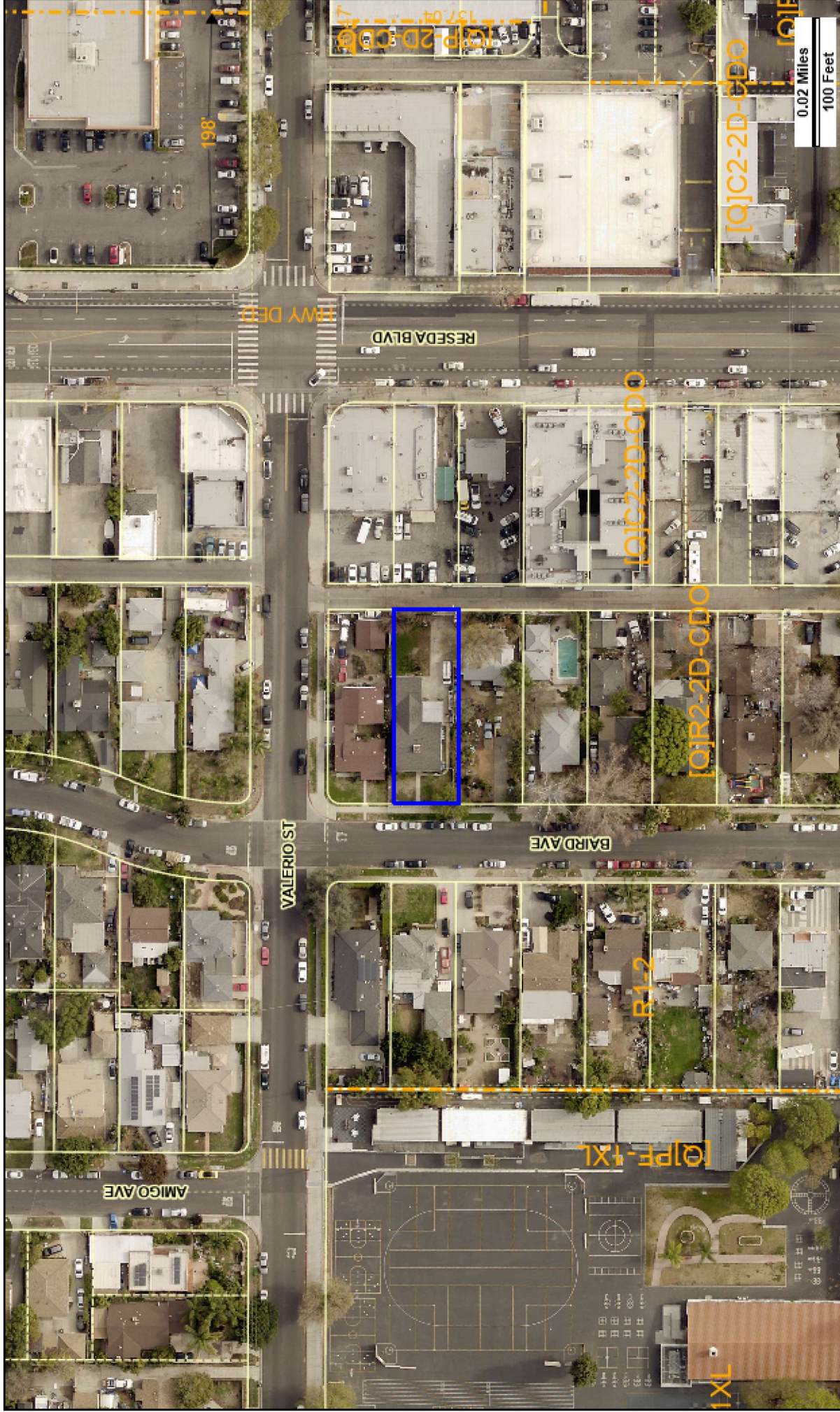


R
A

VICINITY MAP

7354 N BAIRD AVE
RESEDA, CA 91335





Address: 7354 N BAIRD AVE

APN: 2118015013

PIN #: 186B125 701

Tract: TR 7632

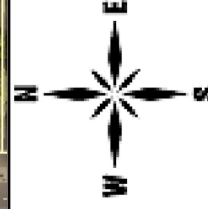
Block: None

Lot: 14

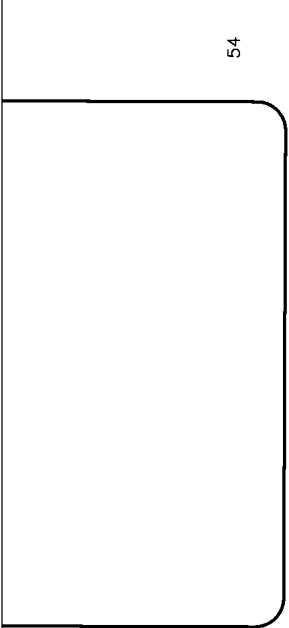
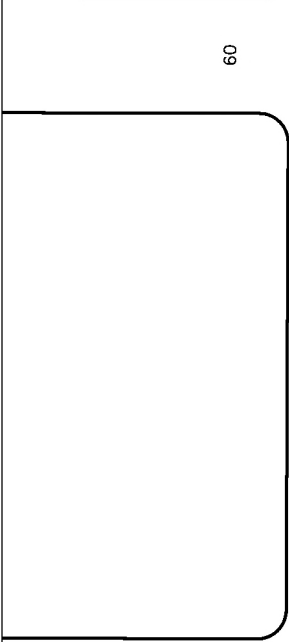
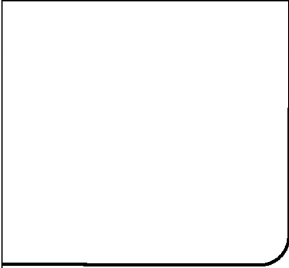
Arb: None

Zoning: [QJR2-2D-CDO

General Plan: General Commercial

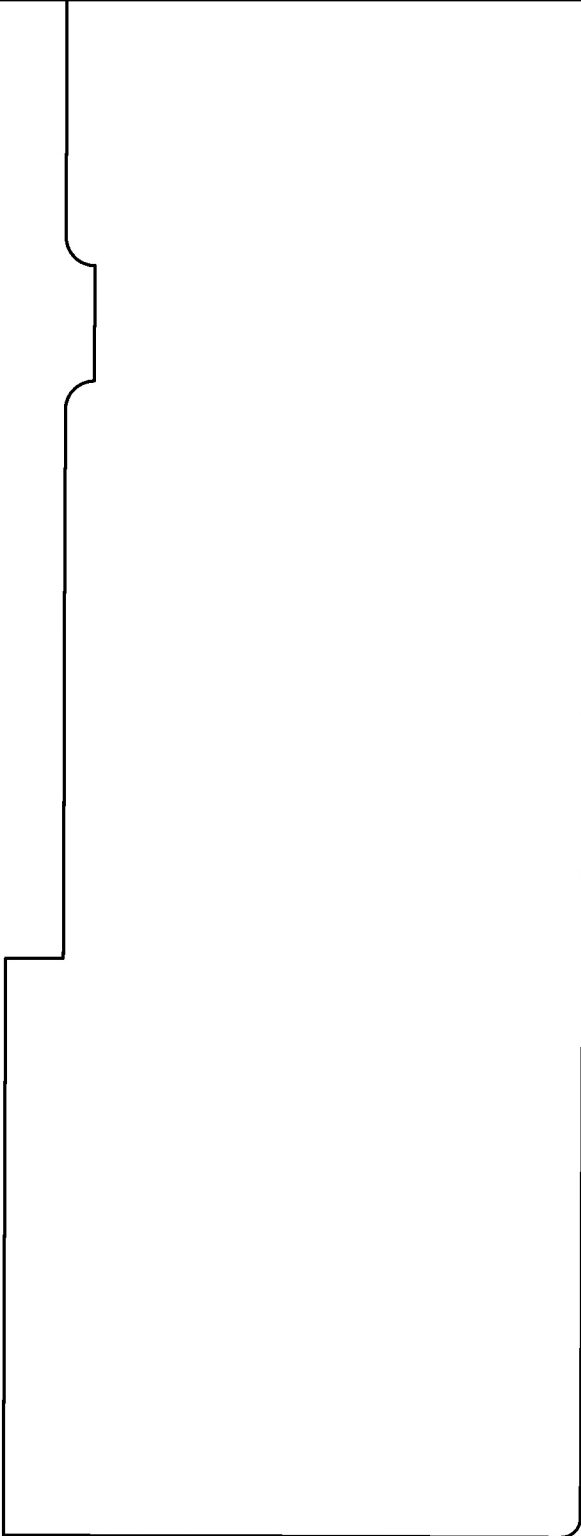


0.02 Miles
100 Feet



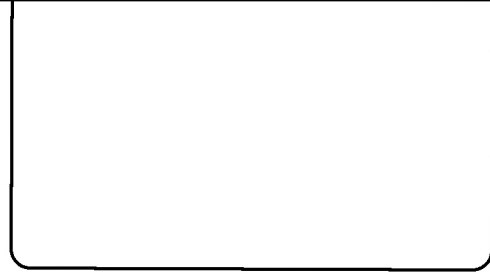
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54



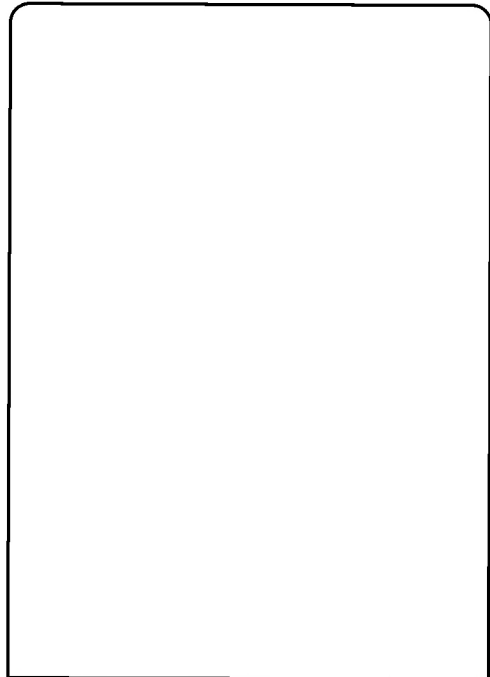
AVE

60



60

COHASSET



AMIGO

60

7418

7402

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CPC-1708
CPC-2019-1741-CPU

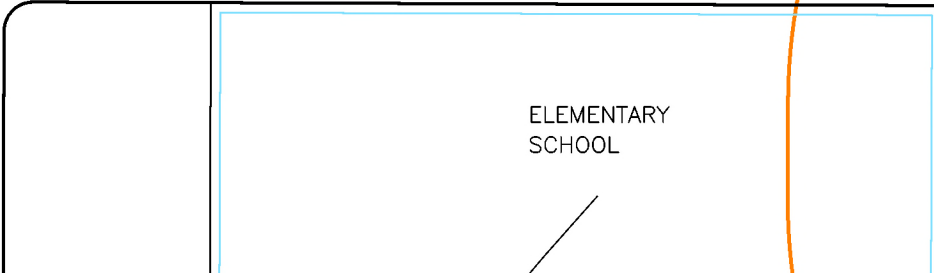
7419

60

VALERIO



60



ELEMENTARY SCHOOL

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39.	R1-2

7354



City of Los Angeles Department of City Planning

1/29/2026 PARCEL PROFILE REPORT

PROPERTY ADDRESSES

7354 N BAIRD AVE

ZIP CODES

91335

RECENT ACTIVITY

PAR-2025-2840-AHRF

PAR-2024-3084-TV

PAR-2024-3058-VHCA

PAR-2024-2922-AHRF

PAR-2024-2921-AHRF

CASE NUMBERS

CPC-2024-3381-DB-CDO-VHCA

CPC-2019-1741-CPU

CPC-2002-1263-CDO-ZC-MS

CPC-1996-131-PA

CPC-1988-275

CPC-1986-251-GPC

CPC-11708

ORD-176619

ORD-176558

ORD-176557

ORD-171941

ORD-169649

ORD-162925-SA900

ORD-119865

ENV-2024-3382-CE

ENV-2019-1743-EIR

Address/Legal Information

PIN Number	186B125 701
Lot/Parcel Area (Calculated)	7,503.7 (sq ft)
Thomas Brothers Grid	PAGE 530 - GRID J4
Assessor Parcel No. (APN)	2118015013
Tract	TR 7632
Map Reference	M B 133-12/13
Block	None
Lot	14
Arb (Lot Cut Reference)	None
Map Sheet	186B125

Jurisdictional Information

Community Plan Area	Reseda - West Van Nuys
Area Planning Commission	South Valley APC
Neighborhood Council	Reseda
Council District	CD 3 - Bob Blumenfield
Census Tract #	1310.23000000
LADBS District Office	Van Nuys

Permitting and Zoning Compliance Information

Administrative Review	None
-----------------------	------

Planning and Zoning Information

Special Notes	None
Zoning	[Q]R2-2D-CDO
Zoning Information (ZI)	ZI-2543 Transfer of Authority for Zoning Review ZI-2339 Community Design Overlay: Reseda Central Business District ZI-2452 Transit Priority Area in the City of Los Angeles
General Plan Land Use	General Commercial
General Plan Note(s)	Yes
Minimum Density Requirement	No
Hillside Area (Zoning Code)	No
Specific Plan Area	None
Subarea	None
Special Land Use / Zoning	None
Historic Preservation Review	No
HistoricPlacesLA	No
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Mills Act Contract	None
CDO: Community Design Overlay	Reseda Central Business District
CPIO: Community Plan Imp. Overlay	None
Subarea	None
CPIO Historic Preservation Review	No
CUGU: Clean Up-Green Up	None
HCR: Hillside Construction Regulation	No
NSO: Neighborhood Stabilization Overlay	No
POD: Pedestrian Oriented Districts	None
RBP: Restaurant Beverage Program Eligible Area	None

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org
(*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

ASP: Alcohol Sales Program	No
RFA: Residential Floor Area District	None
RIO: River Implementation Overlay	No
SN: Sign District	No
AB 2334: Low Vehicle Travel Area	Yes
AB 2097: Within a half mile of a Major Transit Stop	Yes
Streetscape	No
Adaptive Reuse Incentive Area	None
Affordable Housing Linkage Fee	
Residential Market Area	Medium
Non-Residential Market Area	Medium
Inclusionary Housing	No
Local Affordable Housing Incentive	No
Targeted Planting	No
Special Lot Line	No
Transit Oriented Communities (TOC)	Tier 2
Mixed Income Incentive Programs	
Transit Oriented Incentive Area (TOIA)	1
Opportunity Corridors Incentive Area	Not Eligible
Corridor Transition Incentive Area	Not Eligible
TCAC Opportunity Area	Low
High Quality Transit Corridor (within 1/2 mile)	Yes
ED 1 Eligibility	Review Eligibility
RPA: Redevelopment Project Area	None
Central City Parking	No
Downtown Parking	No
Building Line	None
500 Ft School Zone	Active: Reseda Elementary
500 Ft Park Zone	None
Zanja System 1 Mile Buffer	No

Assessor Information

Assessor Parcel No. (APN)	2118015013
Ownership (Assessor)	
Owner1	KUMAR,RAJESH AND ALKNANDA
Address	109 ENCHANTED WAY SAN RAMON CA 94583
Ownership (Bureau of Engineering, Land Records)	
Owner	CHAFFIN, WILLIAM (ET AL)
Address	12415 WEDDINGTON ST #15 VALLEY VILLAGE CA 91607
APN Area (Co. Public Works)*	0.172 (ac)
Use Code	0100 - Residential - Single Family Residence
Assessed Land Val.	\$235,229
Assessed Improvement Val.	\$264,573
Last Owner Change	09/07/2023
Last Sale Amount	\$865,000
Tax Rate Area	8852
Deed Ref No. (City Clerk)	994548 930918 441505 251503 1699693 167703 1285410

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 (*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

	1285409
	1074068
Building 1	
Year Built	1949
Building Class	D6A
Number of Units	1
Number of Bedrooms	3
Number of Bathrooms	1
Building Square Footage	1,420.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5
Rent Stabilization Ordinance (RSO)	No [APN: 2118015013]

Additional Information

Airport Hazard	200' Height Limit Above Elevation 790
Coastal Zone	None
Coastal Bluff Potential	No
Canyon Bluff Potential	No
Farmland	Urban and Built-up Land
Urban Agriculture Incentive Zone	YES
Very High Fire Hazard Severity Zone	No
Fire District No. 1	No
Flood Zone	Outside Flood Zone
Watercourse	No
Methane Hazard Site	None
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	No
Wells	None
Sea Level Rise Area	No
Oil Well Adjacency	No
Universal Planning Review Service Applicability	No

Environmental

Santa Monica Mountains Zone	No
Biological Resource Potential	None
Mountain Lion Potential	None
Monarch Butterfly Potential	No
300-Foot Habitat Buffer	No
County-Designated SEAs and CRAs	No
USFWS-designated CHAs	No
Wildland Urban Interface (WUI)	No
Criterion 1 Protected Areas for Wildlife (PAWs)	No

Seismic Hazards

Active Fault Near-Source Zone	
Nearest Fault (Distance in km)	10.145268
Nearest Fault (Name)	Northridge
Region	Los Angeles Blind Thrusts
Fault Type	B
Slip Rate (mm/year)	1.50000000
Slip Geometry	Reverse
Slip Type	Poorly Constrained
Down Dip Width (km)	22.00000000
Rupture Top	5.00000000
Rupture Bottom	20.00000000

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 (*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

Dip Angle (degrees)	42.00000000
Maximum Magnitude	7.00000000
Alquist-Priolo Fault Zone	No
Landslide	No
Liquefaction	No
Preliminary Fault Rupture Study Area	None
Tsunami Hazard Area	No

Economic Development Areas

Business Improvement District	None
Hubzone	None
Jobs and Economic Development Incentive Zone (JEDI)	None
Opportunity Zone	No
Promise Zone	None
State Enterprise Zone	None

Housing

Rent Stabilization Ordinance (RSO)	No [APN: 2118015013]
Ellis Act Property	No
Just Cause For Eviction Ordinance (JCO)	Yes
Assessor Parcel No. (APN)	2118015013
Address	7354 BAIRD AVE
Year Built	1949
Use Code	0100 - Residential - Single Family Residence
Notes	The Just Cause Ordinance applies after the expiration of the initial lease or after 6 months of continuous occupancy, whichever comes first.
Housing Crisis Act and Resident Protections Ordinance Replacement Review	Yes
Housing Element Sites	
HE Replacement Required	N/A
SB 166 Units	N/A
Housing Use within Prior 5 Years	Yes

Public Safety

Police Information	
Bureau	Valley
Division / Station	West Valley
Reporting District	1012
Fire Information	
Bureau	Valley
Battalion	17
District / Fire Station	73
Red Flag Restricted Parking	No

CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number:	CPC-2024-3381-DB-CDO-VHCA
Required Action(s):	DB-DENSITY BONUS CDO-COMMUNITY DESIGN OVERLAY DISTRICT VHCA-VESTING HOUSING CRISIS ACT
Project Description(s):	Off Menu Density Bonus for the construction, use, and maintenance of a 3-story, 45 feet in height residential building comprised of 27 residential dwelling units which, three units are restricted to Very Low income for disabled veteran households.
Case Number:	CPC-2019-1741-CPU
Required Action(s):	CPU-COMMUNITY PLAN UPDATE
Project Description(s):	COMMUNITY PLAN UPDATE
Case Number:	CPC-2002-1263-CDO-ZC-MSD
Required Action(s):	CDO-COMMUNITY DESIGN OVERLAY DISTRICT ZC-ZONE CHANGE MSD-MISCELLANEOUS (POLICIES, GUIDELINES, RESOLUTIONS, ETC.)
Project Description(s):	REVIEW AND POTENTIAL REPEAL OF THE RESEDA CENTRAL BUSINESS DISTRICT (CBD) SPECIFIC PLAN AND PERMANENT QUALIFIED [Q] CONDITIONS, A COMMUNITY DESIGN OVERLAY DISTRICT (CDO) & STREETSCAPE PLAN TO BE INITIATED IN ITS PLACE.
Case Number:	CPC-1996-131-PA
Required Action(s):	Data Not Available
Project Description(s):	AMENDMENT TO THE RESEDA CENTRAL BUSINESS DISTRICT SPECIFIC PLAN TO PERMIT SHARED PARKING FOR COMMERCIAL USES; EXEMPTION FROM PARKING INCREASE REQUIREMENTS FOR REFURBISHMENT OF BUILDINGS; AND SMALLER LANDSCAPED BUFFERS FOR PARKING LOTS ADJACENT TO RESIDENTIALLY ZONED PROPERTIES
Case Number:	CPC-1988-275
Required Action(s):	Data Not Available
Project Description(s):	CONTINUATION OF CPC-88-0275. SEE GENERAL COMMENTS FOR CONTINUATION.
Case Number:	CPC-1986-251-GPC
Required Action(s):	GPC-GENERAL PLAN/ZONING CONSISTENCY (AB283)
Project Description(s):	AB-283 PROGRAM - GENERAL PLAN/ZONE CONSISTENCY - RESEDA AREA -COMMUNITY WIDE ZONE CHANGES AND COMMUNITY PLAN CHANGES TO BRING THE ZONING INTO CONSISTENCY WITH THE COMMUNITY PLAN. INCLUDES CHANGES OF HEIGHT AS NEEDED. REQUIRED BY COURT AS PART OF SETTLEMENT IN THE HILLSIDE FEDERATION LAWSUIT. JOHN PARKER
Case Number:	ENV-2024-3382-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Description(s):	Off Menu Density Bonus for the construction, use, and maintenance of a 3-story, 45 feet in height residential building comprised of 27 residential dwelling units which, three units are restricted to Very Low income for disabled veteran households.
Case Number:	ENV-2019-1743-EIR
Required Action(s):	EIR-ENVIRONMENTAL IMPACT REPORT
Project Description(s):	COMMUNITY PLAN UPDATE

DATA NOT AVAILABLE

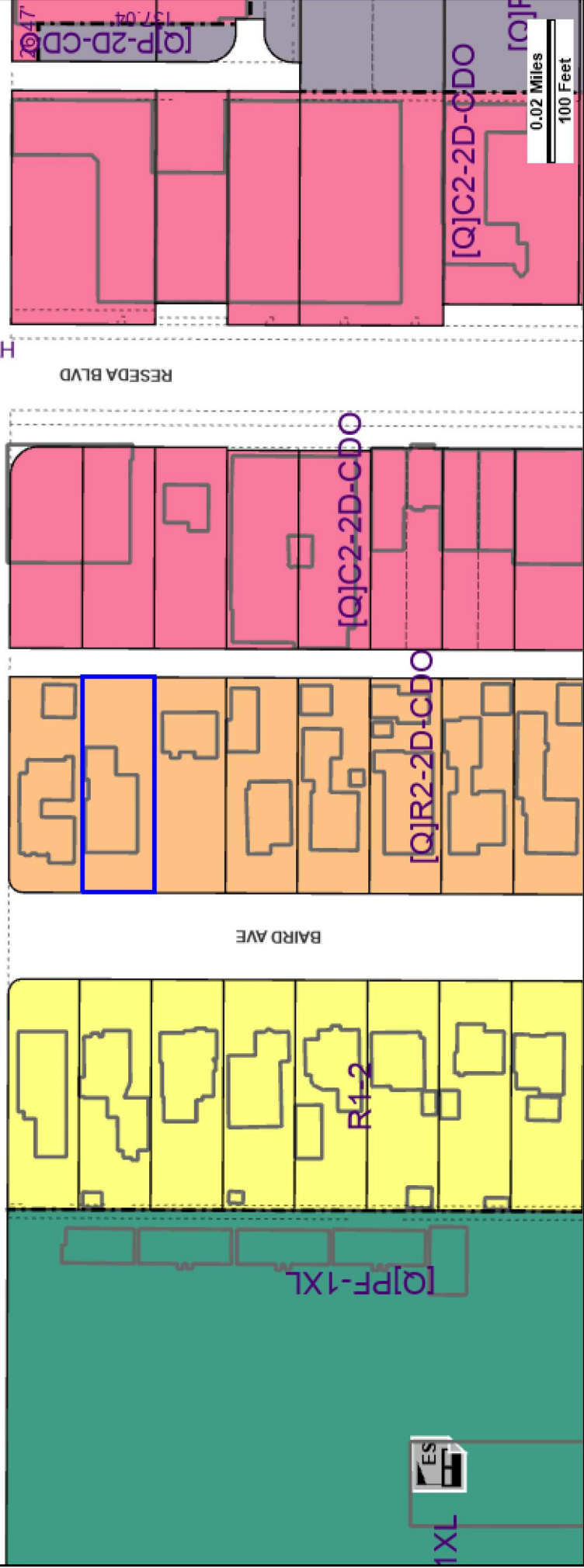
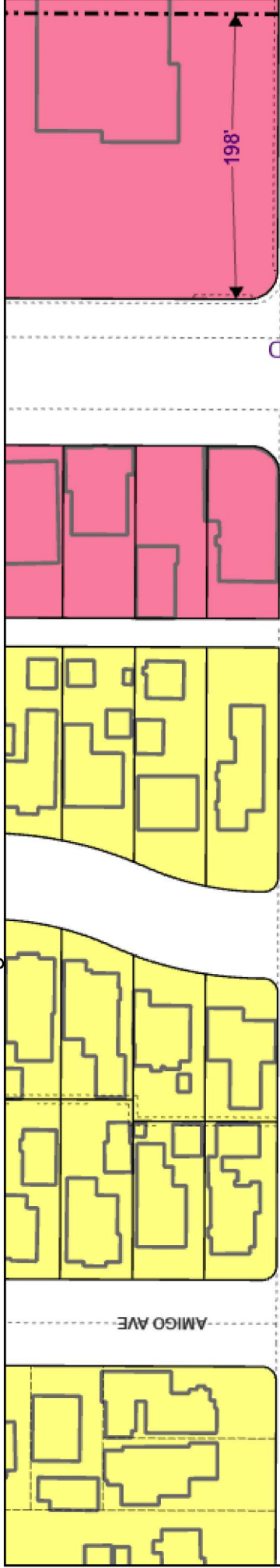
CPC-11708
ORD-176619
ORD-176558
ORD-176557
ORD-171941
ORD-169649
ORD-162925-SA900
ORD-119865

ZIMAS INTRANET

Generalized Zoning

01/29/2026

City of Los Angeles
Department of City Planning



Address: 7354 N BAIRD AVE
APN: 2118015013
PIN #: 186B125 701

Tract: TR 7632
Block: None
Lot: 14
Arb: None

Zoning: [Q]JR2-2D-CDO
General Plan: General Commercial

LEGEND

GENERALIZED ZONING

- OS, GW
- A, RA
- RE, RS, R1, RU, RZ, RW1
- R2, RD, RMP, RW2, R3, RAS, R4, R5, PVSP
- CR, C1, C1.5, C2, C4, C5, CW, WC, ADP, LASED, CEC, USC, PPSP, MU, NMU
- CM, MR, CCS, UV, UI, UC, M1, M2, LAX, M3, SL, HJ, HR, NI
- P, PB
- PF

GENERAL PLAN LAND USE

LAND USE

RESIDENTIAL

- Minimum Residential
- Very Low / Very Low I Residential
- Very Low II Residential
- Low / Low I Residential
- Low II Residential
- Low Medium / Low Medium I Residential
- Low Medium II Residential
- Medium Residential
- High Medium Residential
- High Density Residential
- Very High Medium Residential

COMMERCIAL

- Limited Commercial
- Limited Commercial - Mixed Medium Residential
- Highway Oriented Commercial
- Highway Oriented and Limited Commercial
- Highway Oriented Commercial - Mixed Medium Residential
- Neighborhood Office Commercial
- Community Commercial
- Community Commercial - Mixed High Residential
- Regional Center Commercial

FRAMEWORK

COMMERCIAL

- Neighborhood Commercial
- General Commercial
- Community Commercial
- Regional Mixed Commercial

INDUSTRIAL

- Commercial Manufacturing
- Limited Manufacturing
- Light Manufacturing
- Heavy Manufacturing
- Hybrid Industrial

PARKING

- Parking Buffer

PORT OF LOS ANGELES

- General / Bulk Cargo - Non Hazardous (Industrial / Commercial)
- General / Bulk Cargo - Hazard
- Commercial Fishing
- Recreation and Commercial
- Intermodal Container Transfer Facility Site

LOS ANGELES INTERNATIONAL AIRPORT

- Airport Landside / Airport Landside Support
- Airport Airside
- LAX Airport Northside

OPEN SPACE / PUBLIC FACILITIES



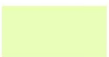






















- Open Space
- Public / Open Space
- Public / Quasi-Public Open Space
- Other Public Open Space
- Public Facilities

INDUSTRIAL










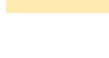

- Limited Industrial
- Light Industrial

CHAPTER 1A LEGEND

General Plan Designation
































	Transit Core		Medium Residential		Agriculture
	Traditional Core		Low Neighborhood Residential		Hybrid Industrial
	Regional Center		Low Medium Residential		Markets
	High Residential		Low Residential		Light Industrial
	Community Center		Compact Residential		Production
	Village		Very Low Residential		Industrial
	Neighborhood Center		Minimum Residential		Open Space
	Medium Neighborhood Residential				Public Facilities
					Public Facilities - Freeways

Zone Use Districts

	Open Space		Residential-Mixed		Industrial-Mixed
	Agricultural		Commercial		Public
	Residential Single Family		Commercial-Mixed		Freeway
	Residential Multiple Family		Industrial		

CIRCULATION




































STREET

-  Arterial Mountain Road
-  Collector Scenic Street
-  Collector Street
-  Collector Street (Hillside)
-  Collector Street (Modified)
-  Collector Street (Proposed)
-  Country Road
-  Divided Major Highway II
-  Divided Secondary Scenic Highway
-  Local Scenic Road
-  Local Street
-  Major Highway (Modified)
-  Major Highway I
-  Major Highway II
-  Major Highway II (Modified)
-  Major Scenic Highway
-  Major Scenic Highway (Modified)
-  Major Scenic Highway II
-  Mountain Collector Street
-  Park Road
-  Parkway
-  Principal Major Highway
-  Private Street
-  Scenic Divided Major Highway II
-  Scenic Park
-  Scenic Parkway
-  Secondary Highway
-  Secondary Highway (Modified)
-  Secondary Scenic Highway
-  Special Collector Street
-  Super Major Highway

FREEWAYS

-  Freeway
-  Interchange
-  On-Ramp / Off- Ramp
-  Railroad
-  Scenic Freeway Highway




MISC. LINES























-  Airport Boundary
-  Bus Line
-  Coastal Zone Boundary
-  Coastline Boundary
-  Collector Scenic Street (Proposed)
-  Commercial Areas
-  Commercial Center
-  Community Redevelopment Project Area
-  Country Road
-  DWP Power Lines
-  Desirable Open Space
-  Detached Single Family House
-  Endangered Ridgeline
-  Equestrian and/or Hiking Trail
-  Hiking Trail
-  Historical Preservation
-  Horsekeeping Area
-  Local Street
-  MSA Desirable Open Space
-  Major Scenic Controls
-  Multi-Purpose Trail
-  Natural Resource Reserve
-  Park Road
-  Park Road (Proposed)
-  Quasi-Public
-  Rapid Transit Line
-  Residential Planned Development
-  Scenic Highway (Obsolete)
-  Secondary Scenic Controls
-  Secondary Scenic Highway (Proposed)
-  Site Boundary
-  Southern California Edison Power
-  Special Study Area
-  Specific Plan Area
-  Stagecoach Line
-  Wildlife Corridor

POINTS OF INTEREST





 Alternative Youth Hostel (Proposed)	 Horticultural Center	 Public Elementary School
 Animal Shelter	 Hospital	 Public Elementary School (Proposed)
 Area Library	 Hospital (Proposed)	 Public Golf Course
 Area Library (Proposed)	HW House of Worship	 Public Golf Course (Proposed)
 Bridge	e Important Ecological Area	 Public Housing
 Campground	 Important Ecological Area (Proposed)	 Public Housing (Proposed Expansion)
 Campground (Proposed)	 Interpretive Center (Proposed)	 Public Junior High School
 Cemetery	 Junior College	 Public Junior High School (Proposed)
HW Church	 MTA / Metrolink Station	 Public Middle School
 City Hall	 MTA Station	 Public Senior High School
 Community Center	 MTA Stop	 Public Senior High School (Proposed)
 Community Library	MWD MWD Headquarters	 Pumping Station
 Community Library (Proposed Expansion)	 Maintenance Yard	 Pumping Station (Proposed)
 Community Library (Proposed)	 Municipal Office Building	 Refuse Collection Center
 Community Park	P Municipal Parking lot	 Regional Library
 Community Park (Proposed Expansion)	 Neighborhood Park	 Regional Library (Proposed Expansion)
 Community Park (Proposed)	 Neighborhood Park (Proposed Expansion)	 Regional Library (Proposed)
 Community Transit Center	 Neighborhood Park (Proposed)	 Regional Park
 Convalescent Hospital	 Oil Collection Center	 Regional Park (Proposed)
 Correctional Facility	 Parking Enforcement	RPD Residential Plan Development
 Cultural / Historic Site (Proposed)	 Police Headquarters	 Scenic View Site
 Cultural / Historical Site	 Police Station	 Scenic View Site (Proposed)
 Cultural Arts Center	 Police Station (Proposed Expansion)	 School District Headquarters
DMV DMV Office	 Police Station (Proposed)	 School Unspecified Loc/Type (Proposed)
DWP DWP	 Police Training site	 Skill Center
 DWP Pumping Station	PO Post Office	 Social Services
 Equestrian Center	 Power Distribution Station	 Special Feature
 Fire Department Headquarters	 Power Distribution Station (Proposed)	 Special Recreation (a)
 Fire Station	 Power Receiving Station	 Special School Facility
 Fire Station (Proposed Expansion)	 Power Receiving Station (Proposed)	 Special School Facility (Proposed)
 Fire Station (Proposed)	C Private College	 Steam Plant
 Fire Supply & Maintenance	E Private Elementary School	 Surface Mining
 Fire Training Site	 Private Golf Course	 Trail & Assembly Area
 Fireboat Station	 Private Golf Course (Proposed)	 Trail & Assembly Area (Proposed)
 Health Center / Medical Facility	JH Private Junior High School	UTL Utility Yard
 Helistop	PS Private Pre-School	 Water Tank Reservoir
 Historic Monument	 Private Recreation & Cultural Facility	 Wildlife Migration Corridor
 Historical / Cultural Monument	SH Private Senior High School	 Wildlife Preserve Gate
 Horsekeeping Area	SF Private Special School	
 Horsekeeping Area (Proposed)	 Public Elementary (Proposed Expansion)	

SCHOOLS/PARKS WITH 500 FT. BUFFER

 Existing School/Park Site	 Planned School/Park Site	 Inside 500 Ft. Buffer
--	--	---

 Aquatic Facilities	 Other Facilities	 Opportunity School
 Beaches	 Park / Recreation Centers	 Charter School
 Child Care Centers	 Parks	 Elementary School
 Dog Parks	 Performing / Visual Arts Centers	 Span School
 Golf Course	 Recreation Centers	 Special Education School
 Historic Sites	 Senior Citizen Centers	 High School
 Horticulture/Gardens		 Middle School
 Skate Parks		 Early Education Center

COASTAL ZONE



 Coastal Commission Permit Area
 Dual Permit Jurisdiction Area
 Single Permit Jurisdiction Area
 Not in Coastal Zone

TRANSIT ORIENTED COMMUNITIES (TOC)

 Tier 1	 Tier 3
 Tier 2	 Tier 4

Note: TOC Tier designation and map layers are for reference purposes only. Eligible projects shall demonstrate compliance with Tier eligibility standards prior to the issuance of any permits or approvals. As transit service changes, eligible TOC Incentive Areas will be updated.

