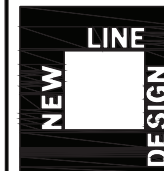


PROPOSED CHANGE OF USE (E)CULTURAL CENTER TO NEW GENERAL OFFICE WITH ALTERATION AT

# (E)CULTURAL CENTER OFFICE

8946 SEPULVEDA EASTWAY, LOS ANGELES, CA 90045

EXHIBIT "A"  
Page No. 1 of 10  
Case No. APCW-2024-8091-ZC



NEW LINE DESIGN  
811 S. CATALINA STREET SUITE 417  
LOS ANGELES, CA 90012  
P: 213.380.2261  
E-MAIL: info@nldla.net

PROJECT

PROPOSED TENANT IMPROVEMENT FOR  
(E)CLUB CENTER OFFICE

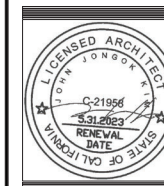
8946 SEPULVEDA EASTWAY,  
LOS ANGELES, CA 90045

DRAWING TITLE

TITLE GENERAL NOTES  
EXISTING SITE PLAN

REVISIONS

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DATE: MAR 14, 2025

BLDG. SUBMITTAL DATE: ①

DATE: ②

DATE: ③

BID DATE:

CHE NO.

J&S NO.

SCALE: AS SHOWN ON PLAN

SHEET NO.

A-1.0

## GENERAL CONSTRUCTION NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES OR ERRORS BEFORE PROCEEDING WITH THE WORK.
- ALL MATERIALS AND WORK SHALL CONFORM TO ALL GOVERNING AGENCIES AND APPLICABLE CODES.
- SPECIFIC DETAILS AND NOTES SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS.
- CONTRACTOR SHALL PROVIDE RECORD DRAWINGS TO THE ARCHITECT AND MALL OPS. MGS. FOR OWNER USE.
- PROVIDE ALL ACCESS PANELS AS REQUIRED. LOCATION AND TYPE SHALL BE APPROVED BY ARCHITECT PRIOR TO OBTAINING AND INSTALLING.
- CONTRACTOR SHALL PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 4A:60BC FOR PROTECTION DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND COORDINATION OF SUBCONTRACTOR'S WORK TO SECURE COMPLIANCE OF DRAWINGS AND SPECIFICATIONS, THE ACCURATE LOCATION OF STRUCTURAL MEMBERS, AND OPENINGS FOR MECHANICAL, ELECTRICAL, AND MISCELLANEOUS EQUIPMENT. SUBMIT SHOP DRAWINGS AND CATALOGS OF EQUIPMENT AS REQUIRED.
- CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL EQUIPMENT WITH MECHANICAL CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- DOORS NOT LOCATED BY DIMENSIONS SHALL BE CENTERED IN WALL OR SHALL BE LOCATED FIVE INCHES FROM FINISH WALL TO EDGE OF DOOR BUCK.
- ALL TRADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK.
- CONTRACTOR SHALL COMPARE CAREFULLY THE LINES AND LEVELS SHOWN ON DRAWINGS WITH EXISTING LEVELS FOR THE LOCATION AND CONSTRUCTION OF THE WORK AND SHALL CALL ARCHITECT'S ATTENTION TO ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL FURNISH AND MAINTAIN TEMPORARY SANITATION FACILITIES AS REQUIRED DURING CONSTRUCTION.
- BRACINGS AND TEMPORARY SUPPORTS SHALL BE PROVIDED AS REQUIRED TO HOLD THE WORK SECURELY IN PLACE, AND TO SUSTAIN ALL LOADS THAT MAY OCCUR DURING ERECTION AND UNTIL SUBSEQUENT CONSTRUCTION IS ADEQUATE TO REPLACE TEMPORARY BRACING.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACINGS, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR INSTALLATION OF ALL CASEWORK AND OF ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL OR MISCELLANEOUS EQUIPMENTS.

### GENERAL REQUIREMENTS

- TOILET ROOM FLOORS SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE AS PORTLAND CEMENT, CERAMIC TILE OR OTHER APPROVED MATERIAL THAT EXTENDS UPWARD ONTO THE WALL AT LEAST 5 INCHES.
- WALL WITHIN 2 FEET OF THE FRONT AND SIDES OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE OF PORTLAND CEMENT, CERAMIC TILE OR OTHER SMOOTH HARD NON ABSORBENT SURFACE TO A HEIGHT OF 4 FEET, AND EXCEPT FOR STRUCTURAL ELEMENTS, THE MATERIALS USED IN SUCH WALLS SHALL BE OF A TYPE IS NOT ADVERSELY AFFECTED BY MOISTURE.
- ACCORDING TO SECTION 2512, WHEN GYPSUM IS USED AS A BASE FOR TILE OR WALL PANELS FOR TUB, SHOWER OR WATER CLOSET COMPARTMENT WALLS, WATER RESISTANT GYPSUM BACKING BOARD SHALL BE USED. REGULAR GYPSUM WALLBOARD IS PERMITTED UNDER TILE OR WALL PANELS IN OTHER WALL AND CEILING AREAS WHEN INSTALLED IN ACCORDANCE WITH TABLE 25-6. WATER-RESISTANT GYPSUM BOARD SHALL NOT BE USED IN THE FOLLOWING LOCATIONS:
  - OVER A VAPOR RETARDER.
  - IN AREA SUBJECT TO CONTINUOUS HIGH HUMIDITY, SUCH AS SAUNAS, STEAM ROOMS OR GANG SHOWER ROOM.
  - ON CEILING WHERE FRAME SPACING EXCEEDS 12 INCHES O.C.
- EACH LIGHT OF SAFETY GLAZING MATERIAL INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A PERMANENT LABEL THAT SPECIFIES THE LABELER, AND STATES THAT SAFETY GLAZING MATERIAL HAS BEEN UTILIZED IN SUCH INSTALLATION (SEE FLOOR PLAN FOR LOCATIONS)
- PROVIDE MECHANICAL VENTILATION AT ALL TOILETS (COMPLETE CHANGE OF AIR EVERY 15 MIN)
- PROVIDE MECHANICAL VENTILATION ALL ENCLOSED AREA. THE SYSTEM SHALL BE CAPABLE OF SUPPLYING A MIN. OF 15 CUBIC FEET PER MIN. OF OUTSIDE AIR PER OCCUPANT IN ALL PORTION OF THE BUILDING DURING SUCH TIME AS THE BUILDING IS OCCUPIED.
- EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. WHEN THE FACE OF EXIT SIGN IS ILLUMINATED FROM THE EXTERNAL SOURCE, IT SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FEET CANDLES FROM EIGHTER OF TWO ELECTRIC LAMPS. INTERNALLY ILLUMINATED SIGNS SHALL PROVIDED EQUIVALENT LUMINANCE AND BE LISTED FOR THE PURPOSE.
- THE POWER SUPPLY FOR THE MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES OF ELECTRICAL SUPPLY.

### GENERAL REQUIREMENTS

- DUCT PENETRATIONS THROUGH PROTECTIVE ELEMENT OF FIRE RATED CORRIDOR WALLS SHALL BE PROTECTED WITH A FIRE DAMPERS PER UBC STANDARD 43-7 & 43-12. 91.1004.3.4.3.2.3-
- PROVIDE A METAL LABEL FOR GAS SHUTOFF VALVE, FOR ALL ASSEMBLY OCCUPANCIES.
- 4" SEWER LINE CONNECTED TO (E) BUILDING SEWER USING 2% SLOPE FOR KITCHEN, BAR AND RESTROOM.