WAIVER OF DEDICATION OR IMPROVEMENT

 Public Work Approval (PWA)
 Waiver of Dedication or Improvement (WDI)

MIXED INCOME INCENTIVE PROGRAM (MIIP)

TRANSIT ORIENTED INCENTIVE AREAS (TOIA)

 T-1	 T-2	 T-3	 Outside of TOIA
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OPPORTUNITY CORRIDORS (OC)

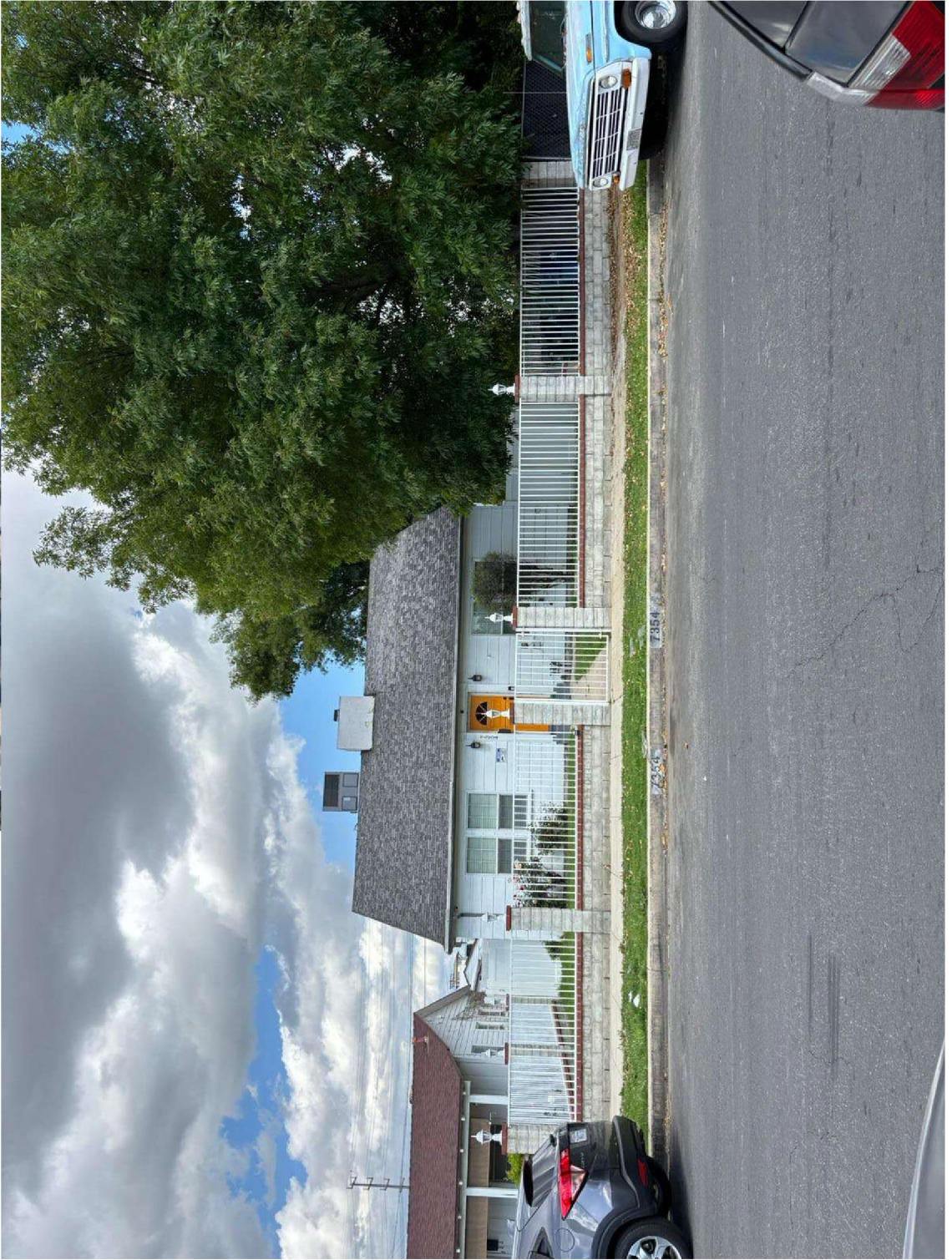
 OC-1	 OC-2	 OC-3
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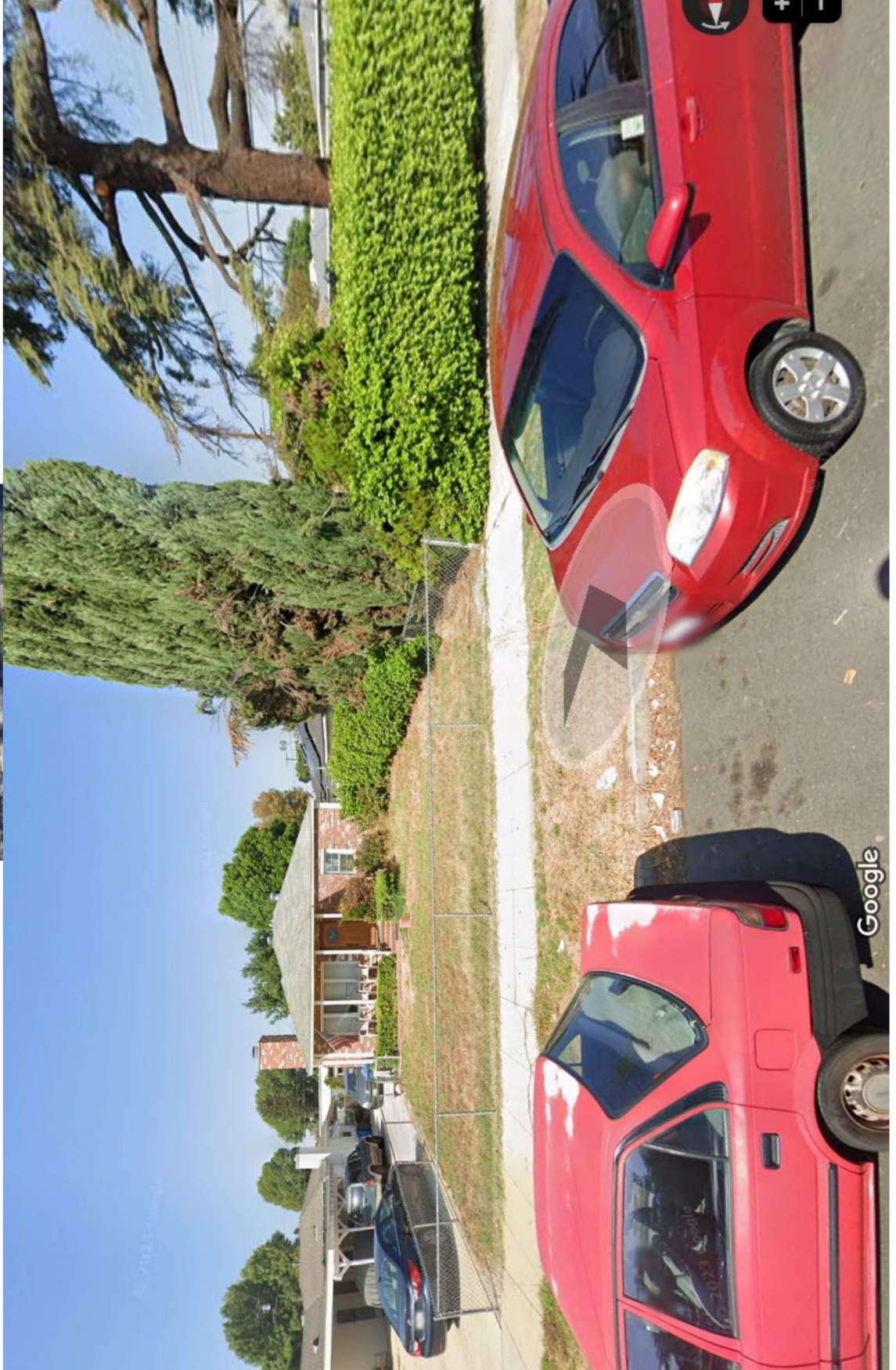
CORRIDOR TRANSITION INCENTIVE AREAS (CT)

 CT-1	 CT-2	 CT-3
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OTHER SYMBOLS

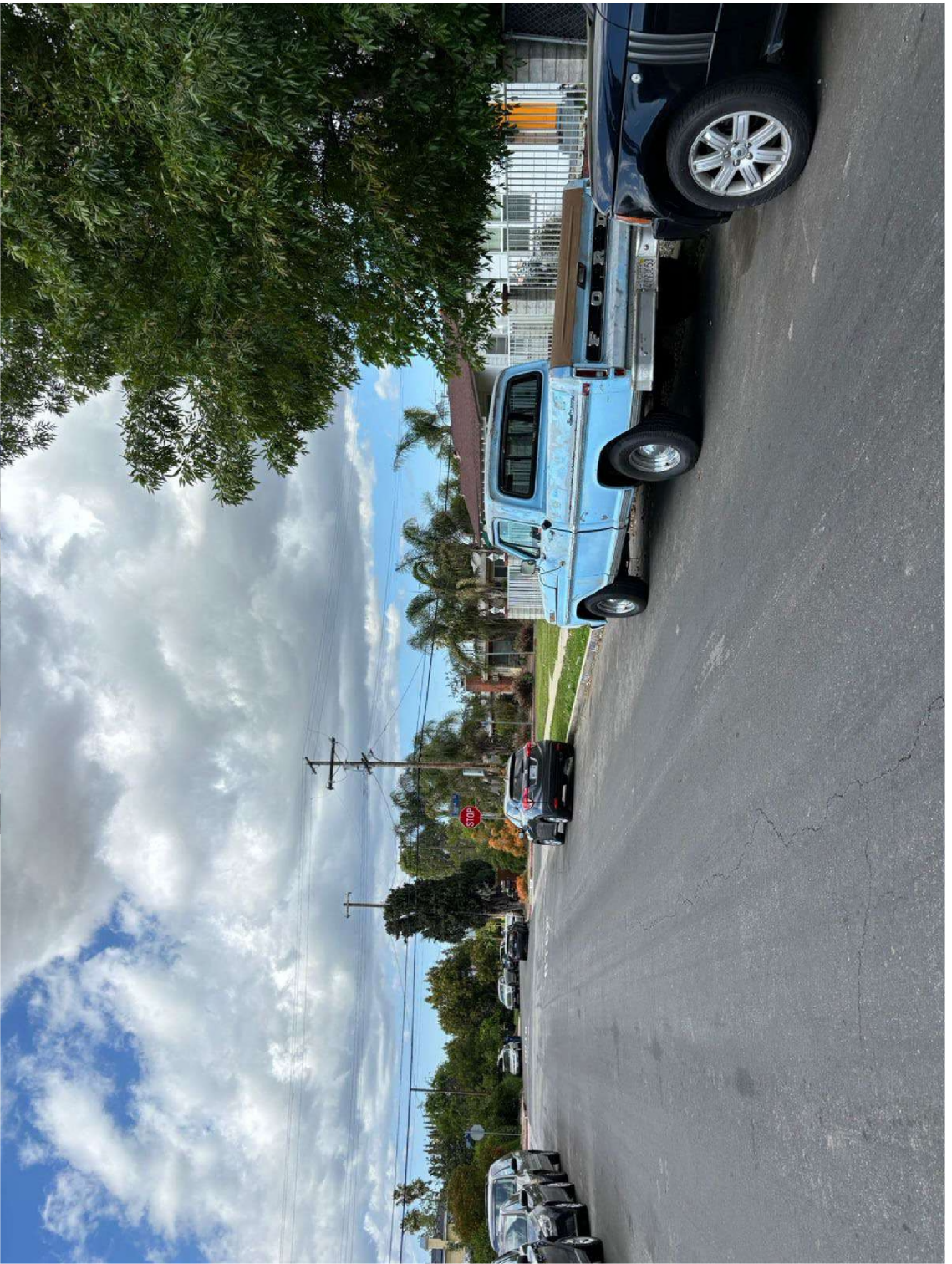
 Lot Line	 Airport Hazard Zone	 Flood Zone
 Tract Line	 Census Tract	 Hazardous Waste
 Lot Cut	 Coastal Zone	 High Wind Zone
 Easement	 Council District	 Hillside Grading
 Zone Boundary	 LADBS District Office	 Historic Preservation Overlay Zone
 Building Line	 Downtown Parking	 Specific Plan Area
 Lot Split	 Fault Zone	 Very High Fire Hazard Severity Zone
 Community Driveway	 Fire District No. 1	 Wells - Active
 Building Outlines 2020	 Tract Map	 Wells - Inactive
 Building Outlines 2017	 Parcel Map	





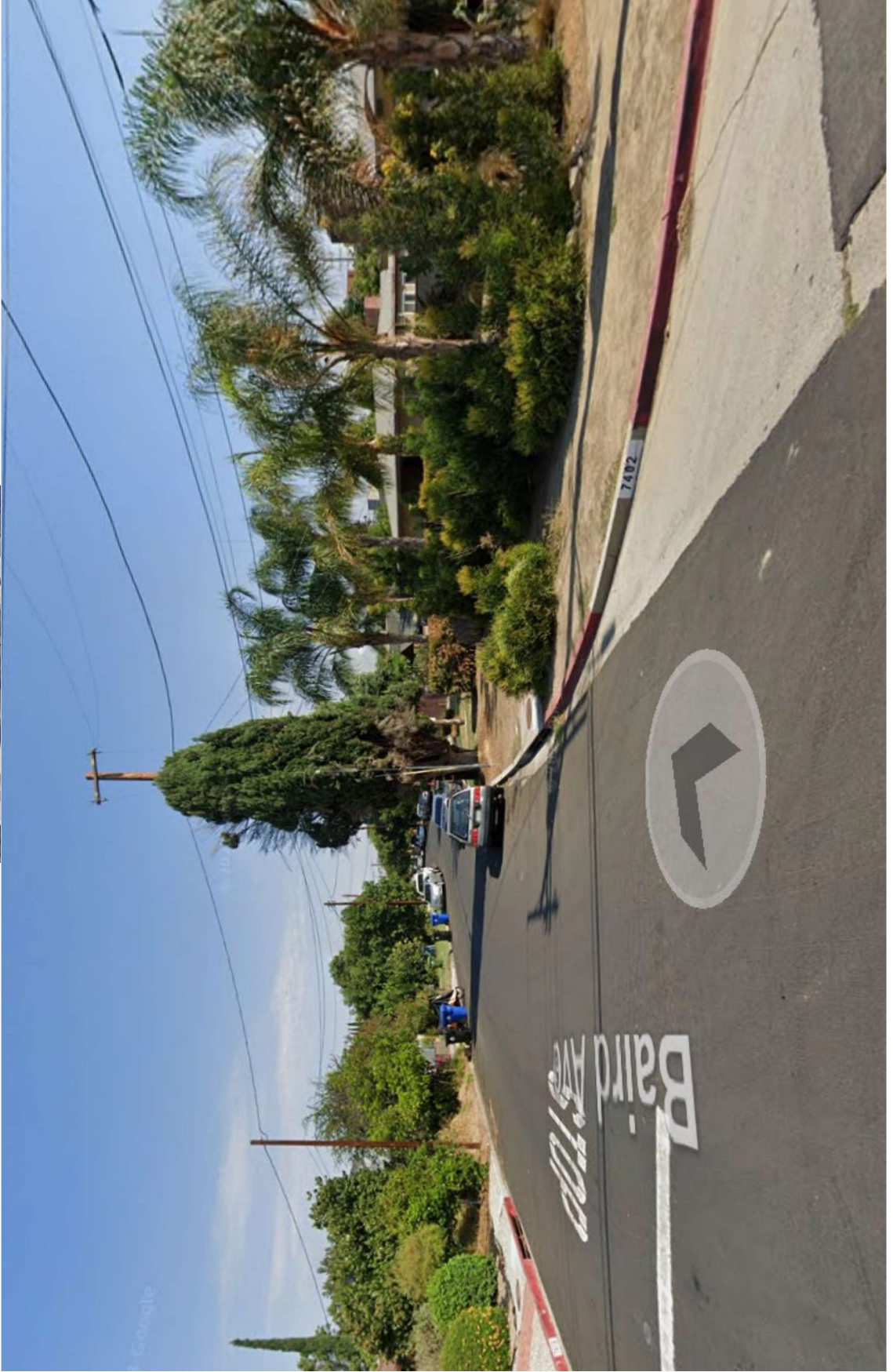




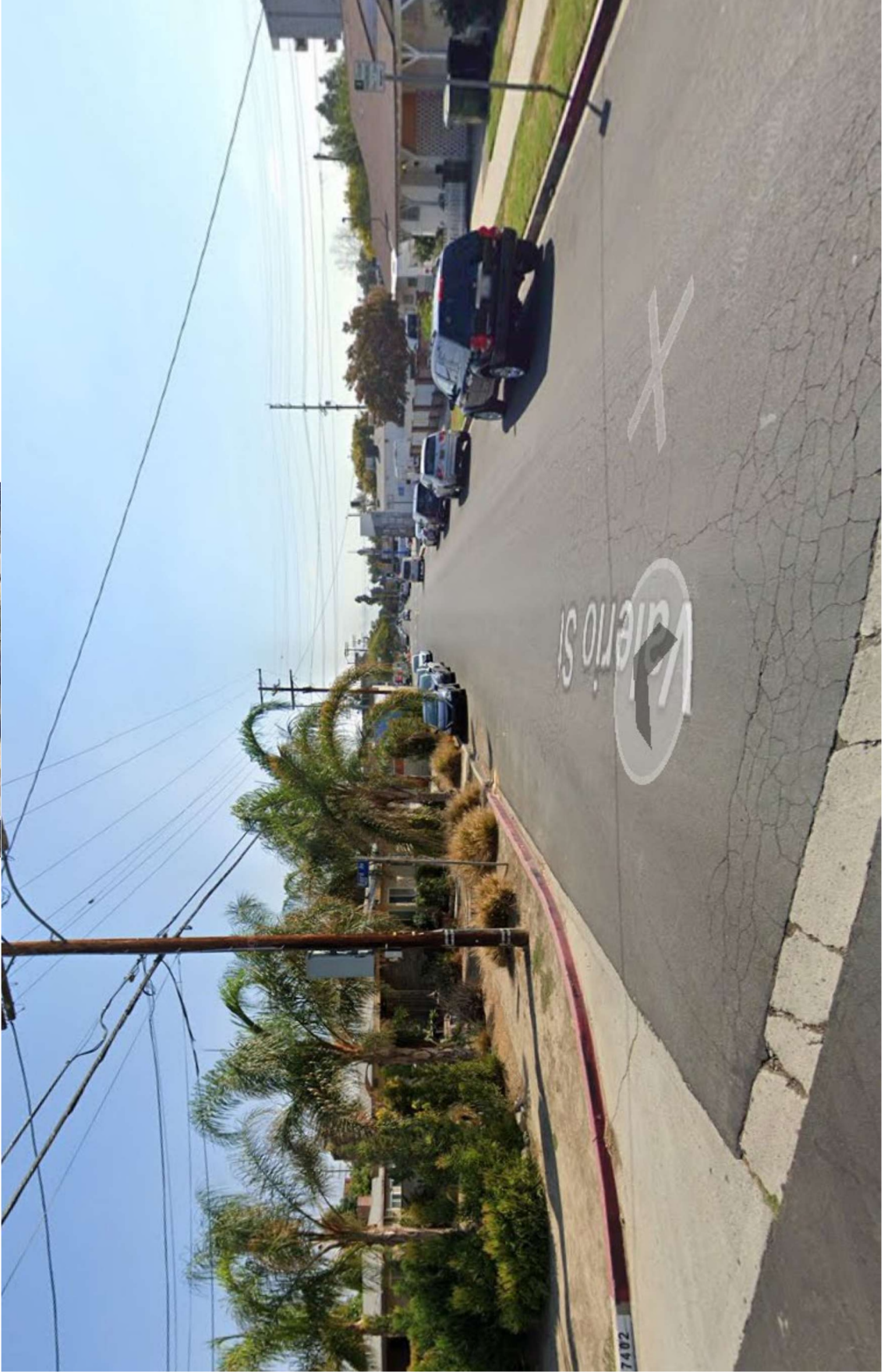












COUNTY CLERK'S USE

CITY OF LOS ANGELES

OFFICE OF THE CITY CLERK
200 NORTH SPRING STREET, ROOM 395
LOS ANGELES, CALIFORNIA 90012

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

(PRC Section 21152; CEQA Guidelines Section 15062)

Pursuant to Public Resources Code § 21152(b) and CEQA Guidelines § 15062, the notice should be posted with the County Clerk by mailing the form and posting fee payment to the following address: Los Angeles County Clerk/Recorder, Environmental Notices, P.O. Box 1208, Norwalk, CA 90650. Pursuant to Public Resources Code § 21167 (d), the posting of this notice starts a 35-day statute of limitations on court challenges to reliance on an exemption for the project. Failure to file this notice as provided above, results in the statute of limitations being extended to 180 days.

PARENT CASE NUMBER(S) / REQUESTED ENTITLEMENTS

CPC-2024-3381-DB-CDO-VHCA

LEAD CITY AGENCY

City of Los Angeles (Department of City Planning)

CASE NUMBER

ENV-2024-3382-CE

PROJECT TITLE

COUNCIL DISTRICT

CD 3 - Blumenfield

PROJECT LOCATION (Street Address and Cross Streets and/or Attached Map)

7354 N. Baird Ave., 91335 (Valerio St. and Reseda Blvd.)

Map attached.

PROJECT DESCRIPTION:

Three-story, 39 foot 6 inches in height, 13,937 square foot, 34 unit Residential Care Facility for the Elderly on a 7,503.7 square foot lot.

Additional page(s) attached.

NAME OF APPLICANT / OWNER:

Rajesh Kumar and Alaknanda Kumar

CONTACT PERSON (If different from Applicant/Owner above)

Akhilesh Jha

(AREA CODE) TELEPHONE NUMBER

310-995-4859

EXT.

EXEMPT STATUS: (Check all boxes, and include all exemptions, that apply and provide relevant citations.)

STATE CEQA STATUTE & GUIDELINES

STATUTORY EXEMPTION(S)

Public Resources Code Section(s) _____

CATEGORICAL EXEMPTION(S) (State CEQA Guidelines Sec. 15301-15333 / Class 1-Class 33)

CEQA Guideline Section(s) / Class(es) CEQA Guidelines Section 15332 / Class 32

OTHER BASIS FOR EXEMPTION (E.g., CEQA Guidelines Section 15061(b)(3) or (b)(4) or Section 15378(b)

JUSTIFICATION FOR PROJECT EXEMPTION:

See attached.

Additional page(s) attached

None of the exceptions in CEQA Guidelines Section 15300.2 to the categorical exemption(s) apply to the Project; no unusual circumstance is found.

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.

If different from the applicant, the identity of the person undertaking the project.

CITY STAFF USE ONLY:

CITY STAFF NAME AND SIGNATURE

Laura Frazin Steele

STAFF TITLE

City Planner

ENTITLEMENTS APPROVED

**ENV-2024-3382-CE / 7354 N. BAIRD AVENUE
JUSTIFICATION FOR PROJECT EXEMPTION**

The City of Los Angeles determined based on the whole of the administrative record, that substantial evidence supports that the project is exempt from CEQA pursuant to CEQA Guidelines, Section 15332, Class 32, and none of the exceptions to a categorical exemption pursuant to CEQA Guidelines Section 15300.2 applies. The project was found to be exempt based on the following discussion.

A project qualifies for a Class 32 Categorical Exemption if it is developed on an infill site and meets the following criteria:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations;
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses;
- (c) The project site has no value as habitat for endangered, rare or threatened species;
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and
- (e) The site can be adequately served by all required utilities and public services.

The project is the construction, use and maintenance of three-story, 39 foot 6 inch in height, 34 unit, 13,937 square foot Residential Care Facility for the Elderly on a 7,503.7 square foot lot including four units reserved for Very Low Income Senior Citizens and 30 units at Market Rate for Seniors. No automobile parking or bicycle parking is proposed. To achieve the proposed project, the applicant will demolish an existing one-story, approximately 1,420 square foot single-family dwelling and remove two on-site non-protected trees.

The applicant is requesting the following entitlements:

- Pursuant to California Government Code (CA GC) Section 65915 et seq. and Chapter 1, Los Angeles Municipal Code (LAMC) Section 12.22 A.37 and Chapter 1A, LAMC Section 13B.2.3, a Shared Housing Building providing 34 rental units as a Residential Care Facility for the Elderly with four units reserved for Very Low Income Households and 30 units reserved for Seniors at Market Rate. The applicant is requesting the following two Off-Menu Incentives and nine Waivers of Development Standards that are subject to the review and approval of the decision-maker:
 - Reseda Central Business District Community Design Overlay (CDO) (Off-Menu Incentive) – A deviation from all of the permanent Q Conditions and Design Standards and Guidelines of the Reseda Central Business District CDO (Ordinance Nos. 176,557 and 176,558)
 - Landscaping (Off-Menu Incentive) – A 100 percent decrease from all landscaping requirements to provide 0 square feet of landscaping in lieu of the otherwise required landscaping pursuant to LAMC Sections 12.40 – 12.43 and 12.21 G.
 - Front Yard Setback (Waiver) - A 100 percent decrease from the required front yard setback to provide a 0 foot front yard setback in lieu of the otherwise required minimum 20 feet pursuant to LAMC Section 12.09 C.1.

- North Side Yard Setback (Waiver) – A 36.7 percent decrease from the required north side yard setback to provide a 3 foot 10 inch north side yard setback in lieu of the otherwise required minimum 6 feet pursuant to LAMC Section 12.09 C.2.
- South Side Yard Setback (Waiver) - A 36.7 percent decrease from the required south side yard setback to provide a 3 foot 10 inch south side yard setback in lieu of the otherwise required minimum 6 feet pursuant to LAMC Section 12.09 C.2.
- Rear Yard Setback (Waiver) – A 100 percent decrease from the required rear yard setback to provide a 0 foot rear yard setback in lieu of the otherwise required 15 foot minimum pursuant to LAMC Section 12.09 C.3. Pursuant to LAMC Section 12.22 C, 10 feet (one-half of the 20 foot alley) counts toward the 15 foot rear yard calculation.
- Useable Open Space (Waiver) – A 100 percent deviation from the required open space to provide 0 square feet of open space in lieu of the otherwise required 3,400 square feet pursuant to LAMC Section 12.21 G.
- Long-Term Bicycle Parking (Waiver) – A 100 percent deviation from the required long-term bicycle parking to provide 0 long-term bicycle parking spaces in lieu of the otherwise required 3 spaces pursuant to LAMC Section 12.21 A.16.
- Short-Term Bicycle Parking (Waiver) – A 100 percent deviation from the required short-term bicycle parking to provide 0 short-term bicycle parking spaces in lieu of the otherwise required 2 spaces pursuant to LAMC Section 12.21 A.16.
- Transitional Height (Waiver) – A 100 percent deviation from transitional height requirements pursuant to LAMC Section 12.21.1 A.10.
- Tree Planting (Waiver) – A 100 percent reduction in the number of required trees to be planted on-site and in the public right-of-way to provide 0 trees in lieu of the otherwise required 14 trees pursuant to LAMC Sections 12.40-12.43, and 12.21 G.

In order to qualify for a Class 32 Exemption, the following five findings must be made:

1. The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.

As three-story, 39 foot 6 inch in height, 34 unit, 13,937 square foot Shared Housing Building on a 7,503.7 square foot lot and a project which is characterized as in-fill development, the project qualifies for the Class 32 Categorical Exemption. The project site is zoned [Q]R2-2D-CDO and is located within the Reseda-West Van Nuys Community Plan. The project site is designated for General Commercial land use which corresponds to the C1.5, C2, CR, C4, RAS3, RAS4, and P Zones. The R2 Zone is more restrictive than the range of zones corresponding to the General Commercial land use designation, and therefore, the zoning is consistent with the land use. Pursuant to LAMC Section 12.09 A, the R2 Zone is a “two-family zone” that allows any use permitted in the R1 “one-family zone;” two-family dwellings; apartment houses, boarding or rooming houses, or multiple dwellings under specific circumstances; accessory buildings; and accessory uses and

home occupations. The applicant is utilizing the density of the RAS3 Zone as allowed pursuant to CA GC Section 65915 and LAMC Section 12.22 A.37 to construct a 34 unit Shared Housing Building. A Residential Care Facility for the Elderly is a permitted use under the range of zones corresponding to the General Commercial land use designation.

The project site is located within the Reseda Central Business District Community Design Overlay (CDO), as designed by the [Q]R2-2D-CDO Zone. The Reseda Central Business CDO became effective under Ordinance Nos. 176,557 and 176,558 on May 2, 2005 (ZI-2339 to establish the Boundary Ordinance (Ordinance No. 176,557), permanent "Q" Conditions (Ordinance No. 176,558), and Design Guidelines and Standards. The purpose of the Reseda Central Business District CDO is to promote the economic viability and small scale commercial retail character, improve the physical appearance of the area, and establish guidelines to encourage orderly development and revitalization. The boundaries generally encompass Sherman Way just west of Wilbur Avenue and just east of Lindley Avenue and Reseda Boulevard between Kittridge Street to the south and Saticoy Street to the north. The appropriate decision-maker will review the project and determine whether the applicant's requested incentives and waivers of development standards are in compliance with State and municipal density bonus regulations.

The subject site is located within an area of Airport Hazard, where height is limited to 200 feet above Elevation 790. It is highly unlikely that the proposed three-story, 39 foot 6 inch in height structure will exceed this height limitation, but the project will be reviewed for compliance with the Airport Hazard area by the Zoning Engineer during Plan Check.

Therefore, the project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.

2. The proposed development occurs within City limits on a project site of no more than five acres, substantially surrounded by urban uses.

The subject site is wholly within the City of Los Angeles, on a site that is approximately 7,503.7 square feet / 0.17 acres. Lots adjacent to the subject site are developed with the urban uses. To the north, the abutting site on Baird Avenue is zoned [Q]R2-2D-CDO and designated for General Commercial land use. The site is improved with a single-family dwelling. Further north, sites on Baird Avenue across Valerio Street are zoned R1-1, designated for Low Medium II Residential land use, and improved with single-family dwellings. To the south, sites along the east side of Baird Avenue are zoned [Q]R2-2D-CDO, designated for General Commercial land use, and improved with single-family uses. Further south, at the northeast corner of Baird Avenue and Wyandotte Street, the site is zoned [Q]R3-2-CDO and designated for General Commercial land use. This site is improved with a multi-family dwelling. To the south, along the west side of Baird Avenue, sites are zoned R1-1, designated for Medium Residential use, and are improved with single-family dwellings. To the east along Reseda Boulevard, south of Valerio Street sites are zoned [Q]C2-2D-CDO and sites north of Valerio Street are zoned [Q]C2-1VL-CDO. Along Reseda Boulevard sites north and south of Valerio Street are designated for General Commercial land use. These sites are improved with commercial uses (automotive, retail, restaurant), a U.S. Post Office, and a multi-family residence. Reseda Elementary School is located to the west on a site zoned [Q]PF-1XL and designated for Public Facilities. Therefore, the development occurs within City limits on a project site of no more than five acres substantially surrounded by urban uses.

3. The project site has no value as habitat for endangered, rare or threatened species.

The site is previously disturbed and surrounded by development and has no value as a habitat for endangered, rare or threatened species. The applicant provided a signed and notarized Owner's Declaration of Biological Resources Form No. CP-3612 dated May 18, 2024 disclosing that the project site does not contain water resources (streams, wetlands, or other water bodies), protected trees and/or shrubs, and/or other sensitive/special resources requiring additional review. As shown on ZIMAS, the project site is not located in a Coastal Zone and does not have Coastal Bluff or Canyon Bluff potential. The site is located in an Urban Agricultural Incentive Zone, but no agricultural uses are proposed herein. The project site is not located within a Very High Fire Hazard Severity Zone, Flood Zone, Watercourse, Methane Hazard Site, High Wind Velocity Area, or Special Grading Area. There are no oil wells on site or adjacent to the subject site. As shown on ZIMAS, the project site is not located in the Santa Monica Mountains Zone. The site has no potential for Biological Resources, Mountain Lions, Monarch Butterflies. The site is not located within a 300-foot Habitat Buffer, a County-designated Significant Ecological Area (SEA) and/or Coastal Resource Area (CRA). The project site is not located within a Wildland Urban Interface (WDI) or a Criterion 1 Protected Areas for Wildlife (PAWs). The project site is approximately 10.1 km from the nearest fault (Northridge), and is not located within an Alquist-Priolo Fault Zone. The site is not located in an area of Landslide, Liquefaction, Preliminary Fault Rupture Study, or Tsunami Hazard.

There are no protected trees on the site or street trees in the public right-of-way, as disclosed in the Tree Disclosure Statement Form No. CP-4067 signed by the applicant on May 26, 2024. Two on-site trees are proposed to be removed from the subject site, and the applicant has requested to waive all on-site and off-site tree planting requirements. LAMC Section 12.21 G.3 requires at least one 24-inch box tree for every four dwelling units and may include street trees in the parkway. As such, a minimum of nine 24-inch box size trees are required. Further, pursuant to LAMC Section 62.162, Urban Forestry/Board of Public Works is authorized to require the planting of street trees. Per email communication with Urban Forestry staff on October 1, 2025, one 24-inch box size tree may be required in the public right-of-way. The decision-maker will determine whether the applicant may waive requested on- and off-site tree planting. Prior to any work on the right-of-way, the applicant will be required to obtain approved plans from the Department of Public Works. As there currently is no approved right-of-way improvement plan and for purposes of conservative analysis and the requirements of CEQA, Planning has analyzed the worst-case potential for removal of any street trees. Note, no street tree or protected tree may be removed without prior approval of the Board of Public Works/Urban Forestry under LAMC Section 62.161 et seq. At the time of preparation of this CE, no approvals have been given for any tree removals on-site or in the right-of-way by Board of Public Works/Urban Forestry.

4. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

The project will be subject to the Los Angeles Municipal Code which requires compliance with the City of Los Angeles Noise Ordinance. The project will be subject to Code requirements regulating pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. These requirements will ensure the project will not have significant impacts on noise and water. Furthermore, the project does not exceed the threshold criteria established by LADOT for preparing a transportation study. The project site is located in an area designated under ZI-2452 – Transit Priority Area in the City of Los Angeles, which limits the extent to which aesthetics and parking are defined as impacts under CEQA. Interim thresholds were developed by Department of City

Planning staff based on CalEEMod model runs relying on reasonable assumptions, consulting with Air Quality Management District (AQMD) staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established South Coast Air Quality Management District (SCAQMD) construction and operational thresholds. Therefore, approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

5. The site can be adequately served by all required utilities and public services.

A significant impact would occur if the proposed project would exceed wastewater treatment requirements of the Los Angeles Regional Water Quality Control Board (LARWQCB). All wastewater from the project would be treated according to requirements of the National Pollutant Discharge Elimination System (NPDES) permit authorized by the LARWQCB. Therefore, the proposed project would result in a less than significant impact related to wastewater treatment requirements. As previously stated, the project would not significantly impact water quality and would not require the expansion of water treatment facilities. The project is not expected to increase surface water runoff or result in the need for expanded off-site storm water drainage facilities. The project site will be adequately served by all public utilities and services given that the construction of a 34 unit Shared Housing Building will be on a site which has been previously developed and is consistent with the General Plan.

Therefore, the project meets all of the Criteria for the Class 32.

CEQA SECTION 15300.2: EXCEPTIONS TO THE USE OF CATEGORICAL EXEMPTIONS

The City has further considered whether the proposed project is subject to any of the six exceptions (listed as a-f) set forth in State CEQA Guidelines Section 15300.2, that would prohibit the use of any categorical exemption. None of the exceptions are triggered for the reasons discussed as follows:

- A. Location.** *Classes 3, 4, 5, 6, and 11 are qualified by consideration of where the project is to be located. A project that is ordinarily insignificant in its effect on the environment may in a particularly sensitive environment be significant. Therefore, these classes may not be utilized where the project may impact on an environmental resource of hazardous or critical concern where designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies.*

The project does not rely on Classes 3, 4, 5, 6, or 11. Therefore, the exception based on location does not apply.

- B. Cumulative Impact.** *The exception applies when, although a particular project may not have a significant impact, the impact of successive projects, of the same type, in the same place, over time is significant.*

The three-story, 39 foot 6 inch in height, 34 unit, 13,937 square foot Shared Housing Building is proposed to be used as a Residential Care Facility for the Elderly. Based on a review of databases including the City of Los Angeles Department of City Planning ZIMAS for nearby case approvals, the Los Angeles Department of Building and Safety (LADBS) for recently issued permits, and Navigate LA for other entitlements requested on property in the surrounding area, there are no similar active Shared Housing Buildings used as a Residential Care Facility for the Elderly in the vicinity. As such, the cumulative impact of successive projects of the same type in the same place, over time, would not be significant.

- C. Significant Effect Due to Unusual Circumstances.** *This exception applies when, although the project may otherwise be exempt, there is a reasonable possibility that the project will have a significant effect due to unusual circumstances.*

As shown on ZIMAS, the project site is not located in a Coastal Zone or a hillside area and does not have Coastal Bluff or Canyon Bluff potential. The site is located in an Urban Agricultural Incentive Zone, but no agricultural uses are proposed herein. The project site is not located within a Very High Fire Hazard Severity Zone, Flood Zone, Watercourse, Methane Hazard Site, High Wind Velocity Area, or Special Grading Area. There are no oil wells on site or adjacent to the subject site. As shown on ZIMAS, the project site is not located in the Santa Monica Mountains Zone. The site has no potential for Biological Resources, Mountain Lions, or Monarch Butterflies. The site is not located within a 300-foot Habitat Buffer, a County-designated Significant Ecological Area (SEA), or Coastal Resource Area (CRA). The project site is not located within a Wildland Urban Interface (WDI) and is not a Criterion 1 Protected Areas for Wildlife (PAWs). The project site is approximately 10.1 km from the nearest fault (Northridge), and is not located within an Alquist-Priolo Fault Zone. The site is not located in an area of Landslide, Liquefaction, Preliminary Fault Rupture Study, or Tsunami Hazard.

Further, most adjacent lots are developed with residential and commercial uses, and the subject site is of similar size and slope to nearby properties. The project site is located in a typical urbanized area of the Reseda – West Van Nuys Community Plan, and the project would be consistent with the designated zoning and would adhere to all Code requirements with the approval of the Density Bonus Incentives and Waivers of Development Standards. The project is not unusual for the vicinity of the site, and is similar in size to other uses in the area.

As such, there is not a reasonable possibility that the project will have a significant effect due to unusual circumstances.

- D. Scenic Highways.** This exception applies when, although the project may otherwise be exempt, there may be damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway.

Based on a review of the California Scenic Highway Mapping System (dot.ca.gov), the subject site is not located along a State Scenic Highway, nor are there any designated State Scenic Highways located near the project site. Based on this, the proposed project will not result in damage to scenic resources including trees, historic buildings, rock outcroppings, or similar resources within a highway officially designated as a state scenic highway, and this exception does not apply.

- E. Hazardous Waste Sites.** *Projects located on a site or facility listed pursuant to California Government Code 65962.5.*

Based on a review of the California Department of Toxic Substances Control "Envirostor Database" (<http://www.envirostor.dtsc.ca.gov/public/>), no known hazardous waste sites are located on or proximate to the project site. In addition, there is no evidence of historic or current use, or disposal of hazardous or toxic materials at this location. Based on this, the project will not result in a significant effect due hazardous waste and this exception does not apply.

F. Historical Resources. *Projects that may cause a substantial adverse change in the significance of an historical resource.*

The project site has not been identified as a historic resource by local or state agencies, and the project site has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, or the Los Angeles Historic-Cultural Monuments Register, and/or any local register according to the City's HistoricPlacesLA website. Based on this, the project will not result in a substantial adverse change to the significance of a historic resource and this exception does not apply.

In conclusion, since the project meets all of the requirements of the categorical exemption set forth at CEQA Guidelines, Section 15332 and none of the applicable exceptions to the use of the exemption apply to the project, it is appropriate to determine this project is categorically exempt from the requirements of CEQA.



REFERRAL FORM

AFFORDABLE HOUSING REFERRAL FORM
(State Density Bonus Program (LAMC 12.22 A.37 & 9.2.1),
JJJ, and Greater Downtown Housing Incentive Area)

RECEIVED
CITY OF LOS ANGELES
SEP 12 2025

This form is to serve as a referral to the Los Angeles City Planning's Development Services Center (DSC) for Affordable Housing case filing purposes (in addition to the required City Planning Application and any other necessary documentation); and to the City of Los Angeles Housing Department (LAHD), Department of Building and Safety (LADBS), or other City agency for project status and entitlement need purposes. All Applicants are required to provide a complete set of architectural plans at the time that this form is submitted for review. Any application submitted that is missing any required materials will be considered incomplete and will not be reviewed until all materials are submitted.