### CODE REVIEW INFORMATION

APPLICABLE CODES: ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS, DRAWINGS, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ANY MODIFICATIONS TO THE CONTRACT WORK REQUIRED BY SUCH AUTHORITIES SHALL BE AT THE EXPENSE OF THE TENANT, SUBJECT TO THE RECEIPT OF AN AFFIDAVIT OR LETTER FROM THE GOVERNING BODY AND TENANTS PRIOR APPROVAL OF ANY ADDITIONAL COST TO BE INCURRED. ALL PERMITS AND LICENSES NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR INVOLVED. APPLICABLE CODES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

## PROJECT DATA

WORK DESCRIPTION  
CHANGE OF USE FROM (E)CULTURAL CENTER TO NEW OFFICE

JOB DESCRIPTION  
1. REMOVE (E)BAR TO NEW MEETING ROOM  
2. CHANGE (E)STORAGE #1 TO NEW OFFICE #5  
3. CHANGE (E) KITCHEN AND STORAGE #5 TO OFFICE #6, OFFICE #7 AND LUNCH ROOM  
4. CHANGE OF USE FROM AUDITORIUM AND STAGE TO NEW OFFICE #1-4, NEW OPEN OFFICE #8, AND NEW OFFICE #9

EXISTING BUILDING STORY: EXISTING ONE STORY BUILDING  
EXISTING BUILDING AREA: 7,144.0 S.F.  
EXISTING BUILDING BUILT: 1975  
EXISTING BUILDING USE: CULTURAL CENTER  
PARKING REQUIRED: NO CHANGE

EXISTING REFERENCE REVIEW NUMBERS  
LEGAL DESCRIPTION  
BLOCK TRACT -12514  
LOT 456  
MAP SHEET MB-247-15/20  
PIN 095B165 15  
ASSESSOR PARCEL NUMBER (APN) 4123006026  
LOT AREA 12,413.8 S.F.  
RA-1  
ZONING ZI-1874  
ZONING INFORMATION SPECIFIC PLAN: LA COSTAL TRANSPORTATION CORRIDOR

HILLSIDE AREA NO  
HISTORICAL PRESERVATION REVIEW NO  
TRANSIT ORIENTED COMMUNITIES (TOC) TIER 3

OCCUPANCY A3  
SPRINKLERED YES NFPA-13 THRU-OUT  
(E)BUILDING CONSTRUCTION TYPE TYPE V-B (W)SPRINKLERED  
AIRPORT HAZARD AREA 30' HEIGHT LIMIT ABOVE ELEVATION  
AIRPORT HAZARD AREA TRANSITIONAL SURFACE AREA  
COMMUNITY NOISE EQUIV. LEVEL 10dB < 15 dB  
AB2047 YES, ELIGIBLE

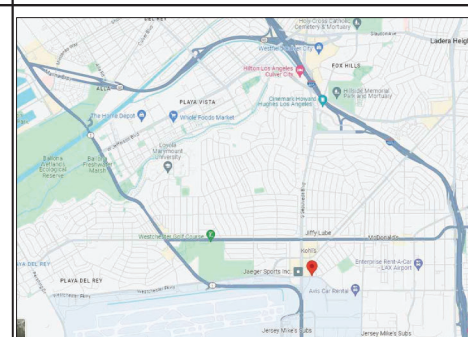
(E)PARKING REQUIRED 6  
(E)PARKING LAYOUT NO CHANGE  
(E)ACCESSIBLE PARKING REQUIRED 1-VAN ACCESSIBLE  
(E)ACCESSIBLE PARKING LAYOUT NO CHANGE

## APPLICATION CODE

APPLICATION BUILDING CODE:  
LABC 2022  
CBC 2022  
CFC 2022  
CMC 2022  
CEC 2022  
CFC 2022

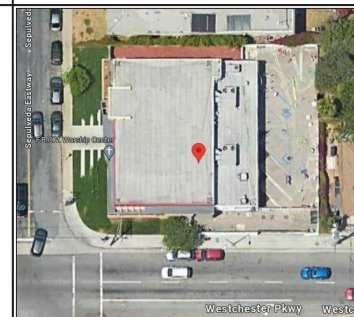
CALIF. ENERGY EFFICIENCY STANDARDS 2022  
CITY OF LOS ANGELES CITY ORDINANCE

## VICINITY MAP

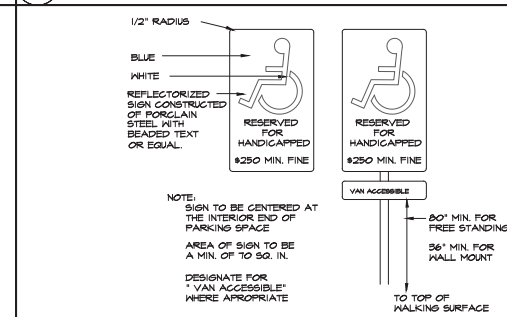


## DEFERRED PERMIT

SIGNAGE  
SPRINKLER SYSTEM



## 5 SITE ENTRANCE SIGNAGE



## ZONING REGULATION

ZONE	CURRENT RA-1	PROPOSED C2-1
USE	MULTIFL DWELLINGS USE/CHURCH/SCHOOLS/HOMELESS CENTER	COMMERCIAL-C2.5 USE, RETAIL, LIMITED MANUF./CHURCH/SCHOOL
HEIGHTS REQUIRED MAXED	STORIES	UNLIMITED
	FEET	UNLIMITED
	FRONT	15 FT
	SIDE	5 FT
AREA REQUIRED	POT LOT	5,000 S.F.
	PER UNIT	400 S.F. / 200 S.F. PER GUEST RM
MIN. LOT WIDTH	50 FT	SAME AS RA ZONE FOR RESIDENTIAL USE AT LOWEST RESIDENTIAL STORY, OTHERWISE NONE
PARKING REQ'D	BY PARKING REGULATION	BY PARKING REGULATION
FAR	3:1	15:1
USE	CURRENT CULTURAL CENTER	PROPOSED GENERAL OFFICE

## DRAWING INDEX

- ARCHITECTURAL  
A-1.0 GENERAL NOTE, PROJECT DATA SHEET INDEX, (E)SITE PLAN  
L-1.0 EXISTING LANDSCAPE PLAN  
A-2.0 EXISTING SITE PLAN/PARKING  
A-3.0 EXISTING FLOOR PLAN AND DEMO PLAN  
A-3.1 PROPOSED FLOOR PLAN  
A-4.0 PROPOSED CEILING PLAN  
A-5.0 EXISTING ELEVATIONS  
A-5.1 EXISTING ELEVATIONS  
A-6.0 ENLARGED PARKING PLAN  
A-7.0 DOOR / WINDOW / FINISH SCHEDULE  
A-8.0 TYP. RESTROOM DETAILS

## CONTACT INFORMATION

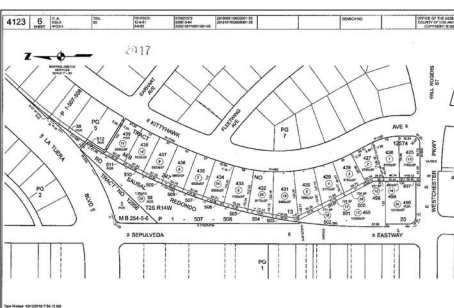
CONTACT INFORMATION  
KEN YOUN / NEW LINE DESIGN  
811 SOUTH CATALINA ST. SUITE 417  
LOS ANGELES, CA 90005  
INFO@NLDLA.COM  
TEL: 213.820.4104

OWNER INFORMATION  
YOUNGKEN CHUNG / CALOP AEROSPACE SERVICES  
TEL: 310.841.8946  
5250 W. CENTURY BLVD., #614  
LOS ANGELES, CA 90045  
ADM@CALOPAEROSPACE.COM

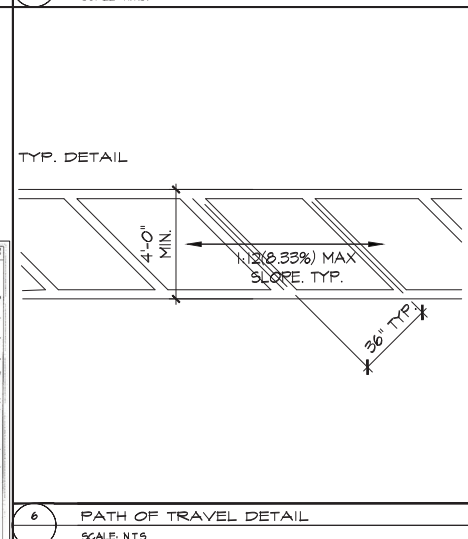
## (E)ACCESSIBLE PARKING

PROVIDED ON PROPERTY 6 SPACES  
TOTAL PROVIDED 6 SPACES  
ACCESSIBLE SPACES PROVIDED ON PROPERTY 2 SPACES  
THEREOF VAN ACCESSIBLE 1 SPACES