This form shall be completed by the Applicant and reviewed and signed by City Planning DSC Affordable Housing Services Section (AHSS) Staff prior to filing an application for an entitlement, administrative review, or building permit. Any modifications to the content(s) of this form after its authorization by AHSS Staff is prohibited. City Planning reserves the right to require an updated Referral Form for the project if more than 180 days have transpired since the referral date, or as necessary, to reflect project modifications, policy changes, bus route changes, bus schedule changes, and/or amendments to the Los Angeles Municipal Code (LAMC), local laws, and State laws.

Note: This Referral Form does not constitute a City Planning application. See the Forms webpage for City Planning Application (CP13-7771.1) and the City Planning Application Filing Instructions (CP13-7810). If the project is located within a Specific Plan or Overlay Zone, check with the assigned planner prior to preparing these plans, as some have additional or different requirements. An Assignment List can be found on the City Planning website at <http://planning.lacity.org> under the "About" tab, under "Staff Directory."

THIS SECTION TO BE COMPLETED BY AHSS STAFF ONLY

Planning Staff Name & Title: Amanda Briones

Planning Staff Signature: 

Referral Date: September 12, 2025 **Expiration Date:** March 11, 2026

Case Number: PAR- 2025-2840-AHRF

REVIEW PROCEDURE

Ministerial Review: Department of Building and Safety

Ministerial Review: Expanded Administrative Review

Discretionary Review: City Planning Commission Review (CPC Case)

TRANSPORTATION QUALIFIERS (if applicable)

- Major Transit Stop Paratransit / Fixed Bus Route Very Low Vehicle Travel Areas
- Other: _____

Location of Transit: Reseda Blvd and Sherman Way

Qualifier #1: Metro Bus Line 240 (Rapid - June 2025)

Service Interval #1: NB/WB: 420/43=9.77 min Service Interval #2: SB/EB: 420/44=9.55 min

Qualifier #2: Metro Bus Line 162 (Local - June 2025)

Service Interval #1: EB: 420/29=14.48 min Service Interval #2: WB: 420/27=15.56 min

Service Intervals are calculated by dividing 420 (the total number of minutes during the peak hours of 6 am to 9 am and 3 pm to 7 pm by the number of eligible trips.

Notes:

RCFE does not require individual kitchenettes in the shared housing units, nor a manager's unit. ~~Project requires a CUP per LAMC 12.24 U.12 to allow sanitarium/congregate housing uses in the R2 Zone.~~ Open Space requirements per LAMC 12.21 G are not applicable. Bicycle parking requirements are per LAMC 12.21 A.16(1)(ii). Project complies with Reseda CBD CDO guidelines. Set-aside affordable units only qualifies project for one (1) incentive.

LAMC 12.40 - 12.43 apply

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THIS SECTION TO BE COMPLETED BY THE APPLICANT

Applicant Requesting:

- SB 35 / SB 423 SB 4 ED 1¹ Housing Element Streamlining²
- Measure JJJ AB 2011 AB 682 AB 2162 AB 1287
- Other: _____

APPLICANT INFORMATION

Applicant Name: Rajesh Kumar

Phone Number: 310-995-4859

Email: contact.aj.jha@gmail.com

¹ Refer to [Executive Directive 1 Implementation Guidelines](#) for qualifying criteria. If the project is determined to be ineligible for ED 1, a new Referral Form will need to be obtained.

² Housing Development Projects located on sites identified under ZI-2534 & ZI-2535 are eligible for Ministerial Approval if at least 20 percent of the units are reserved for lower-income households. Eligibility shall be confirmed in Section 7.D of this form.

I. PROPOSED PROJECT

1. PROJECT LOCATION/ZONING

Project Address(es): 7354 Baird Ave, Reseda, CA 91335

Assessor Parcel Number(s): 2118015013

Community Plan: Reseda - West Van Nuys

Existing Zone: [Q]R2-2D-CDO

Land Use Designation: General Commercial

Corresponding Zones: C1.5, C2, CR, C4, RAS3, RAS4, P

Number of Parcels: One

Project Site Area (sf)³: 7,507.8

- Specific Plan CPIO DRB/CDO HPOZ Enterprise Zone
 Redevelopment Project Area Designated Historic Resource Non-Contributing Element
 Prior Housing Element Sites⁴ Lower Income Rezoning Housing Element Sites⁴

If applicable, specify Specific Plan/Overlay: _____

Q Condition/D Limitation (Ordinance No. and provide a copy): Ordinance 162925 - SA900, 176558

Other Pertinent Zoning Information (specify): _____

2. DETAILED DESCRIPTION OF PROPOSED PROJECT

The proposed project at 7354 Baird Ave involves the construction, use, and maintenance of a three-story, 39-foot 6-inch tall Residential Care Facility for the Elderly. The facility will include 34 units, of which four units will be designated as affordable housing for Very Low Income households. All units within the facility will be offered as rental housing. This project qualifies under Assembly Bill 2097, therefore, no automobile parking will be provided. The total floor area of the proposed building is approximately 13,937 square feet, resulting in a FAR of 2.78:1. Currently, the project site contains a single-story residential structure measuring approximately 1,340 square feet, which will be demolished to accommodate the new development. No protected trees or significant shrubs are present on the site. Two non-protected trees will be removed from the site. To facilitate the proposed development, the project seeks approval of two off-menu incentives and nine waivers (reductions of development standards), essential to ensure the project's feasibility and compliance with applicable regulations.

3. DETAILED DESCRIPTION OF EXISTING SITE AND DEVELOPMENT

A single family house of three bedrooms and one bathroom and the total square footage of 1,420 sf.

³ Applicant should use official survey site area, if survey is provided.

⁴ To be eligible for Housing Element Streamlining pursuant to LAMC Ch.1 Section 16.70 F and Ch.1A Section 9.2.6, a project site must be listed as a Lower Income Rezoning Housing Element Site or Prior Housing Element Site. To verify if a site is on the Lower Income Rezoning Housing Element Site or Prior Housing Element Site list, an applicant may search their address on ZIMAS. These sites are identified in ZIMAS under ZI-2534 (Lower Income Rezoning Sites) and ZI-2535 (Prior Housing Element Sites).

Existing Uses Dwelling Unit (DU) Square Footage (SF)	Existing No. of DUs or Non-Residential SF	Existing No. of DUs or Non-Residential SF to be Demolished	Proposed⁵ No. of DUs, Shared Housing Units (SHU) or Non-Residential SF
Guest Rooms / SHUs			34
Studio			
One Bedroom			
Two Bedrooms			
Three Bedrooms	1	1	
_____ Bedrooms			
Non-Residential SF (Commercial)			
Other			

⁵ Per the Resident Protections Ordinance (LAMC 16.60 A.3(a)(2)), all replacement units must be Equivalent Size, and Development Projects shall contain at least the same total number of units and total aggregate number of bedrooms as the Protected Units being replaced. New units do not have to match bedroom configurations of demolished units, except when a tenant is exercising the right to return as defined in LAMC 16.60 A.3(b)(4).

4. APPLICATION TYPE

Indicate the percentage increase or decrease requested, total required per LAMC or overlay, and total proposed. Include LAMC or Overlay Section of requirement when applicable.

A one story height increase to allow for 4 stories in lieu of the 3 story maximum allowed per LAMC Section 12.21.1 A.1.

Density Bonus with **On-Menu Incentives** (specify):

- 1) _____
- 2) _____
- 3) _____
- 4) _____

Density Bonus with **Off-Menu Incentives** (specify):

- 1) ~~No CDO Design Guidelines and Standards~~_____
- 2) ~~No Landscaping~~_____
- 3) **Front yard setback zero ft**_____
- 4) _____

Density Bonus with **Waivers of Development Standards** (specify):

- 1) ~~Front yard setback zero ft~~_____
- 2) **Rear yard setback zero ft**_____
- 3) **North side yard setback 3'10"**_____
- 4) **South side yard setback 3'10"**_____
- 5) ~~Open space 0 sf, (6) No long-term bicycle parking, (7) No short-term bicycle parking, (8) No height transition, (9) No Tree Plantation~~_____

Greater Downtown Housing Incentive Area per LAMC Section 12.22 A.29 of Chapter 1

Affordable Housing per LAMC Section 11.5.11 (Measure JJJ) of Chapter 1
(properties subject to zoning established by Chapter 1 of the LAMC only)

Public Benefit Project per LAMC Section 14.00 A.2 of Chapter 1
(properties subject to zoning established by Chapter 1 of the LAMC only)

General Plan Amendment per LAMC Section 13B.1.1. of Chapter 1A

Request: _____

Zone/Height District Change per LAMC Section 12.32 of Chapter 1 or LAMC Section 13B.1.4. of Chapter 1A, as applicable

Request: _____

- Conditional Use per LAMC Section 12.24 U.26 of Chapter 1, LAMC Section 9.2.1.D.1.e of Chapter 1A, or LAMC Section 9.2.1.G. of Chapter 1A, as applicable
- Project Compliance per LAMC Sections 13B.4.2. and 13B.4.3. of Chapter 1A
- Community Design Overlay per LAMC Section 13.08 of Chapter 1 or LAMC Section 8.2.5.D.4. of Chapter 1A, as applicable
- Coastal Development Permit per LAMC Sections 13B.9.1. or 13B.9.2. of Chapter 1A
- Tract or Parcel Map per LAMC Section 13B.7.3. or 13B.7.5. of Chapter 1A
- Other (specify): Conditional Use Permit per LAMC 12.24 U.12 for sanitarium/congregate housing uses

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5. ENVIRONMENTAL REVIEW

- Project is Exempt⁶
- Not Yet Filed
- Filed (Case No.): ENV-2024-3382-EAF

6. HOUSING DEVELOPMENT PROJECT TYPE

CHECK ALL THAT APPLY:

- For Rent For Sale Mixed-Use Project Residential Hotel
- Extremely Low Income Very Low Income Low Income Moderate Income
- Market Rate Supportive Housing Senior
- Shared Housing Building per AB 682
- Special Needs (describe): _____
- Target Populations⁷ (describe): Senior Citizens
- Other Category (describe): _____

⁶ Project may be exempt from CEQA review if it qualifies for a CEQA Exemption or is a Ministerial Project (aka, "By Right").

⁷ Target Populations include Senior Citizens, Transitional Foster Youth, Disabled Veterans, Homeless Persons, and Lower Income Students. See Table 12.22 A.37(e)(1)(iii)a or the table in Section 9.2.1.C.1.c.

7. DENSITY CALCULATION

A. Base Density: Maximum allowable residential density⁸

Lot size (including any 1/2 of alleys) ⁹	<u>8,008</u> SF (a)	<i>8003.7 per PZA</i>	
Density allowed by Zone (includes Qs and Overlays)	<u>5000</u> SF of lot area per DU (b)	<i>8003.7</i>	<i>= 40.01</i>
Land Use: Density allowed by General Plan Land Use Corresponding Zone	<u>200</u> SF of lot area per DU (c)	<i>200</i>	
No. of DUs allowed by right (based on most permissive lot area per DU)	<u>40</u> DUs (d) [d=a/(b or c), round down to whole number]		<i>LF3</i>
No. of Shared Housing Units allowed per AB 682	<u>40</u>		<i>9/25/2025</i>
Base Density (per highest density allowed)	<u>41</u> DUs (e) [e = a/b, round up to whole number]		

B. Maximum Allowable Primary Density Bonus (DB)^{10, 11}

62 DUs (f) [f = ex1.5]

C. AB 1287¹² - Additional Density (LAMC Section 12.22 A.37(e)(1)(ii) of Chapter 1 or Section 9.2.1.C.2.a.iii. of Chapter 1A):

Check this box if utilizing AB 1287. If you are not utilizing AB 1287 pursuant to LAMC Section 12.22 A.37(e)(1)(ii) of Chapter 1 or Section 9.2.1.C.2.a.iii. of Chapter 1A, please skip to Section D.

AB 1287

Please indicate the number of additional DUs pursuant to AB 1287. In order to qualify for the additional AB 1287 Density Bonus, the project must meet the minimum set aside requirements as noted below. This set aside required shall be derived from the base (d). Note that a project seeking additional DUs pursuant to AB 1287 may not restrict more than 50% of its overall units (excluding bonus units) to restricted affordable housing.

⁸ As defined by Government Code Section 65915(o)(7), which states that "maximum allowable residential density" or "base density" means the maximum number of units allowed under the zoning ordinance, specific plan, or land use element of the general plan, or, if a range of density is permitted applicable to the project. If the density allowed under the zoning ordinance is inconsistent with the density allowed under the land use element of the general plan or specific plan, the greater shall prevail.

⁹ If there is a related subdivision case, the lot area shall be calculated based on the site area after a dedication of land has been provided.

¹⁰ Per AB 2345, 100% affordable housing developments may request an 80% density increase or unlimited density if the project site is within 0.5 miles of a Major Transit Stop or in a Very Low Vehicle Travel Area (see ZIMAS). In addition, a property located in the Hollywood Redevelopment Plan Area is eligible for a 50% density bonus pursuant to Government Code Section 65915(f), as described in the November 2, 2022 AB 2345 Memo.

¹¹ Per AB 2334, a Very Low Vehicle Travel Area are defined by Government Code Section 65915(o)(4), as an urbanized area "where the existing residential development generates vehicle miles traveled (VMT) per capita that is below 85 percent of either regional vehicle miles traveled per capita or city vehicle miles traveled per capita.

¹² Per AB 1287, Projects which meet or exceed the set-aside requirements to receive the initial 50% Density Bonus may request an additional Density Bonus of up to 50%.

Step 1 Initial Affordability set aside needed for base 50% increase (select one)	Step 2 <u>Additional % of Affordability set aside</u> needed for stackable density ¹³ (VLI = 5-10%, or MI = 5-15%) [fill in one]	Step 3 <u>Stackable Density Bonus % Increase allowed¹¹ per set aside</u> (in Step 2) (VLI = 20-38.75%, or MI = 20-50%)	Step 4 Total Density Bonus % Increase Allowed
<input type="checkbox"/> 15% Very Low Income	_____ % Very Low Income	_____ %	50% + _____ % (in Step 3) = _____ %
<input type="checkbox"/> 24% Low Income			
<input type="checkbox"/> 44% Moderate Income (for sale only)	_____ % Moderate Income		

TOTAL No. of Affordable Housing
DUs needed to be set aside for
initial density _____ VLI LI MI
(h) [h = e x (Step 1), round up to whole number]

TOTAL No. of Affordable Housing
DUs needed to be set aside for
additional density _____ VLI MI
(i) [i = e x (Step 2), round up to whole number]

TOTAL No. of Additional DUs
allowed per additional set aside _____ (j) [j = e x (Step 3), round up to whole number]

TOTAL No. of DUs allowed per
Stackable Density _____ (k) [k = f + j]

D. Proposed Project: Please indicate total number of DUs requested and break down by levels of affordability set by each category (California Department of Housing and Community Development [HCD] or United States Department of Housing and Urban Development [HUD]). For information on HCD and HUD levels of affordability please contact LAHD at <https://housing.lacity.org/partners/land-use-rent-income-schedules>.

Note: Rent schedules will be determined by LAHD.

¹³ Refer to IMPLEMENTATION OF 2023 STATE DENSITY BONUS LAW-AB 1287 Memo, page 3, dated May 16, 2024, and Gov. Code Section 65915(v)(2).

	Total	HCD (State)	HUD (TCAC)
Market Rate	30	N/A	N/A
Managers Unit(s) — Market Rate ¹⁴		N/A	N/A
Extremely Low Income (ELI)			
Very Low Income (VLI)	4	4	
Low Income (LI)			
Moderate Income			
Permanent Supportive Housing — ELI			
Permanent Supportive Housing — VLI			
Permanent Supportive Housing — LI			
Seniors — Market Rate	30	N/A	N/A
No. of SHUs allowed per AB 682	34		
Target Populations ¹⁵			
Other _____			
TOTAL No. of DUs Proposed	34	(l)	
TOTAL No. of Affordable Housing DUs	4	(m)	
No. of Density Bonus DUs	0	(n) If l>d, then n=l-d; if l<d, then n= 0]	
Percent of Density Bonus Requested	0	(o) o = 100 x [(l/e) – 1] (round down) ¹⁶	
Percent of Affordable Set Aside ¹⁷	9	(p) [m/e, round down to a whole number]	
Percent for <input type="checkbox"/> PHP qualification ¹⁸		(q) [m/l, round down to a whole number]	
Percent for <input type="checkbox"/> Housing Element Streamlining ¹⁹		[m/l, round down to a whole number]	

¹⁴ Properties proposing 16 units or more need to provide a manager's unit per 25 CCR § 42.

¹⁵ Target Populations include Senior Citizens, Transitional Foster Youth, Disabled Veterans, Homeless Persons, and Lower Income Students. See Table 12.22 A.37(e)(1)(iii)a or the table in Section 9.2.1.C.1.c.

¹⁶ Formulas provided for guidance, do not account for previous rounding of decimals.

¹⁷ All units including proposed or future proposed ADUs shall be subject to affordability requirements as determined by LAHD.

¹⁸ Per ED 7, the housing development project must propose five or more units that contain at least 20% of all units at lower income restricted affordable housing units (Extremely Low Income, Very Low Income, or Low Income) or 40% of all units at Moderate Income restricted affordable housing units.

¹⁹ A project must reserve 20% of overall proposed units for Lower Income Households to be eligible for streamlining. This requirement can be satisfied by reserving the requisite number of units for Low, Very Low, Extremely Low, or Acutely Low Income Households, or a combination thereof.

8. PROJECT REVIEW CALCULATION

An application for Project Review may be required for projects that meet any of the Project Review thresholds as outlined in LAMC Section 16.05 C of Chapter 1 or LAMC Section 4C.14.1.C. of Chapter 1A, as applicable, unless otherwise exempted per LAMC Section 16.05 D of Chapter 1 or LAMC Section 4C.14.1.E. of Chapter 1A, as applicable. For Density Bonus projects involving bonus units, please use the formula provided below to determine if the project meets the Project Review threshold for unit count. If the project meets the threshold(s) but qualifies under the exemption criteria, please confirm the exemption with City Planning's DSC AHSS.

40 units allowed by right (permitted by Maximum Allowable Residential Density (d)) – 1
(existing units + affordable units)²⁰ = 39 units

YES, Project Review is required.

Proposed by-right (c) units minus existing units is equal to or greater than 50²¹ for projects with zoning established by Chapter 1 or with zoning established by Chapter 1A and Development Review Threshold Package 1; or, greater than 500 for projects with zoning established by Chapter 1A and Development Review Threshold Package 2

NO, Project Review is not required.

By-right (c) Density units minus existing units is less than 50 for projects with zoning established by Chapter 1 or with zoning established by Chapter 1A and Development Review Threshold Package 1; or, greater than 500 for projects with zoning established by Chapter 1A and Development Review Threshold Package 2

Exempt.

Specify reason: _____

²⁰ For projects zoned with districts pursuant to Chapter 1 of the LAMC, per 16.05 D.8, no restricted affordable unit shall be counted towards the dwelling unit or guest room thresholds described in Section 16.05 C.1(b). Any affordable units can be deducted from the number of units allowed by right.

²¹ Project Review may also be required if other characteristics of the project exceeds the thresholds listed in the relevant section of the LAMC.

II. DENSITY BONUS (LAMC SECTION 12.22 A.37 OF CHAPTER 1, ORDINANCE NO. 179,681; OR, LAMC SECTION 9.2.1. OF CHAPTER 1A, ORDINANCE NO. 188,418)

9. PARKING OPTIONS

CHECK ALL THAT APPLY:

- Automobile Parking Reductions via Bicycle Parking for Residential Uses. Choose only one of the options, if applicable:**
 - 10%
 - 15% (Only for residential projects or buildings located within 1,500 feet of a Major Transit Stop)
 - 30% (If selecting the 30% parking reduction, the project will be ineligible for any of the Parking Options listed below)

If selecting the 30% parking reduction, provide the following information:

Required Parking per LAMC: _____

Required Parking after the 30% reduction: _____

- Automobile Parking for Residential Uses (choose only one of the following options):**

Note: Any fractional numbers are rounded up.

- AB 2097 (2022).** No minimum automobile parking requirement on any residential, commercial, or other development project that is within one-half mile of a Major Transit Stop.²²
- Parking Pursuant to LAMC Section 12.22 A.37(e)(2)(ii)a of Chapter 1 or Section 9.2.1.C.2.b. of Chapter 1A.** Based on # of bedrooms, inclusive of Handicapped and Guest parking.

	# of DUs	Spaces/DU	Parking Required	Parking Provided
0-1 Bedroom		1		
2-3 Bedrooms		1.5		
4 or more Bedrooms		2.5		
Stalls Reduced via Bike Parking				Subtract:
TOTALS				

- Special Needs Housing Development**, as defined in Section 51312 of the Health and Safety Code (H&SC), with either paratransit service or unobstructed access, within 0.5 miles to a fixed bus route that operates at least eight times per day.
- Supportive Housing Development**

²² Parking reductions do not apply to a hotel, motel, bed and breakfast inn or other transient lodging except where a portion of a housing development project is designated for use as a residential hotel, as defined in Section 50519 of the H&SC. Moreover, reductions do not apply to an event center or commercial parking in a contractual agreement executed before January 1, 2023.

Mixed-Income Developments consisting of 11% VLI or 20% LI units.

	Spaces/Unit	Parking Required	Parking Provided
Located within 0.5 miles of Major Transit Stop with unobstructed access to project	0.5		

Major Transit Stop is defined as a site containing an existing rail or bus rapid transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 20 minutes or less during the morning and afternoon peak commute periods. It also includes major transit stops that are included in the applicable regional transportation plan.

Bus Rapid Transit is defined as public mass transit service provided by a public agency or by a public-private partnership that includes all of the following features:

- 1) Full-time dedicated bus lanes or operation in a separate right-of-way dedicated for public transportation with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods
- 2) Transit signal priority
- 3) All-door boarding
- 4) Fare collection system that promotes efficiency
- 5) Defined stations

10. INCENTIVES

A. Qualification for Incentives

Below is the minimum Required Restricted Affordable Housing Units, calculated as a percentage of the base density allowed on the date of the application.

Incentives	% Very Low Income	% Low Income	% Moderate Income	Lower Income Student Housing
One	<input checked="" type="checkbox"/> 5% to <10%	<input type="checkbox"/> 10% to <20%	<input type="checkbox"/> 10% to <20%	<input type="checkbox"/> 20%
Two	<input checked="" type="checkbox"/> 10% to <15%	<input type="checkbox"/> 20% to <30%	<input type="checkbox"/> 20% to <30%	<input type="checkbox"/> 23%
Three	<input type="checkbox"/> 15% to <16%	<input type="checkbox"/> 30% or greater	<input type="checkbox"/> 30% to <45%	<input type="checkbox"/> N/A
Four	<input type="checkbox"/> 16% or greater	<input type="checkbox"/> N/A	<input type="checkbox"/> 45%	<input type="checkbox"/> N/A

Note: To utilize AB 682, at least 10% Low or 5% Very Low Income of the base units shall be provided.

$$\underline{41} \text{ Base Density} \times \frac{\underline{9.7}}{\underline{5\%}} \% \text{ required for No. of incentives requested} = \frac{\underline{4}}{\underline{3}} \text{ Affordable DUs.}$$

B. Project Zoning Compliance & Incentives (Only for projects requesting a Density Bonus with Incentives/Waivers)

	Permitted w/o Incentives	Proposed per Incentives	On-Menu	Off-Menu	Waivers
<input checked="" type="checkbox"/> Yard/Setback					
<input checked="" type="checkbox"/> R Zones (All yard reductions in R zones count as one incentive)			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Front (1)	20	0	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Front (2)			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Side (1)	6	3'10"	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> Side (2)	6	3'10"	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> Rear	5	0	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/> C Zones (C zone reductions count as one incentive)			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Lot Coverage ²³			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Lot Width ²³			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Floor Area Ratio ^{24, 25}			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Overall Height/Stories ²⁶			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Transitional Height(s) ²³	Required	No	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> Open Space or Lot/ Residential Amenity Space ²³	3400 sf	0 sf	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/> Density Calculation ²³			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Space Between Buildings and Passageways ²³			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Supplementary Parking Reductions			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> P Zone ²³			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Relief from a Dev Standard			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

²³ Incentive not available for projects requesting density bonus per LAMC Section 9.2.1 of Chapter 1A.

²⁴ Lots with a Designated Historic Resource or Non-Contributor are not eligible for an on-menu FAR incentive pursuant to LAMC Section 12.22 A.37(f)(2)(ii)a of Chapter 1 and Section 9.2.1.C.3.c.ii.c. of Chapter 1A.

²⁵ See LAMC Section 12.22 A.37(f)(2)(ii) of Chapter 1 and 9.2.1.C.3.c.i of Chapter 1A, as applicable, for additional requirements.

²⁶ See LAMC Section 12.22 A.37(f)(2)(iii) of Chapter 1 and 9.2.1.C.3.c.ii of Chapter 1A, as applicable, for additional requirements.

- Senior Independent Housing²³ _____
- Averaging (all count as one incentive — check all that are needed)
 - FAR Density Parking Open Space Vehicular Access

Other Off-Menu Incentives (specify): ~~(1) No CDO Design Guidelines and Standards~~
~~(2) No Landscaping~~

Waiver of Development Standards (specify): (7) No long-term bicycle parking spaces
 (8) No short-term bicycle parking spaces, ~~(9) No Tree Planting (On-site & Street Trees)~~

TOTAL No. of Incentives Requested: On-Menu 0 Off-Menu ~~2~~ 1

TOTAL No. of Waivers Requested: ~~9~~ 6

11. PUBLIC BENEFIT OPTIONS

	Permitted w/o Incentives	Proposed per Base, On-Menu, or Off-Menu Incentives	Request w/ Public Benefit	Public Benefit Option (Check box if using)
Child Care Facility	_____	_____	_____	<input type="checkbox"/>
Multi-Bedroom Units	_____	_____	_____	<input type="checkbox"/>
Surveyed Historic Resource Facade Rehabilitation	_____	_____	_____	<input type="checkbox"/>

TOTAL No. of Public Benefits Requested: _____

12. COVENANT

All Density Bonus projects are required to prepare and record an Affordability Covenant to the satisfaction of the LAHD's Occupancy Monitoring Unit **before** a building permit can be issued. For more information, please contact the LAHD at lahd-landuse@lacity.org.

III. GREATER DOWNTOWN HOUSING INCENTIVE AREA (LAMC SECTION 12.22 A.29 OF CHAPTER 1, ORDINANCE NO. 179,076)

13. GREATER DOWNTOWN HOUSING INCENTIVE AREA (GDHIA)

A. Eligibility for Floor Area Bonus

NOTE: The affordability levels required are set by the HUD/TCAC. For information on HCD and HUD levels of affordability please contact the LAHD at lahd-landuse@lacity.org.

- 5% of the total number of DUs provided for VLI households; and
- One of the following shall be provided:
 - 10% of the total number of DUs for LI households; or
 - 15% of the total number of DUs for Moderate Income households; or
 - 20% of the total number of DUs for Workforce Income households, and
- Any DU or Guest Room occupied by a household earning less than 50% of the Area Median Income (AMI) that is demolished or otherwise eliminated shall be replaced on a one-for-one basis within the Community Plan area in which it is located

B. INCENTIVES

NOTE: Must meet all three eligibility requirements from 12.A above and provide a Covenant & Agreement (See #11 above).

CHECK ALL THAT APPLY:

- A 35% increase in total floor area
- Open Space requirement pursuant to LAMC Section 12.21 G of Chapter 1 reduced by one-half, provided that a fee equivalent to amount of the relevant Park Fee, pursuant to LAMC Section 19.17 of Chapter 1, shall be paid for all dwelling units. See LAMC Section 12.29 A.29(c) of Chapter 1 for exceptions
- No parking required for units for households earning less than 50% AMI
- No more than one parking space required for each dwelling unit

C. Additional Incentives to Produce Housing in the GDHIA

- No yard requirements except as required by the Urban Design Standards and Guidelines
- Buildable area shall be the same as the lot area (for the purpose of calculating buildable area for residential and mixed-use)
- Maximum number of dwelling units or guest rooms permitted shall not be limited by the lot area provisions, as long as the total floor area utilized by guest rooms does not exceed the total floor area utilized by dwelling units
- No prescribed percentage of the required open space that must be provided as either common open space or private open space

IV. MEASURE JJJ^{27, 28} (LAMC Section 11.5.11 of Chapter 1, Ordinance No. 184, 745)

14. AFFORDABLE REQUIREMENTS

A certain percentage of affordable units is required based on the total number of units in the project. Fill out either A or B below:

A. Rental Projects

- No less than the affordability percentage corresponding to the level of density increase requested or allowed:
 - _____ % VLI (where residential is allowed) **OR** _____ % LI
- For projects (where residential is allowed) requesting a General Plan Amendment, Zone Change, and/or Height District Change that results in an increased allowable density greater than 35%:
 - 5% ELI **AND** 6% VLI **OR** 15% LI
- For projects (where residential is not allowed) requesting a General Plan Amendment, Zone Change, and/or Height District Change that results in an increased allowable density greater than 35%:
 - 5% ELI **AND** 11% VLI **OR** 20% LI

Required Number of Affordable Units

ELI _____ VLI _____ LI _____

²⁷ All fractional amounts in Sections 13 and 14 shall be rounded up to the next whole number.

²⁸ Applies only to properties zoned with districts established in Chapter 1 of the LAMC.

B. For Sale Projects

- No less than the affordability percentage corresponding to the level of density increase requested or allowed:
 - ____% VLI **OR** ____% LI **OR** ____% Moderate Income
- For projects requesting a General Plan Amendment, Zone Change, and/or Height District Change that results in an increased allowable density greater than 35% or allows a residential use where not previously allowed:
 - 11% VLI **OR** 20% LI **OR** 40% Moderate Income

Required Number of Affordable Units

VLI _____ LI _____ Moderate Income _____

15. ALTERNATIVE COMPLIANCE OPTIONS

In lieu of providing the affordable units onsite, there are three other options available to comply with Measure JJJ Affordable Requirements. Select one, if applicable; otherwise leave this section blank.

A. Off-Site Construction – Construction of affordable units at the following rate:

- Within 0.5 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.0
- Within 2 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.25
- Within 3 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.5

Updated Required Number of Affordable Units

ELI _____ VLI _____ LI _____ Moderate Income _____

B. Off-Site Acquisition – Acquisition of property that will provide affordable units at the following rate:

- Within 0.5 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.0
- Within 1 mile of the outer edge of the Project, Affordable Units in Section 13 x 1.25
- Within 2 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.5

Updated Required Number of Affordable Units

ELI _____ VLI _____ LI _____ Moderate Income _____

C. In-Lieu Fee – From the Affordability Gaps Study published by the Los Angeles City Planning

Total In-Lieu Fee _____ (Note: Final fee TBD if/when the project is approved)

16. DEVELOPER INCENTIVES

Please describe up to a maximum of three incentives:

- 1) _____

- 2) _____

- 3) _____

Disclaimer: This review is based on the information and plans provided by the applicant at the time of submittal of this form. Applicants are advised to verify any zoning issues such as height, parking, setback, and any other applicable zoning requirements with LADBS.

REFERRAL FORM



HOUSING CRISIS ACT Vesting Preliminary Application

This form serves as the optional Housing Crisis Act Vesting Preliminary Application for projects creating one or more units seeking vesting rights pursuant to the Housing Crisis Act of 2019 (HCA). This form also serves as a referral to the Los Angeles City Planning (City Planning) Development Services Center (DSC) and to the Los Angeles Department of Building and Safety (LADBS) Plan Check for HCA vesting purposes. The HCA Vesting Preliminary Application (Preliminary Application) allows the applicant to vest to City ordinances, policies, and standards adopted and in effect on the day that a complete Preliminary Application is submitted. Please be advised that these vesting rights do not apply to changes in State law or to changes in building code.

The following project types are eligible to submit a Preliminary Application:

- Housing Development Projects requiring an application to City Planning; or
- Housing Development Projects not requiring a City Planning application and submitting for building permit Plan Check to LADBS on or after January 1, 2022.

For Submittal Instructions, refer to Section E of this form. Section G ("Retention of Vesting Rights") of this form may be referenced for additional guidance on HCA vesting rights. The "[Housing Development Project Applicability Matrix](#)" may also be used to identify whether the HCA applies to specified development types, and when a Preliminary Application applies.

THIS SECTION TO BE COMPLETED BY PLANNING STAFF ONLY

Case Number PAR- 2024-3058-VHCA

Proposed No. of Dwelling Units¹: 30

Proposed Building Area^{1,2}: 19,137 sq. ft.

Submittal Completion Date³: 5/16/2024

Last Day to file City Planning Application/Submit to LADBS Plan Check¹: 11/12/2024

Invoice No.: 95629 Payment Date: 5/16/2024

City Planning Staff Name and Title: Matthew Campaña, Planning Assistant

City Planning Staff Signature: Matthew Campaña Digitally signed by Matthew Campaña
Date: 2024.05.17 13:43:52 -07'00'

¹ For information on retention of vesting rights, refer to Section F of this form.

² Building Area, as defined by the California Building Standards Code (Title 24 of the California Code of Regulations) – California Government Code Section 65941.1(c). Refer to Appendix 2 for Building Area calculation instructions.

³ As part of the process to deem complete the submittal of this optional Preliminary Application, City Planning staff have affirmed neither the feasibility nor the entitlement review path of the proposed project.

This form shall be completed by the applicant and reviewed and signed by City Planning staff prior to filing the City Planning application, or the LADBS Plan Check application for projects that do not require a City Planning application. The signed Preliminary Application shall be submitted during the City Planning application filing, or the submission of an application for building permit and Plan Check. Any modifications to the content(s) of this form after its authorization by City Planning staff is prohibited. Further, any change to the proposed number of dwelling units or the proposed building area must be verified by City staff.

THIS SECTION TO BE COMPLETED BY THE APPLICANT

A. SITE INFORMATION

PROJECT LOCATION

Street Address⁴: 7354 Baird Ave, Reseda, CA 91335

Legal Description⁵ (Lot, Block, Tract): 14, None, TR 7632

Assessor Parcel Number(s): 2118015013 Site Area (sf): 7,503.70

EXISTING USE(S)

Describe in detail the existing uses on the project site, including any major physical alterations or soil disturbance that may have previously occurred.

A single family house of three bedrooms and one bathroom and the total square footage of 1,420 sf.

B. PROPOSED PROJECT

ED 1 Eligible⁶

PROPOSED USE(S)

Describe in detail the characteristics, scope and/or operation of the proposed project.

The project is to construct, use, and maintain a 3-story, 45-foot-tall residential building comprised of 30 residential dwelling units of which four units are restricted to Very Low Income disabled-veteran households. These units will be offered for rent. The project qualifies for AB 2097. Accordingly, no automobile parking will be provided. The project also provides three short-term and 29 long-term bicycle parking spaces. The project will have 17,366 square feet in floor area with a Floor Area Ratio ("FAR") of 2.32:1. The site is currently developed with one-story residential structure of 1,420 sf, which will be demolished as part of the project. There are no protected trees or shrubs on the subject site and there are no trees on the public right-of-way. The project seeks two off-menu incentives and seven waivers (or Reduction of Development Standards) in order to make this project feasible.

⁴ Street Address must include all addresses on the subject/application site (as identified in ZIMAS <http://zimas.lacity.org>).

⁵ Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site).

⁶ Refer to [Executive Directive 1 Implementation Guidelines](#) for qualifying criteria. If the project is determined to be ineligible for ED 1, a new Referral Form will need to be obtained.

AFFORDABLE HOUSING INCENTIVES, WAIVERS, CONCESSIONS, AND PARKING REDUCTIONS

Will the project proponent seek incentives, waivers, concessions, or parking reductions pursuant to California Government Code Section 65915 (i.e., Density Bonus), the Transit-Oriented Communities (TOC) program, or any other affordable housing incentive program?⁷ YES NO

If “YES”, describe:

List of Off-Menu Incentives
1 FAR of 2.32
2 No Low-Impact Development

List of Waivers
1 Front Setback 0 ft
2 Side Setback 0 ft
3 Rear Setback 0 ft
4 Open Space reduction of 75%
5 Lot Coverage 100%
6 Height Transition 0 ft
7 No Landscaping and On-site Tree Plantation

RESIDENTIAL DWELLING UNIT COUNT

Indicate the total number of dwelling units proposed as well as a breakdown by levels of affordability.

Affordability Levels	Total
Market Rate	26
No. of Affordable Units Proposed	4
Extremely Low Income	
Very Low Income	4
Low Income	
Moderate Income	
TOTAL No. of Units Proposed	30

Total Units	Total
No. of Units Allowed by Right (per LAMC)	20
No. of Bonus Units Proposed	10
TOTAL No. of Units Proposed	30

Other Notes on Units:

⁷ Projects proposing Density Bonus “On-Menu” incentives through a ministerial process or “Off-Menu” incentives, waivers, concessions and parking reductions through a discretionary process must be reviewed by the Los Angeles City Planning Affordable Housing Services Section and obtain a signed Affordable Housing Referral Form ([CP13-4043](#)) prior to filing a City Planning application.

FLOOR AREA

Provide the proposed floor area and square footage of residential and non-residential development:

Floor Area⁸ 17,366 sf

Building Area⁹ 19,137 sf

PARKING

Provide the proposed number of automobile and bicycle parking spaces:

Automobile Parking	Total
Residential	0
Non-Residential	0

Bicycle Parking	Total
Residential Long Term	29
Residential Short Term	3
Non-Residential Long Term	0
Non-Residential Short Term	0

SUBDIVISION

Will the proposed project include a request for an approval pursuant to the Subdivision Map Act, including a Vesting or Tentative Tract Map, Preliminary Parcel Map, Condominium Map, Lot Line Adjustment, or Certificate of Compliance?

YES NO

ADDITIONAL INFORMATION

Does the project propose any point sources of air or water pollutants¹⁰?

YES NO

If "YES", please describe:

⁸ As defined by the LAMC.

⁹ As defined by the California Building Standards Code (Title 24 of the California Code of Regulations) – California Government Code Section 65941.1(c). Refer to Appendix 1 for Building Area calculation instructions.

¹⁰ A project that proposes point sources of air or water pollutants may trigger review and permitting by, but not limited to, the South Coast Air Quality Management District, the Los Angeles Regional Water Quality Control Board, or the Los Angeles Bureau of Sanitation.