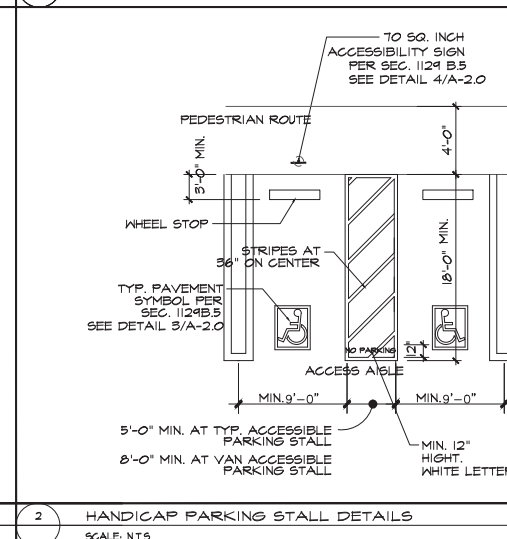
## PARCEL MAP



## 7 TRUNCATED DOMES



## 3 INTERNATIONAL ACCESSIBILITY SYMBOL

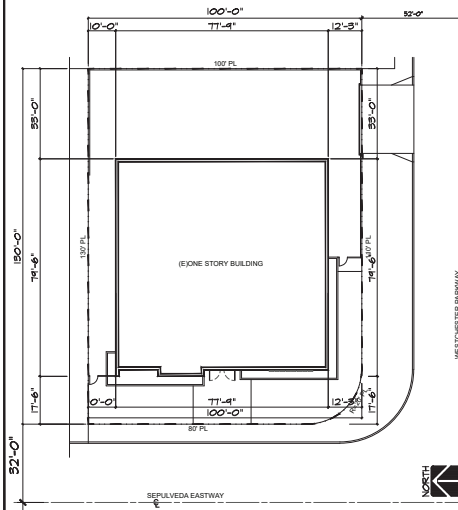


## 6 PATH OF TRAVEL DETAIL

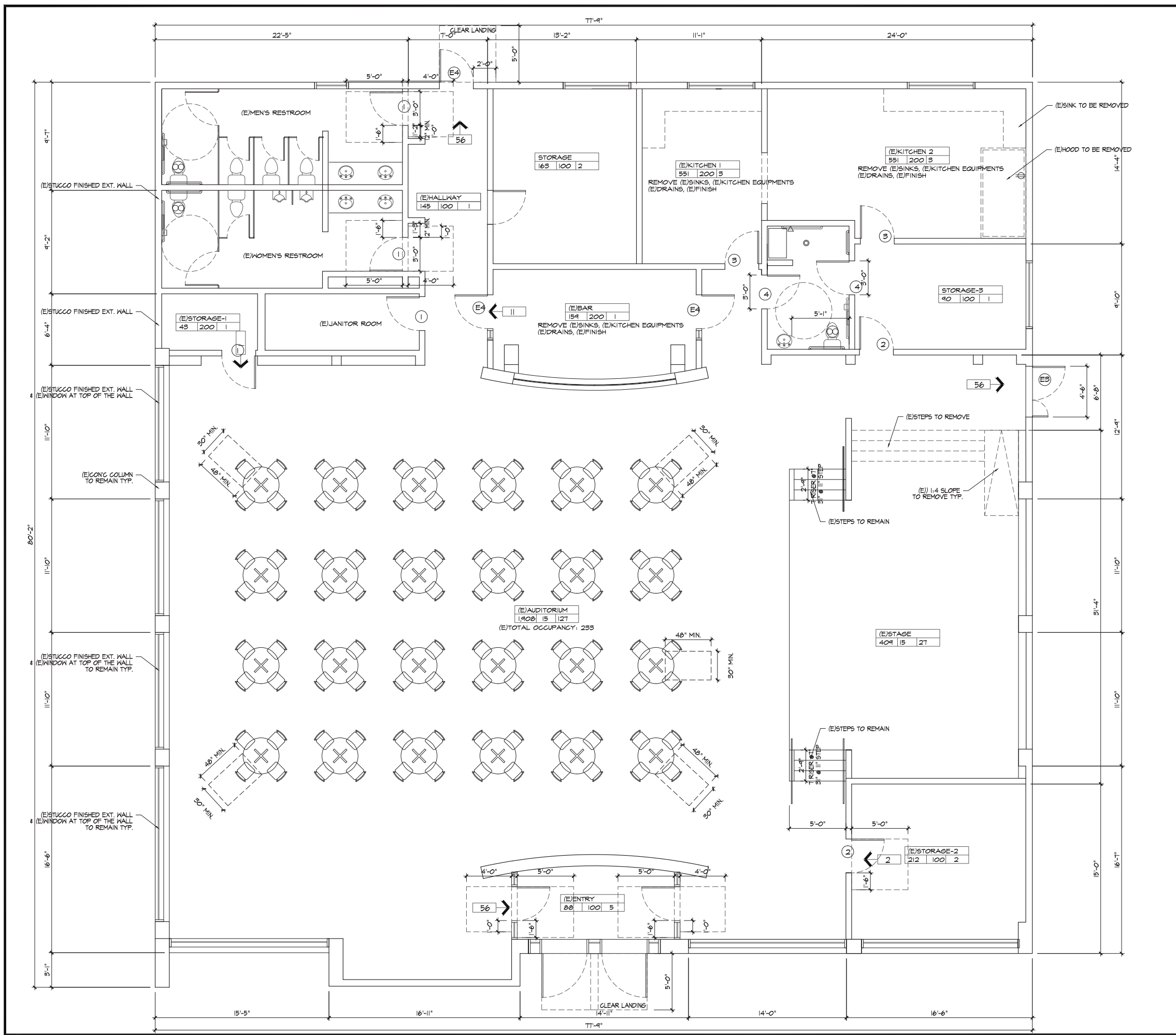
SCALE: N.T.S.

## 2 HANDICAP PARKING STALL DETAILS

SCALE: N.T.S.







- LEGENDS:**
- : EXISTING WALL TO REMAIN
  - : CEILING HT. NEW PARTITION WALL TO INSTALL SEE DETAILS AT 6/A-5.0
  - : (E) 8 FT. HT. PARTITION WALL TO REMAIN
  - : EXISTING WALL TO REMOVE
  - : (E) MECHANICAL VENTILATION
  - : INTERNATIONAL ACCESSIBILITY SYMBOL
- A B C D**  
 A: ROOM NAME  
 B: NET AREA  
 C: OCCUPANCY FACTOR  
 D: OCCUPANCY LOAD
- : OCCUPANCY EXIT DIRECTION  
 A: OCCUPANCY LOAD
- : NEW SMOKE DETECTOR (HARD-WIRED SMOKE ALARM WITH A BATTERY BACK UP)
  - : NEW CARBON MONOXIDE ALARM (HARD-WIRED SMOKE ALARM WITH A BATTERY BACK UP)
  - : WINDOW LEGEND SEE 3/A-9.0 FOR DETAILS
  - : DOOR LEGEND SEE 2/A-9.0 FOR DETAILS
  - : NEW ARC-FAULT CIRCUIT INTERRUPTER (AFCI) OUTLET
  - : NEW GROUND FAULT CIRCUIT INTERRUPTER (GFCI) OUTLET
  - : NEW WATER PROOF GROUND FAULT CIRCUIT INTERRUPTER (GFCI) OUTLET
  - : NEW SWITCH
  - : NEW RECESSED HIGH EFFICACY DOWN LIGHT WITH REQUIRED
  - : NEW WALL LED SCONE LIGHT WITH REQUIRED
  - : MECHANICAL EXHAUST MIN. CAPACITY OF 50CFM INTERMITTENT, AND HUMIDISTAT CONTROL (IRC MS07.4)

**(E) TOTAL OCCUPANCY LOAD/TABLE 1004.1.1**

(E) ENTRY 88   100   5	(E) AUDITORIUM 1908   15   127	(E) STAGE 404   15   27
(E) STORAGE-1 43   200   1	(E) STORAGE-2 212   200   1	(E) BAR KITCHEN 154   200   1
(E) HALLWAY 145   100   1	(E) KITCHEN 551   200   3	