C. EXISTING SITE CONDITIONS

HOUSING¹¹

Provide the number of existing residential units on the project site that will be demolished and whether each existing unit is occupied or unoccupied:

	Existing Residential Units	Demolished or To Be Demolished
Occupied Units	1	1
Unoccupied Units	0	0
TOTAL Units	1	1

ADDITIONAL SITE CONDITIONS

1. Is the project site located wholly or partially within:

- a. A Very High Fire Hazard Severity Zone (VHFHSZ)¹²? YES NO
- b. Wetlands, as defined in United States Fish and Wildlife (USFW) Service Manual, Part 660 FW 2 (June 21, 1993)? YES NO
- c. A special flood hazard area subject to inundation by the one percent annual chance flood (100-year flood) as determined by the Federal Emergency Management Agency (FEMA) in any official maps published by FEMA? YES NO
- d. Delineated earthquake fault zone as determined by the State Geologist in any official maps published by the State Geologist? YES NO
- e. Hazardous waste site that is listed pursuant to Section 65962.5 or a hazardous waste site designated by the Department of Toxic Substances Control (DTSC) pursuant to Section 25356 of the Health and Safety Code¹³? YES NO

¹¹ A Housing Development Project, as defined in California Government Code Section 65905.5(b)(3), is subject to the provisions of Government Code Section 66300, as amended by SB 8, and will require an SB 8 Replacement Unit Determination letter from the Los Angeles Housing Department or a No-Net-Loss Property Owner Declaration.

¹² Housing Development Projects located in a VHFHSZ are eligible to seek vesting rights pursuant to the HCA.

¹³ The development shall not be located on a legal parcel that is a hazardous waste site except for sites the DTSC has cleared for residential use or residential mixed use.

2. Does the project site contain a designated or potentially historic and/or cultural resource¹⁴? YES NO

If "YES", please describe:

a. Does the project site contain any species of special concern such as special status flora or fauna, protected trees, or wildlife¹⁵? YES NO

If "YES", please describe and/or depict on the site plan:

b. Does the project site contain any recorded easement, such as easements for conservation, storm drains, water lines, and other public rights of way? YES NO

If "YES", please describe and/or depict on the site plan:

c. Does the project site contain a stream or other resource that may be subject to a streambed alteration agreement pursuant to Chapter 6 (commencing with Section 1600) of Division 2 of the California Fish and Wildlife Code, including creeks and wetlands? YES NO

If "YES", please describe and/or depict on the site plan:

¹⁴ Information regarding historic resources that have been identified by the City or another public agency can be found in SurveyLA, HistoricPlacesLA, or ZIMAS.

¹⁵ An Arborist Report or a Biological Survey and Impact Assessment may be required following the filing of an application requesting approval of a discretionary action if the project site is on or adjacent to open space or previously undisturbed land in order to demonstrate whether the site provides habitat for any special status flora or fauna, including those identified in a Specific Plan or Zoning Overlay.

D. COASTAL

1. Is the project site located wholly or partially within the Coastal Zone, as defined in Division 20 (commencing with Section 3000) of the Public Resources Code (PRC). If marked "NO", skip to section E. YES NO
2. Does the project site contain a/an:
- a. Wetlands, as defined in subdivision (b) of Section 13577 of Title 14 of the California Code of Regulations¹⁶? YES NO
 - b. Environmentally Sensitive Habitat Area (ESHAs), as defined in Section 30240 or the California PRC¹⁷? YES NO
 - c. Tsunami run-up zone? YES NO
 - d. Area used for public access to or along the coast? YES NO

E. ADDITIONAL REQUIRED MATERIALS

In order to initiate a request for HCA vesting rights, an applicant must submit a Preliminary Application and the following materials and information through [City Planning's Online Application Portal](#). An appointment is not required.

1. HCA Vesting Preliminary Application (CP13-4062)

2. **Plot/Site Plan.** A legible plot plan drawn to scale is required. The plot plan must include all contiguous parcels under the applicants' ownership and any contiguous parcels proposed to be part of the project site. The plot plan should identify which parcels are/are not a part of the proposed project. The plot plan should include a summary of information table indicating the following:
- Building area of each building that is to be occupied
 - Proposed land uses
 - Proposed number of dwelling units
 - Height of buildings
 - All measurements that establish the proposed location of the proposed buildings and structures, including property lines, yards, setbacks, space between buildings and structures, and building footprint dimensions.
 - Trees and Shrubs. Plans must clearly show all existing trees and shrubs on the project site and within the right-of-way adjacent to the property. Identify and label (by name and trunk diameter) the following protected trees and shrubs as identified on the Plot Plan Instructions ([CP-7752](#)).

¹⁶ Wetlands may include a watercourse or a storm drain. A Wetlands Delineation Report may be required following the filing of an application requesting approval of a discretionary action in the Coastal Zone if the site contains a watercourse or a storm drain.

¹⁷ ESHAs are mapped areas in the certified Venice Land Use Plan and the San Pedro Coastal Land Use Plan.

- Watercourses, storm drains, creeks streams, wetlands (as defined in the USFW Service Manual, Part 660 FW 2 (June 21, 1993) or as defined in subdivision (b) of Section 13577 of Title 14 of the California Code of Regulations), or other resources that may be subject to a streambed alteration agreement pursuant to Chapter 6 (commencing with Section 1600) of Division 2 of the Fish and Wildlife Code.
- Aerial Site Photograph showing existing site conditions of environmental site features that would be subject to regulations by a public agency, including creeks and wetlands. It may be provided on any relevant plan sheet, including a project information sheet.

Refer to the Plot Plan Instructions ([CP-7752](#)) for additional guidance.

3. **Elevation Plans.** Elevations must show the design, materials, color, textures, patterns, massing and height of each building under the project scope. Refer to the Housing Crisis Act Vesting Preliminary Application Elevations Instructions (Appendix 1 of this form, page 15) for additional guidance. The elevations plans shall be included as part of the set of plans.
4. **Building Area Analysis.** Refer to the Housing Crisis Act Vesting Preliminary Application Building Area Analysis Instructions (Appendix 2 of this form, page 16) for additional guidance. The building area plans shall be included as part of the set of plans.
5. **Sections** for projects located on multiple levels or subterranean floors (e.g., basements, subterranean parking, etc.) showing depth (linear feet) and amount (cubic yards) of proposed cut, fill, import, and export related to grading, excavation of earthwork. The sections shall be included in the set of plans.
6. **Filing Fee.** Fees must be paid online after the electronic invoice is received.

F. ADDITIONAL RESOURCES

1. **Appendix 1:** Elevations Instructions for Vesting Pursuant to the Housing Crisis Act (page 15).
2. **Appendix 2:** Building Area Analysis for Vesting Pursuant to the Housing Crisis Act (page 16).

G. RETENTION OF VESTING RIGHTS

A Preliminary Application must be deemed complete by City Planning in order to obtain vesting rights. A Preliminary Application is deemed complete at the time that all required forms, documents, and materials are submitted, and the final invoice has been issued and proof of payment is presented to City Planning. A Preliminary Application completed before January 1, 2030 is valid until January 1, 2034, provided that HCA vesting rights are maintained and have not otherwise lapsed or terminated.

To retain HCA vesting rights, the applicant must adhere to certain time limits and limitations on project scope changes. **If the time limits are not met or if the changes in the project scope exceed specified thresholds, the Preliminary Application shall expire and have no further force or effect.** During City Planning application filing or the submission of an application for building permit and Plan Check, as well as through the development process, City staff will verify whether a project has been able to maintain vesting rights. Refer to the "Housing Crisis Act Vesting Log" on page 11 for additional instructions.

TIME LIMITS TO RETAIN VESTING RIGHTS

Once the Preliminary Application is complete, the City Planning application or the application for building permits and Plan Check must be submitted within 180 days of the date on which the Preliminary Application is deemed complete, in order to retain vesting rights.

If a City Planning application is required, the applicant must submit all outstanding information needed in order to deem the City Planning application complete within 90 days of receiving a hold or “deemed incomplete” letter from City Planning staff. The 90-day period does not apply to projects eligible to submit a building permit Plan Check application to LADBS without a City Planning application on or after January 1, 2022.

For all vested projects (ministerial or discretionary), construction of the Housing Development Project must commence within 2.5 years. For vested projects that are 100 percent affordable, the Housing Development Project must commence within 3.5 years.

If the project is discovered to require a City Planning application during the permitting process, the project may still use the Preliminary Application issued as long as the City Planning application is submitted within 180 days of the date a complete Vesting Preliminary Application was submitted. The submittal of the building permit application to LADBS would not be held against the project.

PROJECT SCOPE THRESHOLDS TO RETAIN VESTING RIGHTS

In order to maintain vesting rights, any change in the residential unit count or in the Building Area is limited to *less than* 20 percent of the total proposed on the completed Preliminary Application, exclusive of any increase resulting from the receipt of a density bonus, concession, waiver, or similar provision.

H. PROJECT TEAM INFORMATION (Complete all applicable fields)

Applicant¹⁸ Name: Rajesh Kumar

Company/Firm: _____

Address: 7354 Baird Ave Unit/Space Number: _____

City: Reseda State: CA Zip Code: 91335

Telephone: 510-449-1802 E-mail: rajesh.jha@gmail.com

Are you in escrow to purchase the subject property? YES NO

(Optional) Agent/Representative Name: Akhilesh Jha

Company/Firm: _____

Address: 13123 Hoyt St Unit/Space Number: _____

City: Pacoima State: CA Zip Code: 91331

Telephone: 310-995-4859 E-mail: contact.aj.jha@gmail.com

Primary Contact for Project Information¹⁹ Agent/Representative Applicant
(select only one)

¹⁸ An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing the case on behalf of a client (i.e., usually not the agent/representative).

¹⁹ As of June 8, 2022, the Primary Contact for Project is required to have an [Angeleno Account](#) and register with the Ethics Commission for Significant Project Entitlements, as defined in LAMC Section [49.7.37\(A\)\(6\)](#). An email address and phone number shall be required on the City Planning Application Form, and the email address provided shall match the email address used to create the Angeleno Account.

**THIS SECTION SHALL BE ADDED ONTO THE FINAL PLAN SET
PERMITTED BY LADBS**

HOUSING CRISIS ACT VESTING LOG

This log is intended to be used by City staff to track compliance with the time limits and project scope changes (unit count), in order to retain vesting rights through the development process. If a vested Housing Development Project is associated with a City Planning application for its development, this page and the log shall be completed by the City Planning Case Processing Unit. Any modifications to the content(s) of this log by anyone other than City staff is prohibited. A copy of this page and the completed log must be included on the final set of plans for construction.

CITY STAFF USE ONLY

Case Number PAR- _____

Date Vested (Date Preliminary Application Submittal Complete): _____

Proposed No. of Dwelling Units²⁰: _____

City Planning Staff Name and Title: _____

²⁰ The proposed number of dwelling units should match the number of proposed dwelling units identified on page 1.

TABLE A - HOUSING CRISIS ACT VESTING LOG
THIS SECTION TO BE COMPLETED BY CITY PLANNING CASE PROCESSING UNIT ONLY

Milestone	Date Due	Date Complete	Dwelling Units ²¹	Determination ²²	Staff Name
<p>City Planning Application Filing</p> <p>Project submitted within 180 days of the HCA Vesting Preliminary Application being deemed complete.²³</p> <p>Project meets the time limits: <input type="checkbox"/> YES <input type="checkbox"/> NO</p>			<input type="checkbox"/> Project meets 20% threshold <input type="checkbox"/> Project exceeds 20% threshold Proposed Units: _____ Plan Sheet No.: _____	<input type="checkbox"/> The project meets the time limits (180 days) and limitations on project scope (unit count). <input type="checkbox"/> The HCA Vesting Preliminary Application is expired and has no further force or effect.	
<p>Applicant Response to Deemed Incomplete Letter</p> <p>If a City Planning Application is Deemed Incomplete, the applicant must submit all information needed within 90 days of receiving the Deemed Incomplete Letter (applies ONLY to projects that are required to file a City Planning application)</p> <p>Project meets the time limits: <input type="checkbox"/> YES <input type="checkbox"/> NO</p>			<input type="checkbox"/> Project meets 20% threshold <input type="checkbox"/> Project exceeds 20% threshold Proposed Units: _____ Plan Sheet No.: _____	<input type="checkbox"/> The project meets the time limits (90 days) and limitations on project scope (unit count). <input type="checkbox"/> The HCA Vesting Preliminary Application is expired and has no further force or effect.	

²¹ Any change in the residential unit count is limited to less than 20 percent of what is indicated on the completed Preliminary Application, exclusive of any increase resulting from the receipt of a density bonus, concession, waiver, or similar provision.

²² If the time limits are not met or if the changes in the project scope exceed specified thresholds, then the Preliminary Application shall expire and have no further force or effect.

²³ Once the Preliminary Application is complete, the City Planning application must be submitted within 180 days of the Preliminary Application completion date.

Milestone	Date Due	Date Complete	Dwelling Units	Determination	Staff Name
Date City Planning Application Deemed Complete	N/A		<input type="checkbox"/> Project meets 20% threshold <input type="checkbox"/> Project exceeds 20% threshold Proposed Units: _____ Plan Sheet No.: _____	<input type="checkbox"/> The project meets the limitations on project scope (unit count). <input type="checkbox"/> The HCA Vesting Preliminary Application is expired and has no further force or effect.	
Date of Hearing	N/A		<input type="checkbox"/> Project meets 20% threshold <input type="checkbox"/> Project exceeds 20% threshold Proposed Units: _____ Plan Sheet No.: _____	<input type="checkbox"/> The project meets the limitations on project scope (unit count). <input type="checkbox"/> The HCA Vesting Preliminary Application is expired and has no further force or effect.	
Date of Final Approval of City Planning Application²⁴	N/A		<input type="checkbox"/> Project meets 20% threshold <input type="checkbox"/> Project exceeds 20% threshold Proposed Units: _____ Plan Sheet No.: _____	<input type="checkbox"/> The project meets the limitations on project scope (unit count). <input type="checkbox"/> The HCA Vesting Preliminary Application is expired and has no further force or effect.	

²⁴ Final approval means that a project has obtained all necessary approvals to be eligible to apply for, and obtain, a building permit or permits, and all appeal periods or statutes of limitations have been exhausted or resolved in favor of the Housing Development Project (G.C. Sec. 65589.5(o)(2)(D)(ii)).



Milestone	Date Due	Date Complete	Dwelling Units	Determination	Staff Name
<p>Date Construction Commenced (within 2.5 years or 3.5 years of Final Decision)²⁵</p> <p>Project meets the time limits: <input type="checkbox"/> YES <input type="checkbox"/> NO</p>			<p><input type="checkbox"/> Project meets 20% threshold</p> <p><input type="checkbox"/> Project exceeds 20% threshold</p> <p>Proposed Units: _____</p> <p>Plan Sheet No.: _____</p>	<p><input type="checkbox"/> The project meets the time limits (2.5 or 3.5 years) and limitations on project scope (unit count).</p> <p><input type="checkbox"/> The HCA Vesting Preliminary Application is expired and has no further force or effect.</p>	

Notes:

²⁵ Vested Housing Development Projects must commence construction within two and one-half years, or three and one-half years for one hundred percent affordable Housing Development Projects.

Appendix 1

Elevations Instructions for Vesting Pursuant to the Housing Crisis Act

123 Example Blvd, Los Angeles, CA



Materials, Textures and Colors



Elevations shall show the design, materials, color, massing, facade and height of each building under the project scope:

- **Scale:** The scale shall be no less than $\frac{1}{8}'' = 1'-0''$ or a scale that produces a readable illustration.
- **Building Materials and Colors:** Elevations must identify all building materials types and colors. Include any sustainable features of the project as well as the material texture or pattern.
- **Location:** The elevations page must include the site address.
- **Labeling:** All views and major features shall be labeled, including which side of the project is being illustrated.
- **Dimensions:** Elevations shall be dimensioned in a manner that all relevant measurements can be read. Accessory structures shall have the same dimension requirements as the main structure. Include the dimensions for all heights. Required dimensions must include the following items:
 - The lowest elevation within 5 feet of the perimeter of the building;
 - The highest elevation for purposes of determining maximum building height as measured per Department of Building and Safety requirements and as defined by LAMC Section 12.03 of Chapter 1;
 - Height to the highest point of the roof and all roof structures;
 - Wireless facilities and transformers;
 - Projections proposed to be attached to a building facade;
 - Poles or signs including those attached to the facade or roof. Roof signs, pole signs and billboards must show both sides;
 - Facade texture, pattern, color and material changes to determine compliance with building articulation and design standards; and
 - Fences, walls, beams, barriers, including lighting fixtures, pillars, and gates on all sides.

Most City Planning processes involve a review of the project design. Applicants are encouraged to consult with the **LACP Urban Design Studio** regarding the design of the project early in the application process, ideally prior to filing. You may schedule a design review meeting online: planning.lacity.org/plans-policies/urban-design-studio/schedule-appointment. Refer to Elevation Instructions ([CP-7817](#)) for additional guidance.

Appendix 2

Building Area Analysis for Vesting Pursuant to the Housing Crisis Act

The purpose of this Building Area analysis sample and instructions is to provide guidance with determining the total Building Area or "square footage of construction" of a Housing Development Project in order to vest pursuant to the Housing Crisis Act. The sample below broadly applies to all types of Housing Development Projects.

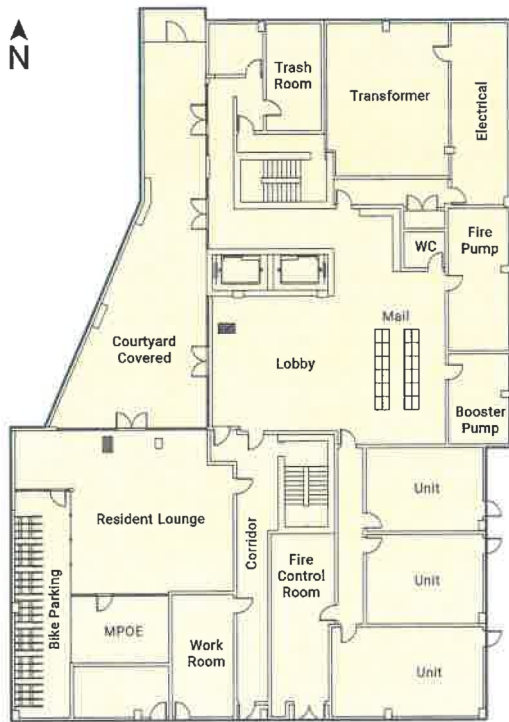
Building Area Calculation Table – Example

Level	Proposed
L2-L5	30,704 sf
L1	9,426 sf
Total	40,130 sf

Building Area Definition

The area included within surrounding exterior walls (or exterior walls and fire walls) exclusive of vent shafts and courts. Areas of the building not provided with surrounding walls shall be included in the building area if such areas are included within the horizontal projection of the roof or floor above.
 – California Government Code Section 65941.1(C)

Building Area Diagram – Example



Level 1 Building Area 9,426 sf

□ Building Area shaded



Levels 2-5 Building Area 7,676 sf (per level)

Instructions

- **Shaded and Dimensioned Diagram:** Set of plans shall include a shaded and dimensioned diagram indicating the total Building Area for each level, including any covered parking areas, elevator shafts and stairwells at each level.
- **Quantities Referenced Diagram:** Each area analysis must include a label or reference to its Building Area, expressed as square-footage.
- **Calculation Table:** The Building Area page should include a corresponding calculation table indicating the Building Area for each level, as well as the grand total.