#166  
 TOTAL OCCUPANCY: 166  
 \*REQUIRED EXIT: 2  
 \*PROVIDED EXIT: 3  
 \*REQUIRED EACH EXIT LOAD: 56  
 \*REQUIRED EXIT DOOR MIN. WIDTH: 54 X 0.2= 11.07"  
 \*PROVIDED EXIT DOOR WIDTH: 36' > 11.07" SO, IT'S O.K.  
 \*OCCUPANCY GROUP: A5

**ACCESSIBLE SEATS**

TOTAL SEATS:  
 4 PERSON TABLES, 4 SEATS X 24 TABLES = 96 SEATS  
 REQUIRED ACCESSIBLE SEATS: 96 X 5 % = 4.8 SEATS  
 PROVIDED ACCESSIBLE SEATS: 5 SEATS > 5 SEATS

**ACCESSIBLE NOTES**

- ALL DOOR THRESHOLD AND PATH OF TRAVEL TO ENTRY/EXIT DOOR REQUIRED 1/2 INCH MAX LEVEL CHANGE AND/OR 1/4 INCH WITH SLOPE MORE THAN 1:2 RATIO. IF THERE IS ANY LEVEL CHANGE MORE THAN REQUIRED HEIGHT AND/OR SLOPE MORE THAN 1:48 AT ENTRANCE.
- PROVIDE 8'-2" MIN. VERTICAL CLEARANCE FOR PARKING LOT

PROJECT

PROPOSED TENANT IMPROVEMENT FOR  
 (E)CLUB CENTER OFFICE  
 8946 SEPULVEDA EASTWAY,  
 LOS ANGELES, CA 90045

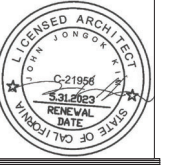
DRAWING TITLE

PROPOSED FLOOR PLAN

REVISIONS

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SEAL



DATE: **MAR. 14, 2025**

BLDG. SUBMITTAL DATE: ①

BID DATE: ③

PERMIT #

J&S NO.

SCALE: AS SHOWN ON PLAN

SHEET NO.

**A-3.1**

**EXHIBIT "A"**  
 Page No. 4 of 10  
 Case No. APCW-2024-8091-ZC

**LEGENDS:**

- : EXISTING WALL TO REMAIN
- ▨ : CEILING HT. NEW PARTITION WALL TO INSTALL SEE DETAILS AT 6/A-5.0
- ▨ : (E) 8 FT. HT. PARTITION WALL TO REMAIN
- - - : EXISTING WALL TO REMOVE
- ⊕ : (E) MECHANICAL VENTILATION
- ♿ : INTERNATIONAL ACCESSIBILITY SYMBOL

A	B	C	D
---	---	---	---

- A: ROOM NAME
- B: NET AREA
- C: OCCUPANCY FACTOR
- D: OCCUPANCY LOAD

- ↑ : OCCUPANCY EXIT DIRECTION
- A: OCCUPANCY LOAD

- ⊕ : NEW SMOKE DETECTOR (HARD-WIRED SMOKE ALARM WITH A BATTERY BACK UP)
- ⊕ : NEW CARBON MONOXIDE ALARM (HARD-WIRED SMOKE ALARM WITH A BATTERY BACK UP)
- ⊕ : WINDOW LEGEND SEE 3/A-9.0 FOR DETAILS
- ⊕ : DOOR LEGEND SEE 2/A-9.0 FOR DETAILS
- ⊕ : NEW ARC-FAULT CIRCUIT INTERRUPTER (AFCI) OUTLET
- ⊕ : NEW GROUND FAULT CIRCUIT INTERRUPTER (GFCI) OUTLET
- ⊕ : NEW WATER PROOF GROUND FAULT CIRCUIT INTERRUPTER (GFCI) OUTLET
- ⊕ : NEW SWITCH
- ⊕ : NEW RECESSED HIGH EFFICACY DOWN LIGHT WITH W/REIRED
- ⊕ : NEW WALL LED SCENE LIGHT WITH W/REIRED
- ⊕ : MECHANICAL EXHAUST MIN. CAPACITY OF 50CFM INTERMITTENT, AND HUMIDISTAT CONTROL (IRC M507M.4)

**(N) TOTAL OCCUPANCY LOAD/TABLE 1004.1.1**

(E)ENTRY 88   100   5	(N)OFFICE-4 1017   100   10	(E)STORAGE-1 43   200   1
(E)STORAGE-2 212   100   2	(N)LUNCH RM 242   100   3	(E)OFFICE-1 161   100   2
(E)OFFICE-2 169   100   2	(E)OFFICE-3 169   100   2	(E)OFFICE-4 235   100   2
OFFICE-5 163   100   2	OFFICE-6 114   100   2	OFFICE-7 90   100   1
(N)OFFICE-8 572   100   6	MEETING RM 154   15   11	(E)HALLWAY 1254   100   12
(N)RECEPTIONIST TO   100   11		

#64

TOTAL OCCUPANCY: 64

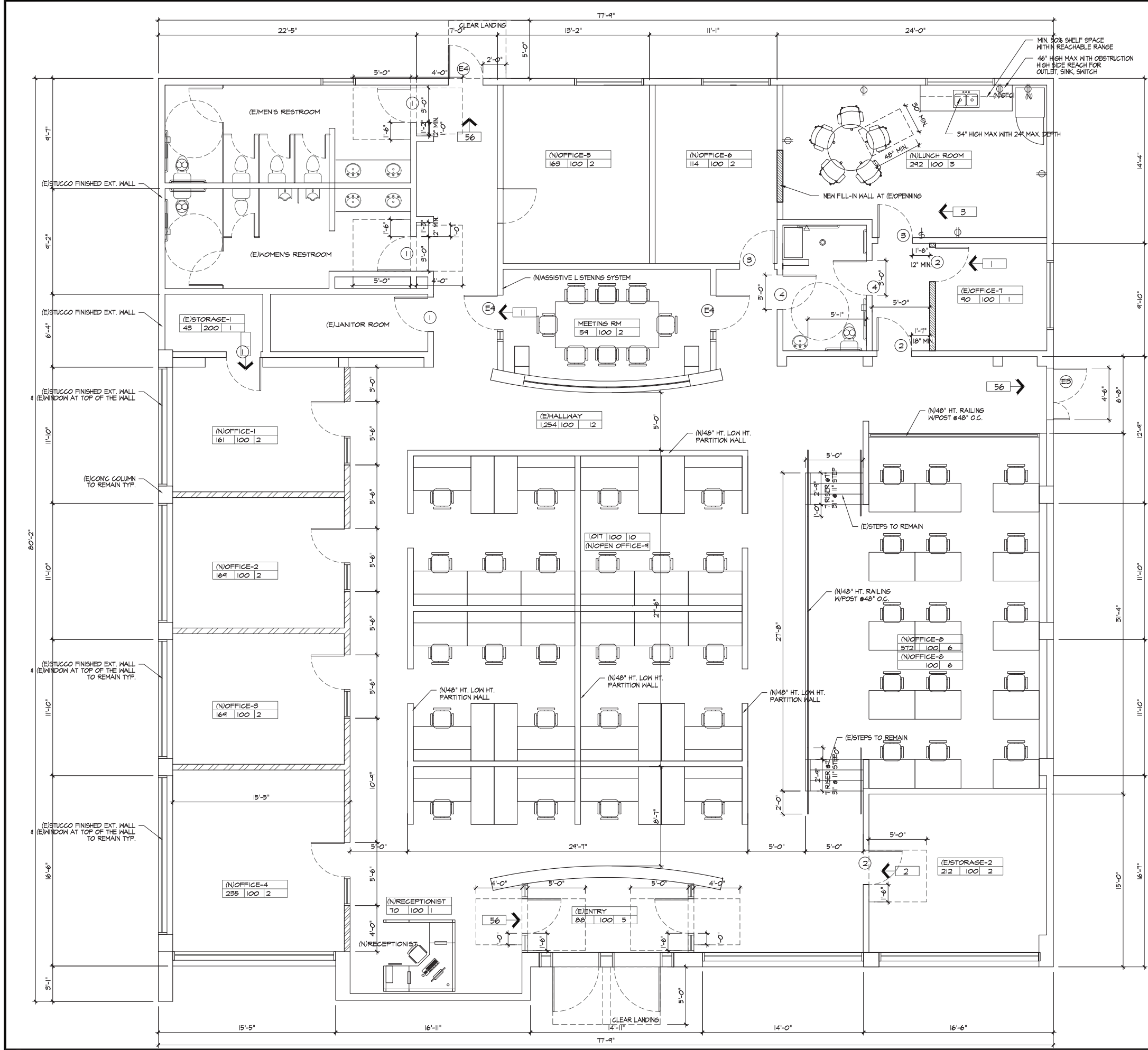
- \*REQUIRED EXIT: 2
- \*PROVIDED EXIT: 3
- \*REQUIRED EACH EXIT LOAD: 22
- \*REQUIRED EXIT DOOR MIN. WIDTH: 22 X 0.2 = 4.4"
- \*PROVIDED EXIT DOOR WIDTH: 36" > 4.4" SO, IT'S O.K.
- \*OCCUPANCY GROUP: B

**ACCESSIBLE SEATS**

TOTAL SEATS:  
 5 PERSON TABLES; X 1 = 5 SEATS  
 REQUIRED ACCESSIBLE SEATS: 5 X 5% = 0.25 SEATS  
 PROVIDED ACCESSIBLE SEATS: 1 SEATS > 1 SEATS

**ACCESSIBLE NOTES**

1. ALL DOOR THRESHOLD AND PATH OF TRAVEL TO ENTRY/EXIT DOOR REQUIRED 1/2 INCH MAX LEVEL CHANGE AND/OR 1/2 INCH MIN W/REIRED WITH A SLOPE NOT STEEPER THAN 1:2 RATIO. IF THERE IS ANY LEVEL CHANGE MORE THAN REQUIRED HEIGHT AND/OR SLOPE MORE THAN 1:48 AT ENTRANCE.
2. PROVIDE 8'-2" MIN. VERTICAL CLEARANCE FOR PARKING LOT



**1 PROPOSED FLOOR PLAN**  
 SCALE: 1/4"=1'-0"

PROJECT

PROPOSED TENANT IMPROVEMENT FOR  
 (E) CLUB CENTER OFFICE

8946 SEPULVEDA EASTWAY,  
 LOS ANGELES, CA 90045

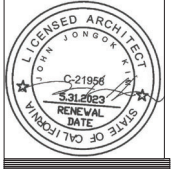
DRAWING TITLE

EXISTING CEILING PLAN

REVISIONS

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SEAL



DATE: **JULY 14, 2024**

BLDG. SUBMITTAL DATE: ①  
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 ③

BID DATE:

PERMIT #

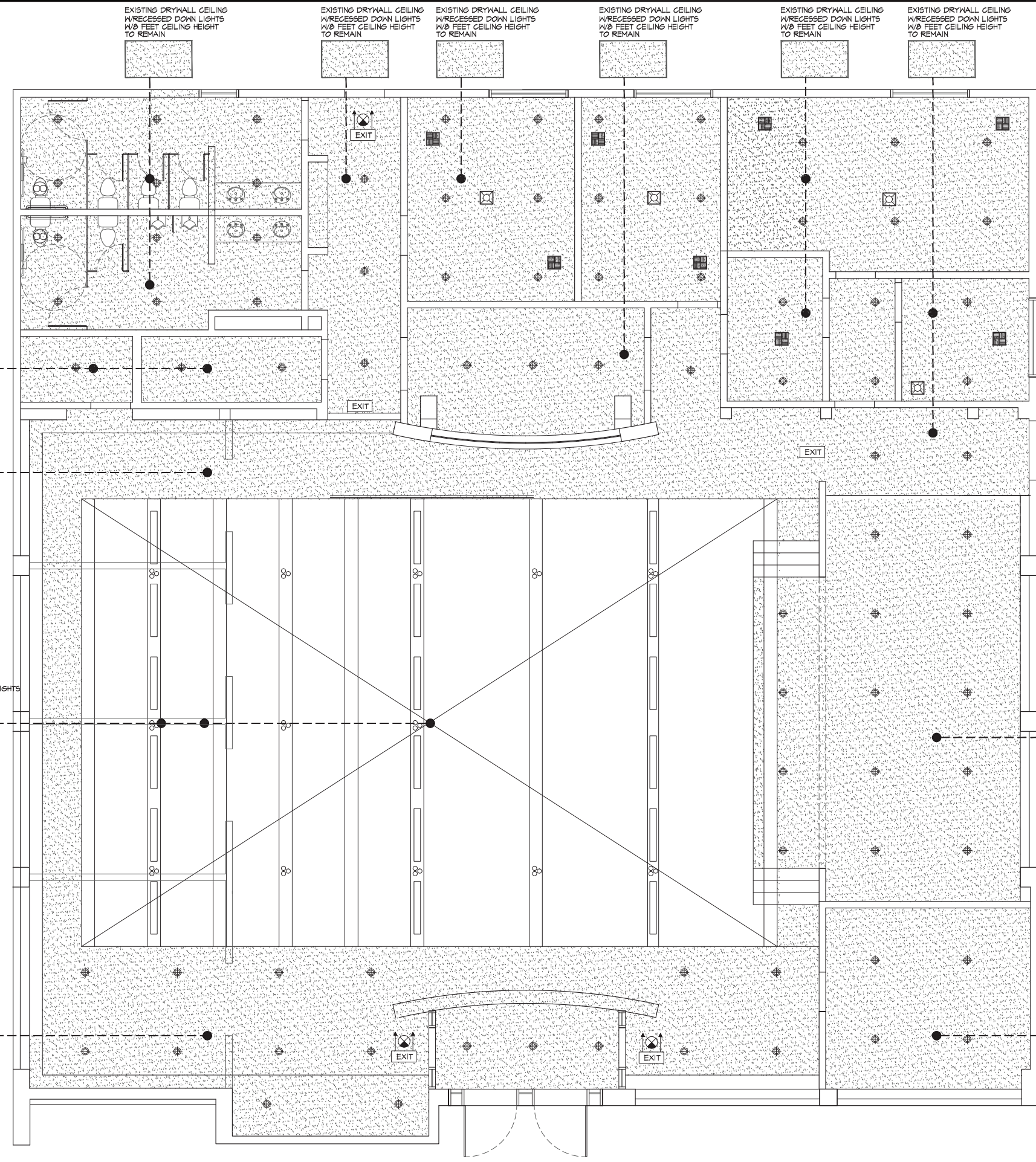
J&S NO.

SCALE: AS SHOWN ON PLAN  
 SHEET NO.

**A-4.0**

REFLECTED CEILING PLAN LEGEND

	(E) RETURN AIR REGISTER OR/AND REPLACE, ROLOCATE, TYP.
	(E) SUPPLY AIR DIFFUSER
	(N) 2' X 4' FLUORESCENT LIGHT W/ PLASTIC LANSÉ OR/AND REPLACE, ROLOCATE, TYP.
	(N) GYP. BD. CEILING W/ PAINT FINISH
	(N) EXIT SIGN (WALL OR CEILING MOUNTED) TO REMAIN
	(N) 6" DIA. RECESSED DOWN LIGHT
	WALL SCONE LIGHT
	LOW VOLTAGE
	MECHANICAL VENTILATION
	EMERGENCY LIGHT EMERGENCY POWER BACK UP SUPPLY WHERE TWO OR MORE EXIT ARE REQUIRED
	EXIT SIGN AND EMERGENCY LIGHT W/ 90M. BATTERY BACK-UP



EXISTING DRYWALL CEILING  
 W/ RECESSED DOWN LIGHTS  
 W/ 8 FEET CEILING HEIGHT  
 TO REMAIN

EXISTING DRYWALL CEILING  
 W/ 11'-7" FEET CEILING HEIGHT  
 TO REMAIN

EXISTING WOOD PANEL CEILING  
 W/ SURFACE MOUNT FLUORESCENT LIGHTS  
 W/ 11'-7" FEET CEILING HEIGHT  
 TO REMAIN

EXISTING DRYWALL CEILING  
 W/ 11'-7" FEET CEILING HEIGHT  
 TO REMAIN

EXISTING DRYWALL CEILING  
 W/ 11'-7" FEET CEILING HEIGHT  
 TO REMAIN  
 EXISTING RECESSED DOWN  
 TO 2X4 CEILING LED LIGHTS  
 TOTAL 10 LIGHTS