REFERRAL FORM



PRELIMINARY ZONING ASSESSMENT

This form is to serve as an inter-agency referral for City Planning applications associated with a project creating two or more residential units. As a part of a City Planning application, a completed Preliminary Zoning Assessment (PZA) form, accompanied by architectural plans, shall be submitted to Plan Check staff at the Department of Building and Safety (LADBS). LADBS Plan Check staff will sign the PZA form and the architectural plans once the informational Zoning Plan Check verifications are completed. Following the completion of the PZA process, a City Planning application may be filed along with all other applicable filing requirements.

Review of the referral form by City staff is intended to determine compliance with City zoning and land use requirements necessary to achieve the proposed project and to identify any zoning issues or necessary approvals that would need to be resolved through a City Planning application. The informational Zoning Plan Check done through the PZA process does not constitute a zoning approval and does not require compliance with development standards to be completed.

To check if a project type qualifies for and requires the PZA form, see the [Housing Development Project Applicability Matrix](#) available on the City Planning Forms [webpage](#).

CONTACT INFORMATION

Department of Building and Safety, Affordable Housing Section

201 N. Figueroa St., Ste 830
Los Angeles, CA 90012
Phone: (213) 482-0455
Web: <https://ladbs.org/services/special-assistance/affordable-housing>
Email: LADBS.AHS@lacity.org

Department of City Planning, Development Services Center

For locations and hours:
<https://planning.lacity.org/contact/locations-hours>

THIS SECTION TO BE COMPLETED BY LADBS PLAN CHECK STAFF ONLY

LADBS Plan Check Staff Name and Title Elahe Merrikhi, Architectural Associate I	LADBS Plan Check Staff Signature¹ ELAHE MERRIKHI <small>Digitally signed by ELAHE MERRIKHI DN: C=US, E=ELAHE.MERRIKHI@LACITY.ORG, O=LADBS, OU=ZONING DIVISION, CN=ELAHE MERRIKHI Date: 2025.07.30 10:07:46-0700'</small>
Plan Check Application No.² 24010-10001-02114	Date 07/30/2025
Notes 34 UNIT APARTMENT 3 STORIES, 20% DENSITY BONUS UNITS - MIIP (5 VERY LOW INCOME UNITS) PER LAMC 12.22.A 37. PROJECT IS REQUESTING TWO OFF-MENU INCENTIVES AND NINE WAIVER. PROJECT ALSO USING AB 2097 FOR PARKING REDUCTION AND INCREASING HEIGH AND STORIES.	
<input type="checkbox"/> ED 1 Eligible	

¹ LADBS Plan Check staff will sign the Preliminary Zoning Assessment Form once the Zoning Plan Check verifications are complete.
² This completed form shall be accompanied by plans signed by a DBS Plan Check staff following the completion of a Zoning Plan Check.

THIS SECTION TO BE COMPLETED BY THE APPLICANT³

PROJECT INFORMATION

I. PROJECT LOCATION, ZONING & LAND USE JURISDICTION

Project Address: 7354 N BAIRD AVE, RESEDA , 91335

Project Name (if applicable): _____

Assessor Parcel Number(s): 2118015013

Legal Description (Lot, Block, Tract): LOT 14 , BLOCK NONE, TRACT TR 7632

Community Plan: RESEDA - WEST VAN NUYS Number of Parcels: 1 Site Area: 7,503.7 sq. ft.

Current Zone(s) & Height District(s): [Q]R2-2D-CDO Land Use Designation: GENERAL COMMERCIAL

- | | |
|--|--|
| <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO ED 1 Eligible⁴ | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Site Contains Historical Features |
| <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Alley in Rear | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Downtown Design Guide Area |
| <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Coastal Zone | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Special Grading Area (BOE) Area |
| <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Hillside Area (Zoning) | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Very High Fire Hazard Severity Zone |
| <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Enterprise Zone | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Greater Downtown Housing Incentive Area |

Specific Plan: N/A

Historic Preservation Overlay Zone (HPOZ): N/A

Design Review Board (DRB): N/A

Redevelopment Project Area: N/A

Overlay Zone (CPIO/CDO/POD/NSO/RIO/CUGU/etc.): RESEDA CENTRAL BUSINESS DISTRICT COMMUNITY DESIGN OVERLAY DISTRICT

Q Condition / **D Limitation** / T Classification (Ordinance No. and Subarea): UNDER CDO

Description of Condition: Q CONDITION- ORD 176558

Legal (Lot Cut Date) N/A

Related City Planning Cases PAR-2024-3084-TV, PAR-2024-3058-VHCA, PAR-2024-2922-AHRF, PAR-2024-2921-AHRF, CPC-2024-3381-CU3-DB-VHCA, CPC-2002-1263-CDO-ZC-MS, PAR-2025-2840-AHRF

³ All fields in this form must be completed. If an item is not applicable, write N/A.
⁴ Refer to [Executive Directive 1 Implementation Guidelines](#) for qualifying criteria. If the project is determined to be ineligible for ED 1, a new Referral Form will need to be obtained.

Z.I.(s) ZI-2339 , ZI-2452

Affidavits N/A

Easements N/A

TOC Tier⁵ (if applicable to project) TIER 2

II. PROJECT DESCRIPTION

Project Description/Proposed Use _____

The project is to build a 3-story, 39'-6" feet tall Residential Care Facility for Elderly comprised of 34 residential dwelling units of which four are restricted to Very Low-Income households. These units will be offered for rent. The project utilizes no parking due to AB 2097. The existing one-story residential structure of 1,420 sf, will be demolished.

No. of Stories: 1 **No. of Dwelling Units:** 1 **Floor Area (Zoning):** 13,937 SF

Present Use/No. of Units: _____

Single family residence, one unit,

III. CITY PLANNING ACTION(S) REQUESTED

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request to City Planning and (if applicable) the Section in the LAMC or the Specific Plan/Overlay from which relief is sought; follow with a description of the requested action.

Authorizing Code Section: LAMC 12.22 A25

Code Section from which relief is requested (if any): N/A

Action Requested, Narrative: ON-MENU - OFF-MENU INCENTIVES AND WAIVER

Authorizing Code Section: LAMC 11.5.7.F

Code Section from which relief is requested (if any): N/A

Action Requested, Narrative: N.A

Additional Requests Attached YES NO

⁵ Must be verified by the City Planning Affordable Housing Services Section. A Tier Verification for projects using the TOC guidelines is required to initiate a Preliminary Zoning Assessment with LADBS. Contact Planning.PriorityHousing@lacity.org.

IV. APPLICANT INFORMATION⁶

Name: _____

Phone: _____

Email: _____

V. REPRESENTATIVE INFORMATION

Name: Akhilesh Jha

Phone: 310-995-4859

Email: contact.aj.jha@gmail.com

⁶ An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing a case on behalf of a client (i.e. usually not the agent/representative).

**VI. PRELIMINARY ZONING ASSESSMENT SUMMARY
THIS SECTION TO BE COMPLETED BY LADBS PLAN CHECK STAFF⁷**

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable LAMC Section No. ⁸	Comments and Additional Information
1	Use	RESIDENTIAL CARE FACILITY FOR ELDERLY	RESIDENTIAL CARE FACILITY FOR ELDERLY	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	12.09.1. "R2"	<input type="checkbox"/> Conditional Use (LAMC Section 12.24) for _____ APARTMENT HOUSE ALLOWED IF ADJOINING SIDE LOT IS COMMERCIAL OR INDUSTRIAL ZONE.
2	Height	39 FT - 6 IN 2 FT - 6 IN	45 FT BASE 10 FT OVERRUN MAX	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.21.1 RESEDA CENTRAL BUSINESS DISTRICT COMMUNITY DESIGN OVERLAY DISTRICT (CDO) Q CONDITION- ORD 176558 MIIP (CHIP ORD) ORDINANCE NO. 188477. SEC.37 12.22.A.37 BASE INCENTIVE ONE	<input type="checkbox"/> Transitional Height applies (LAMC Section 12.21.1 A.10) <input type="checkbox"/> Commercial Corner Development/Mini-Shopping Center height applies (LAMC Section 12.22 A.23(a)(1)) PER CDO Q CONDITION= BASE 45 FT OVERRUN OF 10 FT MAX

⁷ LADBS Plan Check staff will sign Section IV of the Preliminary Zoning Assessment (PZA) form and provide signed architectural plans once the Zoning Plan Check verifications are complete.

⁸ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

EM _____ (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ⁹	Comments and Additional Information
3	No. of Stories	3 STORIES	10 STORIES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	LAMC Section 12.21.1 (if code prevails) RESEDA CENTRAL BUSINESS DISTRICT COMMUNITY DESIGN OVERLAY DISTRICT (CDO) D LIMITATION- ORD 162925	PER CDO D LIMITATION = 10 STORIES MAX
4	FAR (Floor Area Ratio)	2.78:1 13,937 SF	6:1 BASE FAR 30,019.2 SF BASE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.21.1	R2-2D BASE FAR: 6:1 MAX 150.08 FT + (1/2 ALLEY) 10 FT - 20 FT - 15 FT = 125.08 FT 50 FT - 5 FT - 5 FT = 40 FT 125.08 x 40 = 5,003.2 SF BUILDABLE AREA 5,003.2 SF x 6 FAR = 30,019.2 SF BASE 13,937 SF PROVIDED / 5,003.2 SF= 2.78:1 FAR PROVIDED

⁹ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

EM (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹⁰	Comments and Additional Information
5	RFAR (Residential Floor Area Ratio)	-	-	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	-	-
6	Density	34 UNITS (4 VERY LOW INCOME - 30 MARKET RATE)	4 UNITS BASE 50 UNITS MAX	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A	12.09.1. "R2".C.4 12.09.1. "R2".B.4 MIIP (CHIP ORD) ORDINANCE NO. 188477. SEC 37 12.22.A.37 BASE INCENTIVE TWO	Density Ratio: <input type="checkbox"/> Site Plan Review (16.05) / Major Project CUP (12.24 U 14) PER PER LAMC 12.09.1. "R2".B.4 = MINIMUM LOT AREA PER DWELLING UNIT OR GUEST ROOM = 1,500 SF 7,503.7 + (1/2 ALLEY = 50 x 10 = 500) = 8,003.7 / 2,500 = 3.2 (ROUND UP) = 4 UNITS BASE REQUESTED DENSITY BONUS BASE INCENTIVE FOR INCREASE DENSITY 200 SF/GUEST ROOM UNIT BASE NUMBER OF UNITS: 41 UNITS NUMBER OF VERY-LOW INCOME UNITS= 5% = 2 UNITS NUMBER OF DENSITY BONUS UNITS= 20% = 9 UNITS MAXIMUM NUMBER OF UNITS ALLOWED: 41+9= 50 UNITS NUMBER OF UNITS PROVIDED = 34 UNITS

¹⁰ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

EM _____ (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹¹	Comments and Additional Information
7	Setback (Front)	0 FT	20 FT BASE 0 FT MIN	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	12.09.1. "R2".C.1 12.22 A25 WAIVER ONE	<p>Lot Line Location (Street Name): N BAIRD AVE</p> <p>Lot Line Location (Street Name):</p> <p>20% LOT DEPTH; 20 FT MAX, BUT NOT LESS THAN PREVAILING.</p> <p>REQUESTED DENSITY BONUS WAIVER FOR FRONT YARD SETBACK REDUCTION TO 0 FT LIEU OF 20 FT.</p>
8	Setback (Side)	3 FT - 10 IN	6 FT BASE 3 FT - 10 IN MIN	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	12.09.1. "R2".C.2 12.22.A.37 WAIVER TWO WAIVER THREE	<p>Offset/plane break met:</p> <p><input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A 5 FT + (3 STY - 2 STY) 1FT = 6 FT</p> <p>REQUESTED DENSITY BONUS WAIVER FOR EACH SIDE YARD SETBACK REDUCTION TO 3 FT - 10 IN, IN LIEU OF 6 FT.</p> <p>REQUESTED DENSITY BONUS WAIVER FOR EACH SIDE YARD SETBACK REDUCTION TO 3 FT - 10 IN, IN LIEU OF 6 FT.</p>

¹¹ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

EM (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹²	Comments and Additional Information
9	Setback (Rear)	0 FT	5 FT (15 FT FROM C.L. OF ALLEY) 0 FT MIN	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A	12.09.1. "R2".C.3 12.22.A.37 WAIVER FOUR	R2-2D = 15 FT BASE - (1/2 ALLEY = 10 FT) = 5 FT BASE REQUESTED DENSITY BONUS WAIVER FOR REAR YARD SETBACK REDUCTION TO 0 FT LIEU OF 5 FT.
10	Building Line	-	-	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	Ordinance No.: -	-

¹² Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

EM (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹³	Comments and Additional Information
11	Parking (automobile)	Residential: 0 Non-Residential: -	Residential: 0 Non-Residential: -	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	LAMC Section 12.21 A.4 (if code prevails) AB2097 BASE INCENTIVE THREE	Design standards met(12.21 A5): <input type="checkbox"/> YES <input type="checkbox"/> NO Improvement standards met (12.21 A.6 (except landscaping, to be determined by City Planning)): <input type="checkbox"/> YES <input type="checkbox"/> NO AB2097 BASE INCENTIVE.
12	Bicycle Parking (residential)	Long-term: 0 Short-term: 0	Long-term: 3 BASE 0 MIN Short-term: 2 BASE 0 MIN	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A	LAMC Section 12.21 A.16 (if code prevails) 12.21.A16.a.1.i.b 12.22.A.37 WAIVER FIVE WAIVER SIX	Facility standards met: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Design standards met: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO REQUIRED SHORT- AND LONG-TERM BICYCLE PARKING FOR THE FOLLOWING TYPES OF SENIOR AND ELDERCARE HOUSING SHALL BE THE SAME AS FOR INSTITUTIONAL USES IN TABLE 12.21 A.16(A)(2): ALZHEIMER'S/DEMENTIA CARE HOUSING; ASSISTED LIVING CARE HOUSING; ELDERCARE FACILITY; SENIOR INDEPENDENT HOUSING; SKILLED NURSING CARE HOUSING; HOME FOR THE AGED; NO MEDICAL OR NURSING CARE; HOME FOR THE AGED; WITH SPECIAL CARE; PHILANTHROPIC; HOME FOR THE AGED; WITH SPECIAL CARE; PRIVATE; AND RETIREMENT HOTEL. SHORT-TERM = 1 PER 10,000 SQ.FT. / 10,000 = SHORT-TERM REQUIRED 13,937 SF / 10,000 = 1.39 = 2 SHORT-TERM REQUIRED LONG-TERM = 1 PER 5,000 SQ.FT. / 5,000 = LONG-TERM REQUIRED 13,937 SF / 5,000 = 2.78 = 3 SHORT-TERM REQUIRED REQUESTED DENSITY BONUS WAIVER FOR LONG-TERM BICYCLE PARKING 100% REDUCTION TO 0 IN LIEU OF 3. REQUESTED DENSITY BONUS WAIVER FOR SHORT-TERM BICYCLE PARKING 100% REDUCTION TO 0 IN LIEU OF 2.

¹³ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

EM (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹⁴	Comments and Additional Information
13	Bicycle Parking (non-residential)	Long-term: - Short-term: -	Long-term: - Short-term: -	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	LAMC Section 12.21 A.16 (if code prevails) -	Facility standards met: <input type="checkbox"/> YES <input type="checkbox"/> NO Design standards met: <input type="checkbox"/> YES <input type="checkbox"/> NO
14	Open Space	Total (sq. ft.): 0 Common (sq. ft.): 0 Private (sq. ft.): 0	Total: 0 Common: 0 Private: 0	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A	LAMC Section 12.21 G (if code prevails) 12.22.A.37 WAIVER SEVEN	Units/Habitable Room <3: 49 UNITS @ 100 SF => 4,900 SF =3: 0 UNITS @ 125 SF => 0 >3: 0 UNITS @ 175 SF => 0 Dimensions met: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 4,900 SF BASE OPEN SPACE REQUESTED DENSITY BONUS WAIVER FOR 100% REDUCTION OF REQUIRED OPEN SPACE, PROVIDE 0 IN LIEU OF 4,900 SF.

¹⁴ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

EM____ (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹⁵	Comments and Additional Information
15	Retaining Walls in Special Grading Areas	Max Height: - Max Quantity: -	Max Height: - Max Quantity: -	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	LAMC Section 12.21 C.8 (if code prevails) -	-
16	Grading (Zoning and Planning limitations)	-	-	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	-	-

¹⁵ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

EM____ (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹⁶	Comments and Additional Information
17	Lot Coverage	-	-	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	-	
18	Lot Width	50 SF EXISTING	EXISTING	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.14	

¹⁶ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

EM____ (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹⁷	Comments and Additional Information
19	Space between Buildings	-	-	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	LAMC Section 12.21 C.2(a) (if code prevails)	-
20	Passageway	DIRECT ACCESS TO RIGHT OF WAY	DIRECT ACCESS TO RIGHT OF WAY	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	LAMC Section 12.21 C.2(b) (if code prevails)	-

¹⁷ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

EM____ (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹⁸	Comments and Additional Information
21	Location of Accessory Buildings	-	-	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	LAMC Section 12.21 C.5 (if code prevails)	-
22	Loading Area	-	-	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	-	-

¹⁸ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

EM____ (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ¹⁹	Comments and Additional Information
23	Trash & Recycling	78 SF	60 SF	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.21 A19.c.2.ii.	-
24	Landscape	Conformance determined by Los Angeles City Planning			12.22.A.37 OFF-MENU INCENTIVE ONE	REQUESTED DENSITY BONUS OFF-MENU INCENTIVE FOR REDUCTION OF LANDSCAPING.

¹⁹ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

EM (LADBS Staff Initials)

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No. ²⁰	Comments and Additional Information
25	Private Street	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	-	-
	Other (e.g., ground floor transparency, lighting, utilities, signage, walls, lot area, minimum frontage, etc.)	See additional sheets, if applicable				Additional Sheet(s) attached: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

²⁰ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

EM____ (LADBS Staff Initials)

ADDITIONAL ZONING AND LAND USE STANDARDS REVIEWED to be completed by LADBS Plan Check Staff

Item No.	Zoning Standard	Proposed	Required/ Allowed	Standard Met	Applicable Section No.	Comments and Additional Information
26	RESEDA CENTRAL BUSINESS DISTRICT COMMUNITY DESIGN OVERLAY DISTRICT (CDO)	-	-	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	12.22.A.37 OFF-MENU INCENTIVE TWO	REQUESTED DENSITY BONUS OFF-MENU INCENTIVE FOR REDUCTION OF RESEDA CENTRAL BUSINESS DISTRICT COMMUNITY DESIGN OVERLAY DISTRICT (CDO).
27	REQUIRED TREE 1 TREE PER 4 UNITS	0	9	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	12.21.G.2.a.3 12.22.A.37 WAIVER EIGHT	34 / 4 = 8.5 (ROUND UP) = 9 TREES REQUIRED FOR COMMON OPEN SPACE. REQUESTED DENSITY BONUS WAIVER FOR REDUCTION OF TREES PROVIDE 0 IN LIEU OF 14.
28	TRANSITIONAL HEIGHT	0	-	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	12.22.A.37 WAIVER NINE	REQUESTED DENSITY BONUS WAIVER FOR REDUCTION OF TRANSITIONAL HEIGHT PROVIDE 0.
				<input type="checkbox"/> YES <input type="checkbox"/> NO		
				<input type="checkbox"/> YES <input type="checkbox"/> NO		
				<input type="checkbox"/> YES <input type="checkbox"/> NO		

EM _____ (LADBS Staff Initials)