EXISTING DRYWALL CEILING  
 W/ 11'-7" FEET CEILING HEIGHT  
 TO REMAIN

PROJECT

PROPOSED TENANT IMPROVEMENT FOR  
 (E) CLUB CENTER OFFICE  
 8946 SEPULVEDA EASTWAY,  
 LOS ANGELES, CA 90045

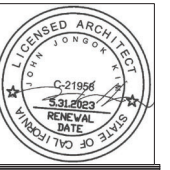
DRAWING TITLE

EXISTING ELEVATIONS

REVISIONS

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SEAL



DATE: MAR. 14, 2025

BLDG. SUBMITTAL ①  
 DATE: ②  
 ③

BID DATE:

PERMIT #

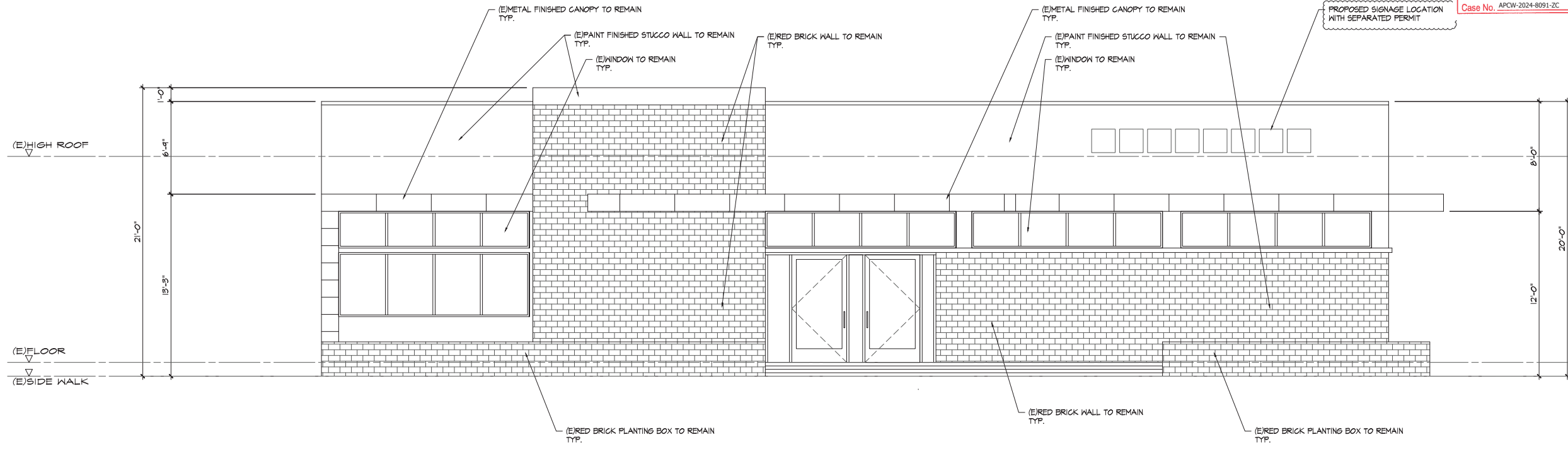
JIG NO.

SCALE: AS SHOWN ON PLAN

SHEET NO.

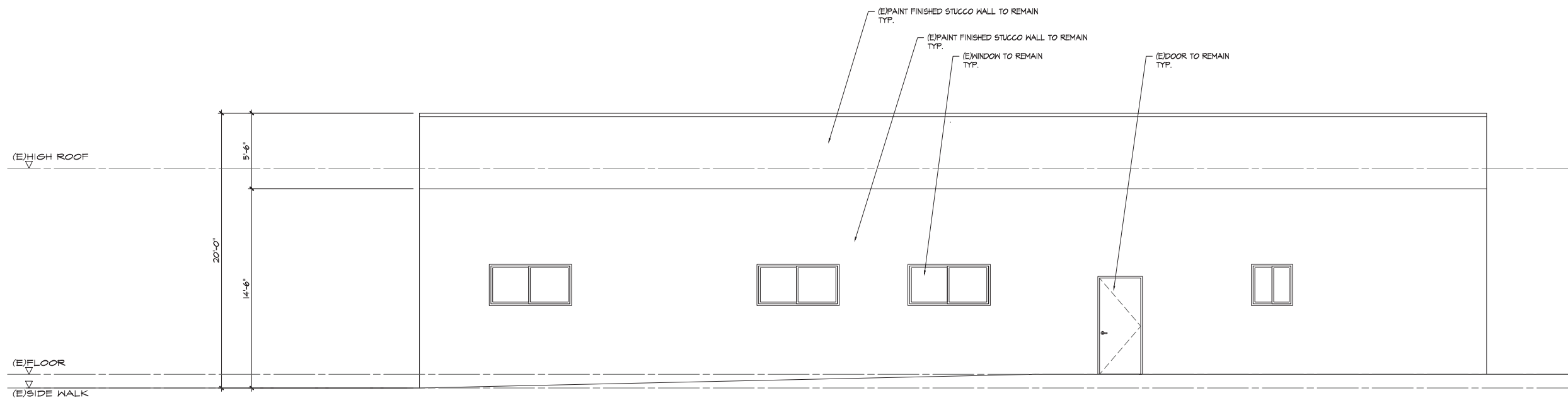
**EXHIBIT "A"**  
 Page No. 6 of 10  
 Case No. APCW-2024-8091-ZC

PROPOSED SIGNAGE LOCATION  
 WITH SEPARATED PERMIT



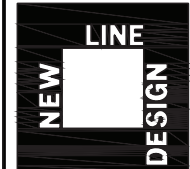
REFERENCE ONLY - (NO CHANGE)

2 EXISTING WEST ELEVATION  
 SCALE: 1/4"=1'-0"



REFERENCE ONLY - (NO CHANGE)

1 EXISTING EAST ELEVATION  
 SCALE: 1/4"=1'-0"



**NEW LINE DESIGN**  
 811 S. CATALINA ST. #417  
 LOS ANGELES, CA 90005  
 P. 213.380.2261  
 E-MAIL: info@ulda.net

PROJECT

PROPOSED TENANT IMPROVEMENT FOR

(E)CLUB CENTER OFFICE

8946 SEPULVEDA EASTWAY,  
 LOS ANGELES, CA 90045

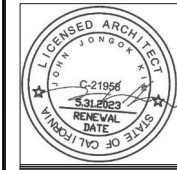
DRAWING TITLE

EXISTING ELEVATIONS

REVISIONS

- △
- △
- △
- △
- △

SEAL



DATE: MAR. 14, 2025

BLDG. SUBMITTAL ①  
 DATE: ②  
 ③

BID DATE:

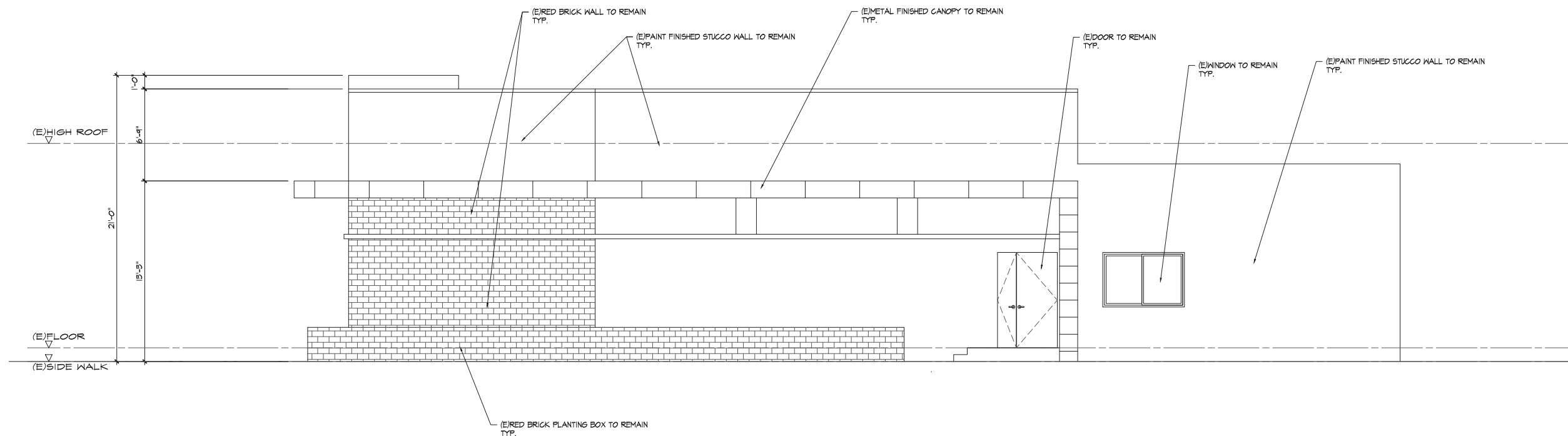
PERMIT #

J&S NO.

SCALE: AS SHOWN ON PLAN

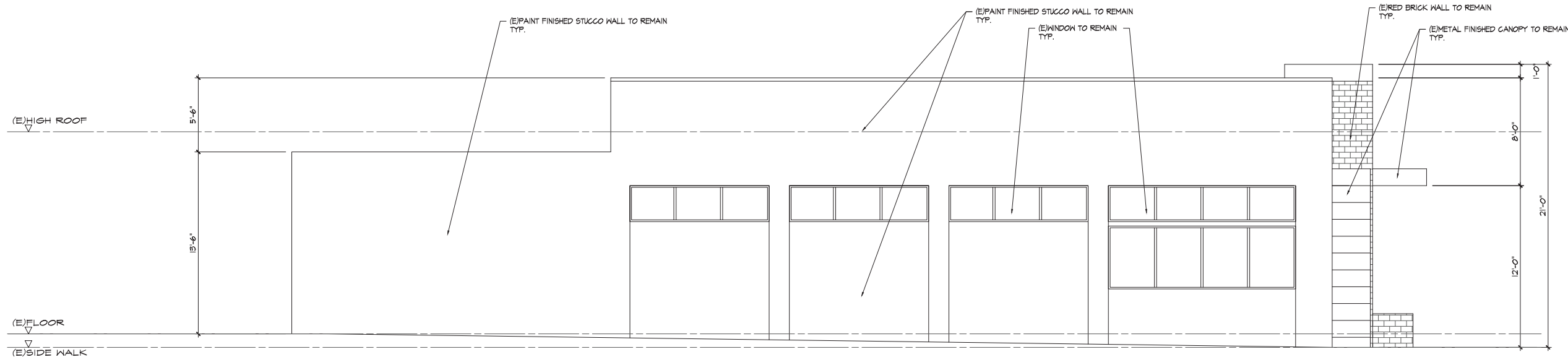
SHEET NO.

A-5.1



REFERENCE ONLY - (NO CHANGE)

2 EXISTING SOUTH ELEVATION  
 SCALE: 1/4"=1'-0"



REFERENCE ONLY - (NO CHANGE)

1 EXISTING NORTH ELEVATION  
 SCALE: 1/4"=1'-0"



PROJECT

PROPOSED TENANT IMPROVEMENT FOR  
(E) CLUB CENTER OFFICE

8946 SEPULVEDA EASTWAY,  
LOS ANGELES, CA 90045

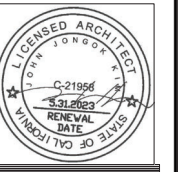
DRAWING TITLE

DOOR SCHEDULE  
WINDOW SCHEDULE  
FINISH SCHEDULE

REVISIONS

- △
- △
- △
- △
- △
- △

SEAL



DATE: **JULY 19, 2024**

BLDG. SUBMITTAL DATE: ①

RENEWAL DATE: ②

BID DATE: ③

PERMIT #

JIG #

SCALE: AS SHOWN ON PLAN

SHEET NO.

**A-7.0**

FINISH SCHEDULE

NAME	FLOOR	BASE	WALLS	CEILING	CEILING HEIGHT
CERAMIC TILE					
STONE FLOOR					
HARDWOOD FLOOR					
VINYL TILE					
CARPET					
EXPOSED CONC.					
NICKLE SEALER					
6" HT. CERAMIC TILE					
4" HT. WOOD BASE					
4" HT. RUBER BASE					
4" HT. STONE BASE					
GYPSUM BOARD W/ PAINT					
GYPSUM BD. W/ MALL PAPER					
CERAMIC MALL TILE					
QUARRY MALL TILE					
WOOD PANEL					
2 X 4 LAY-IN TILE					
PAINTED GYP. BD.					
2 X 2 LAY-IN CEILING TILE					
OPEN CEILING W/WHITE PAINT					

**EXHIBIT "A"**  
Page No. 9 of 10  
Case No. APCW-2024-8091-ZC

4 FINISH SCHEDULE

SCALE: N.T.S.

**FRAME TYPE**

**HARDWARE**

A. FURNISH THE FOLLOWING HARDWARE GROUPS WITH THE SPECIFIED ITEMS. HARDWARE GROUP IS INDICATED IN THE DOOR SCHEDULE.

- HARDWARE GROUP 1 - DOORS**
  - 2 SETS CENTER PIVOT HINGES
  - 2 SETS FULLS
  - 2 OVERHEAD CONCEALED CLOSERS
  - 1 THRESHOLD - TYPE A
  - 1 SET WEATHER-STRIPPING
  - 1 SET SIGNAGE
- HARDWARE GROUP 2 - DOORS**
  - 3 SETS OF HINGES
  - 1 LOCK SET - PASSAGE
  - 1 DOOR STOP: WALL TYPE
  - 1 CLOSER
- HARDWARE GROUP 3 - DOORS**
  - 3 SETS OF HINGES
  - 1 LOCK SET - PRIVACY SET
  - 1 DOOR STOP: WALL TYPE
  - 1 CLOSER
- HARDWARE GROUP 4 - DOORS**
  - 3 SETS OF HINGES
  - 1 LOCK SET - STOREROOM LOCK
  - 1 DOOR STOP: WALL TYPE
  - 1 CLOSER
- HARDWARE GROUP 3 - DOORS**
  - 3 SETS OF HINGES
  - 1 LOCK SET - PRIVACY SET
  - 1 DOOR STOP: NONE
  - 1 CLOSER
- HARDWARE GROUP 3 - DOORS**
  - 3 SETS OF HINGES
  - 1 LOCK SET - NONE
  - 1 DOOR STOP: NONE
  - 1 CLOSER

**INTERNATIONAL SYMBOL OF ACCESSIBILITY-PICTOGRAM**

HANDICAPPED SYMBOL WINDOW DECAL

NOTE: DOOR STOP NOT APPLICABLE AT DOUBLE ACTING DOOR

**ABBREVS:**  
HR. = HOUR  
EX. = EXISTING

**PAINT FINISHES:**  
DOORS & FRAMES - BEN MOORE OW-30

1 DOOR SCHEDULE

SCALE: N.T.S.

2

SCALE: N.T.S.

**DOORS SCHEDULE** (5) SAFETY GLAZING 3/8" THK. TEMPERED

MARK NO.	DOOR		FRAME			HARDWARE		GLASS		REMARK	NOTE
	SIZE	TYPE	MAT'L	RATINGS	MAT'L JAMB HEAD	SELF-CLOSER TYPE	U FACTOR	SHGC			
(E1)	3'-0" x 8'-0"	E1	METAL GLASS	NONE	METAL J-1 H-1	YES	0.3	0.23	REPLACE ON SAME SIZE & LOCATION		BSP= BAKED WITH SILICON POLYESTER FINISH-WHITE TO MATCH EXTERIOR WINDOWS FF= PAINT FINISH PL= PLASTIC FACED WOOD - COLOR FORMIGA GRAY
(E2)	4'-0" x 8'-0"	E2	METAL GLASS	NONE	METAL J-1 H-1	YES	0.3	0.23	REPLACE ON SAME SIZE & LOCATION		
(E3)	4'-6" x 7'-0"	E3	METAL	NONE	METAL J-1 H-1	YES			REPLACE ON SAME SIZE & LOCATION		
(E4)	3'-0" x 7'-0"	E4	METAL	NONE	METAL J-1 H-1	YES			REPLACE ON SAME SIZE & LOCATION		
(1)	3'-0" x 7'-0"	1	METAL	NONE	METAL J-1 H-1	YES			(E)RESTROOM DOOR		
(2)	3'-0" x 6'-8"	2	WOOD	NONE	METAL J-1 H-1				(E)DOOR		
(3)	3'-0" x 7'-0"	3	WOOD	NONE	METAL J-1 H-1				(N)DOOR		
(4)	3'-0" x 6'-8"	4	METAL	NONE	METAL J-1 H-1	YES			(N)RESTROOM DOOR		

**GENERAL NOTES**

- ALL DOORS ARE TO HAVE LEVER TYPE HARDWARE, UNLESS OTHERWISE NOTED AS PANIC HARDWARE (LEVER AT PULL SIDE), AND THE MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS (15 POUNDS AT FIRE DOORS)
- JAMB DESIGN FOR ALL ALUMINUM ENTRY DOOR SHALL BE CONSTRUCTED TO WITHSTAND 1600 POUNDS OF PRESSURE IN BOTH A VERTICAL DISTANCE OF 3' AND A HORIZONTAL DISTANCE OF 1' EACH SIDE OF THE STROKE
- PANIC HARDWARE WHERE INSTALLED SHALL COMPLY WITH C.B.C.
- ALL HOLLOW METAL FRAMES ARE TO BE WELDED TYPE; NO KNOCK-DOWN FRAMES ALLOWED.
- ALL DIMENSIONS ARE FOR BIDDING PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO FABRICATION
- ALL DOOR GLAZING TO BE SAFETY TYPE CLEAR GLAZING.
- ALL MAIL SLOTS ARE TO BE PROVIDED WITH AN INTERNAL HOOD TO PREVENT MANIPULATION OF THE LOCKING DEVICE.
- PROVIDE ALUMINUM BREAK METAL AT JAMBS AT BRICK.
- ALL EXTERIOR DOORS & OPENINGS TO BE EQUIPPED W/ SECURITY SYSTEM
- MAIN ENTRY DOOR MAY BE EQUIPPED WITH KEY LOCKING HARDWARE IF THERE IS A READILY VISIBLE, DURABLE SIGN ON OR ADJACENT TO THE DOOR STATING THIS DOOR TO REMAIN UNLOCKED WHENEVER THE BUILDING IS OCCUPIED. (CBC 1010.14.3)
- SECONDARY EXIT DOOR MUST BE EQUIPPED WITH PANIC HARDWARE.
- ALL NEW DOORS MUST BE EQUIPPED WITH LEVER TYPE HANDLE (E): EXISTING DOOR

**DOORS TYPES**

1 DOOR SCHEDULE

SCALE: N.T.S.

PROJECT

PROPOSED TENANT IMPROVEMENT FOR  
 (E)CLUB CENTER OFFICE

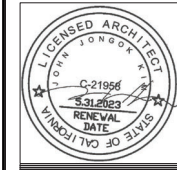
8946 SEPULVEDA EASTWAY,  
 LOS ANGELES, CA 90045

DRAWING TITLE

EXISTING LANDSCAPE PLAN

REVISIONS


SEAL



DATE: **MAR. 14, 2025**

BLDG. SUBMITTAL ①  
 DATE: ②

③

BID DATE:

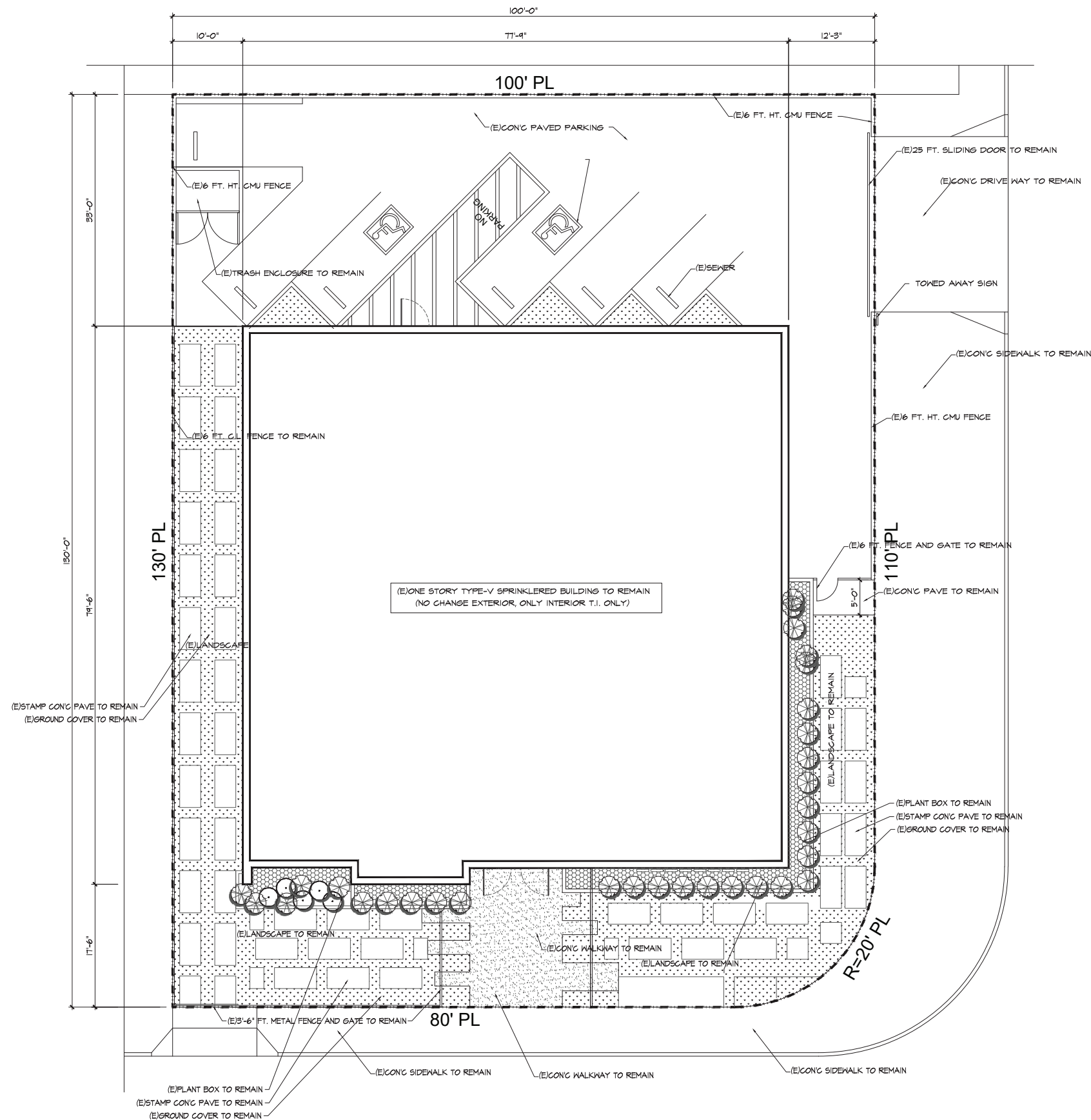
PERMIT #

J&G NO.

SCALE: AS SHOWN ON PLAN

SHEET NO.

**L-1.0**



**PLANTING LEGEND**

SHRUBS AND GROUND COVER	SIZE & QUAN.	WUCOLS
AGROSTIS PALLENS WEST COAST NATIVE BENTGLASS CALIFORNIA NATIVE GLASS	EXISTING	LOW
ZEPHARANTHES CANDIDA ZEPHYR LILY	EXISTING	LOW
DIETES BICOLOR FORTLIGHT LILY	EXISTING	LOW
KALANCHOE LUCIAE PADDLE PLANT	EXISTING	LOW

NO EXISTING TREE ON SITE  
 EXISTING IRRIGATION TO REMAIN

